

**COUNCIL ACTION FORM**

**REQUEST:** AMENDMENT TO INTEGRATED SITE PLAN SUBDIVISION FOR 1404 AND 1410 BUCKEYE AVENUE INCLUDING FINAL PLAT OF SIXTH ADDITION TO SOUTHWOOD SUBDIVISION AND MAJOR SITE DEVELOPMENT PLAN FOR A CARWASH.

**BACKGROUND:**

Driven Brands is the owner of properties located at 1404 and 1410 Buckeye Avenue. These properties are part of a larger commercial subdivision, Southwood Subdivision, originally platted in the 1980s. The overall commercial development is known as the Duff Plaza. In 2018, an Integrated Site Plan Subdivision was approved that included retrofitting the former Kmart building into retail tenant spaces on the front, interior climate-controlled storage in the rear, construction of five addition commercial buildings, and associated parking and landscaping improvements. **The subject site was approved for two small commercial buildings, including one drive thru restaurant use, on separate lots as part of the original approval.**

The first phase of redevelopment of the Kmart building and site improvements for parking and landscaping is complete. An amendment to the Integrated Site Plan Subdivision was approved in 2021 on the west side of Buckeye Avenue, across from the proposed car wash, for the second phase and it includes a 53,132 square foot building divided into five tenant spaces. This second phase is under construction.

**The applicant has requested approval of a Major Site Development Plan and Final Plat as an amendment to the Integrated Site Plan for the area along South Duff Avenue and north of South 16<sup>th</sup> Street, within the Southwood Subdivision (former Kmart site).** The Major Site Development Plan is processed concurrently with the Final Plat for Sixth Addition to Southwood Subdivision, to consolidate the two existing lots into one complete platted lot for development of the site with the "Take Five Express Car Wash" (*Attachment A: Location Map & Attachment B: Zoning Map*). The proposed amendment only affects the two parcels located between S. Duff Avenue and Buckeye Avenue.

**STANDARDS:**

An Integrated Site Plan Subdivision (Section 23.704) allows for subdivision of a site into individual lots, but considers the site as a single site for purposes of evaluating access, circulation, maintenance, and compliance with certain zoning development standards (setbacks, landscaping, parking, floor-area-ratio, etc.) that would otherwise be applicable to individual lots. Approval of an Integrated Site Plan allows for more flexible application

of most development standards through the approval of the Major Site Development Plan, although the overall site must meet all minimum standards.

As an amendment to an Integrated Site Plan, the project must be consistent with the overall Integrated Site Plan approval as it relates to the use of the proposed site as well as meet all the criteria of a Major Site Development Plan. **The proposed Sixth Addition to Southwood Subdivision Final Plat combines the two existing undeveloped parcels into one.** A Final Plat is required per Section 23.706 and is to be reviewed by the City Council concurrent with the Major Site Development Plan (Attachment D: Applicable Subdivision Law).

Although an Integrated Subdivision allows for shared zoning compliance across all sites within the development, this site will meet all standards on site and does not rely on features located west of the site for compliance. The existing shared in-common shopping center sign for the Duff Plaza located at the southwest corner of the site along Duff Avenue will remain on this site for the overall benefit of the development.

### **SITE AND APPLICANT PROPOSAL:**

The site is vacant, except for a large pylon sign, and includes a total of 41,036 square feet (0.944 acres). **The proposed development (*Attachment F: Site Plan*) includes a car wash building (4,024 square feet) and associated parking spaces and landscaped area. The car wash building has one single automatic wash bay. The site also includes customer vacuum spaces in the middle of the site.**

The applicant proposes three (3) parking spaces and two (2) handicap-accessible spaces, as well as stacking area to meet the City's requirement of two parking spaces and five stacking spaces. The stacking area is at the north end of the site and consists of three rows for vehicles with eight (8) vehicles in each row at the pay stations. Fourteen (14) spaces for vehicles using vacuums are proposed in the middle of the site. The proposed parking and stacking exceed the minimum ordinance requirements.

Access to the site will be provided from Buckeye Avenue. No access will be allowed from S. Duff Avenue on the east boundary of the site. The driveway into the site will align with the main driveway into the shopping center on the west side of Buckeye. **An existing Cy-Ride stop will be moved approximately 54 feet to the north because of the proposed driveway location. The relocation of the loading area by the developer is a condition of approval.** Cy-Ride staff has asked to work directly with the applicant once it is time to construct the new pad for the bus stop.

Sidewalk will be constructed in the right-of-way for Buckeye Avenue next to the west boundary of the site. This will connect to existing sidewalk that extends south to S. 16<sup>th</sup> Street and north to Chestnut Street. A shared use path exists in the right-of-way for S. Duff Avenue on the east side of the subject property.

Building elevations are included in *Attachment H: Building Elevations*. Exterior wall

materials are primarily concrete masonry units (CMU) of two types (gray and brown colors), and prefabricated architectural metal panels on the west wall and a tower located on the southwest corner of the building. A cornice is proposed for the exterior walls. The colors and style are a departure from that of main shopping center buildings that were previously approved, but does utilize some of the same materials. Other than general consistency with buildings in the area and prior Duff Plaza development, there are no specific design guidelines for the site.

The site requires front yard landscaping along all street frontages (Buckeye Avenue and S. Duff Avenue) and parking lot landscaping for the complete maneuvering, loading, and parking area of the plan. The proposed landscaping plan complies with the front yard and parking lot landscaping requirements with its arrangement of trees, ornamental grasses, and shrubs. (*Attachment G: Landscape Plan*).

A complete analysis and details of the development with the Major Site Development Plan criteria is included in *Attachment C: Major Site Development Plan Criteria*.

### **PLANNING AND ZONING COMMISSION:**

At its meeting on April 20, 2022, the Ames Planning and Zoning Commission reviewed the proposed Amendment to the Integrated Site Plan at a public hearing. Staff described the proposed changes to the Site Plan and compared to the existing approved plan, including comments on building design, shared landscaping, pedestrian connectivity, and parking. Staff recommended approval with three conditions related to relocating the CyRide stop, submit a lighting plan for review, and that all previous approvals related to the developer are unchanged.

The Commission voted 6-0 to recommend approval of the Amendment to the Integrated Site Plan with conditions of approval related to finalizing plans for Council approval. Note the developer has since submitted a lighting plan for staff review.

### **ALTERNATIVES:**

1. Approve the request for an Integrated Site Plan Subdivision, which includes concurrent Final Plat and Major Site Development Plan Amendment approval, for the properties at 1404 and 1410 Buckeye Avenue, subject to the following conditions:
  - A. The Applicant shall work directly with CyRide regarding the installation of a new bus stop concrete pad for sidewalk access to the bus prior to a building permit being issued. Paving of the improvement completed at the cost of the developer. Final occupancy permits for the site will not be granted without completion of the bus loading area to the City of Ames specifications.
  - B. Previous conditions of the Integrated Site Plan Subdivision approvals that are not herein modified shall continue to apply to the site(s).

2. Approve the request for an Integrated Site Plan Subdivision, which includes concurrent Final Plat and Major Site Development Plan Amendment approval, for the properties at 1404 and 1410 Buckeye Avenue, with modified conditions.
3. Deny the request for an Integrated Site Plan Subdivision, Final Plat, and Major Site Development Plan.
4. Refer the request back to City staff and/or the applicant for additional information.

**CITY MANAGER’S RECOMMENDED ACTION:**

The proposed Integrated Site Plan Amendment is to approve a Major Site Development Plan for construction of a new car wash and Final Plat for consolidating two existing lots. The purpose of the Integrated Site Plan Subdivision review is to determine the overall layout, function, and building design meets City standards as a collective site and not as individual lots. Key considerations for the proposal are the design and location of buildings along street frontages, appropriate landscaping and screening, inter-connectivity, mix of uses, access and circulation, and overall parking supply.

The proposed site development is typical for a commercial project with off-street parking and landscaping improvements. This plan enhances pedestrian connectivity along Buckeye Avenue, increases landscaping between Buckeye Avenue and S. Duff Avenue, and provides adequate parking, including queueing space for vehicles without interfering with traffic circulation on Buckeye Avenue. Staff finds that the project meets the design principles of an Integrated Site Plan, subdivision standards, and the standards for a Major Site Development Plan.

Therefore, it is the recommendation of the City Manager that the City Council adopt Alternative #1, as described above.

## ADDENDUM

**Project Description.** The applicant, Driven Brands, is requesting approval of a Major Site Development Plan as an amendment to the approved Integrated Site Plan Subdivision for 1404 and 1410 Buckeye Avenue. A car wash is proposed for the site, and a Final Plat to consolidate the two lots into one complete lot for building purposes. The Major Site Development Plan and Final Plat must be processed concurrently for consideration by the City Council as required by Section 23.706 Amendments, Modifications, and Vacations for Integrated Site Plan Subdivisions .

**Site Layout/Circulation/Access.** The site plan improvements are proposed on the proposed Lot 1, Sixth Addition to Southwood Subdivision, the two existing and undeveloped lots. The total area of the proposed lot is 41,036 square feet (0.94 acres). The two lots are presently vacant, except for the pylon sign.

The development will include a drive-through car wash on the south portion of the lot, parking spaces with and without vacuums in the center portion of the site, and a queueing area for vehicles waiting to proceed through the car wash at the north end of the site. Access to the site will be from Buckeye Avenue. No access is allowed from S. Duff Avenue.

It will be necessary to relocate the Cy-Ride bus stop presently located next to this site on Buckeye Avenue. The bus stop must be moved approximately 54 feet to the north. The developer will work with CyRide at the time of installation of the bus stop. The improvement is paving to allow for access to the bus from the sidewalk. The developer is responsible for the cost of the improvements to meet CyRide bus stop access requirements.

The sidewalk along Buckeye Avenue presently has a gap with no sidewalk next to the subject properties. As part of this project, the developer will construct new sidewalk along Buckeye Avenue to fill in the gap. This improvement will result in sidewalk on the east side of Buckeye between S. 16<sup>th</sup> Street and Chestnut Street. A shared use path presently exists along S. Duff Avenue on the east side of the site. An on-site sidewalk connects the car wash building to Buckeye Avenue. There is no crossing of Buckeye Avenue at the driveway intersection.

**Parking.** Required parking for the site is minimal. Two (2) parking spaces and five (5) stacking spaces per washing bay are required for the proposed car wash. The proposed site plan includes three (3) standard (9'x19') parking spaces and two (2) handicap-accessible spaces with one designated as "van-accessible." The stacking spaces are proposed along the north boundary of the site in three (3) rows with eight (8) spaces in each row for a total of twenty-four (24) stacking spaces. Fourteen (14) additional spaces with vacuums are proposed north of the car wash building in the middle of the site.

**Landscaping.** The minimum required landscaped area in the (HOC) Highway-Oriented Commercial zoning district is 15%. The proposed site plan and landscape plan shows

that approximately 30.3% of the site is landscaped area. The open space is comprised of front yard landscaping areas along Buckeye Avenue and S. Duff Avenue, and a landscaped median separating the vehicular stacking area and the parking spaces with and without vacuums.

In addition to the general landscape percentage requirements for the site, the City applies both a front yard landscaping and parking lot landscaping requirement. The front yard landscaping requirements are met along Buckeye Avenue and S. Duff Avenue with the appropriate mix of trees, shrubs, and grasses. The front yards require one tree for every 50 feet of frontage and a mix of grasses and shrubs for the calculated area of each front yard, up to a maximum depth of 30 feet.

Parking lots include all parking and maneuvering areas of the site. The parking lot landscape standard is based upon calculating 10% of the parking lot area and provide one overstory tree for every 200 square feet of the 10%. In this case, there is approximately 22,000 square feet of parking lot area, which require 11 trees to be dispersed across the parking lot area. The applicant has met dispersal with trees located along the north property line near the stacking area as well as with landscaped islands in the middle of the site and near the carwash building. The Landscape Plan meets the quantity requirements and standards for arrangement of landscaping.

**Building Elevations.** Typical building elevations have been included to define the building materials, entrance/exit to the building, and façade design. The car wash building is approximately 125 feet in length and the widest portion of the building is approximately 36.5 feet wide. The primary exterior building material is concrete masonry units (CMU). There are two designs of CMU for the walls. One would be painted gray and the other would be brown to accent the primary gray color. Red and blue stripes would be added to the south building elevation. Prefabricated metal panels are proposed for a tower on the southwest corner of the building and on an upper portion of the west building façade.

Signage is proposed for the upper portion of the metal tower. The tower is designed to extend approximately nine (9) feet above the top of the building for a total height of approximately thirty-one (31) feet. Overhead doors would have a bronze finish. The cornice is shown as black. A blue canopy is shown above the car wash entrance on the east façade and across the west façade above the car wash exit.

The building design for commercial buildings of the Duff Plaza rely upon use of concrete block with brick pilasters to provide for architectural interest and relief to the large walls of the buildings. Other office buildings abutting the site use primarily brick as the building materials. The proposed car wash design differs from the looks of the Duff Plaza but incorporates materials that can be found compatible in quality and of contemporary style with the metal panels and a tower element.

One point of emphasis with Duff Plaza was the aesthetic of buildings lining the street frontages as backs of buildings. In this case the building orientation is perpendicular to the street and has minimal building exposure along the streets. The ends of the buildings

are primarily entrances and exits of car wash tunnel.

The site also includes a trash enclosure on the Buckeye side of the site adjacent to the car wash. The trash enclosure uses the same materials as that of the car wash building.

**Infrastructure.** The site is fully served by City infrastructure. All public utilities are available to serve the development. The subject properties are in the City of Ames electric service territory.

**Storm Water Treatment.** The site is subject to conformance with Municipal Code Chapter 5a and 5b requirements for storm water control and treatment. The site must not increase release rates for the overall site and must treat water quality for all new impervious areas of the site. Underground detention beneath the parking lot surface is proposed. The Public Works Department has reviewed the proposal for storm water and finds that it meets the Best Management Practices of the City.

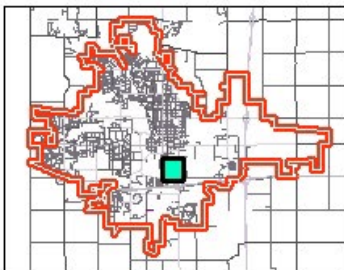
**Major Site Development Plan Criteria.** The standards are found in Ames *Municipal Code* Section 29.1502(4)(d) and include the following requirements. *When acting upon an application for a Major Site Development Plan approval, the Planning and Zoning Commission and the City Council shall rely upon generally accepted site planning criteria and design standards. These criteria and standards are necessary to fulfill the intent of the Zoning Ordinance, the Comprehensive Plan, and are the minimum necessary to safeguard the public health, safety, aesthetics, and general welfare. See Attachment C for individual Development criteria for the Major Site Development Plan.*

**Public Notice.** Notice was mailed to property owners within 200 feet of the subject site and a sign was posted on the subject property. As of this writing, no comments have been received.



# Attachment A

## Location Map



## Location Map

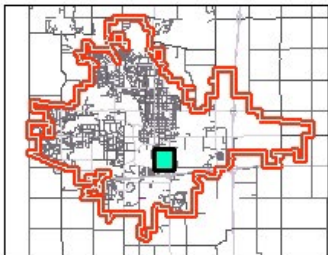
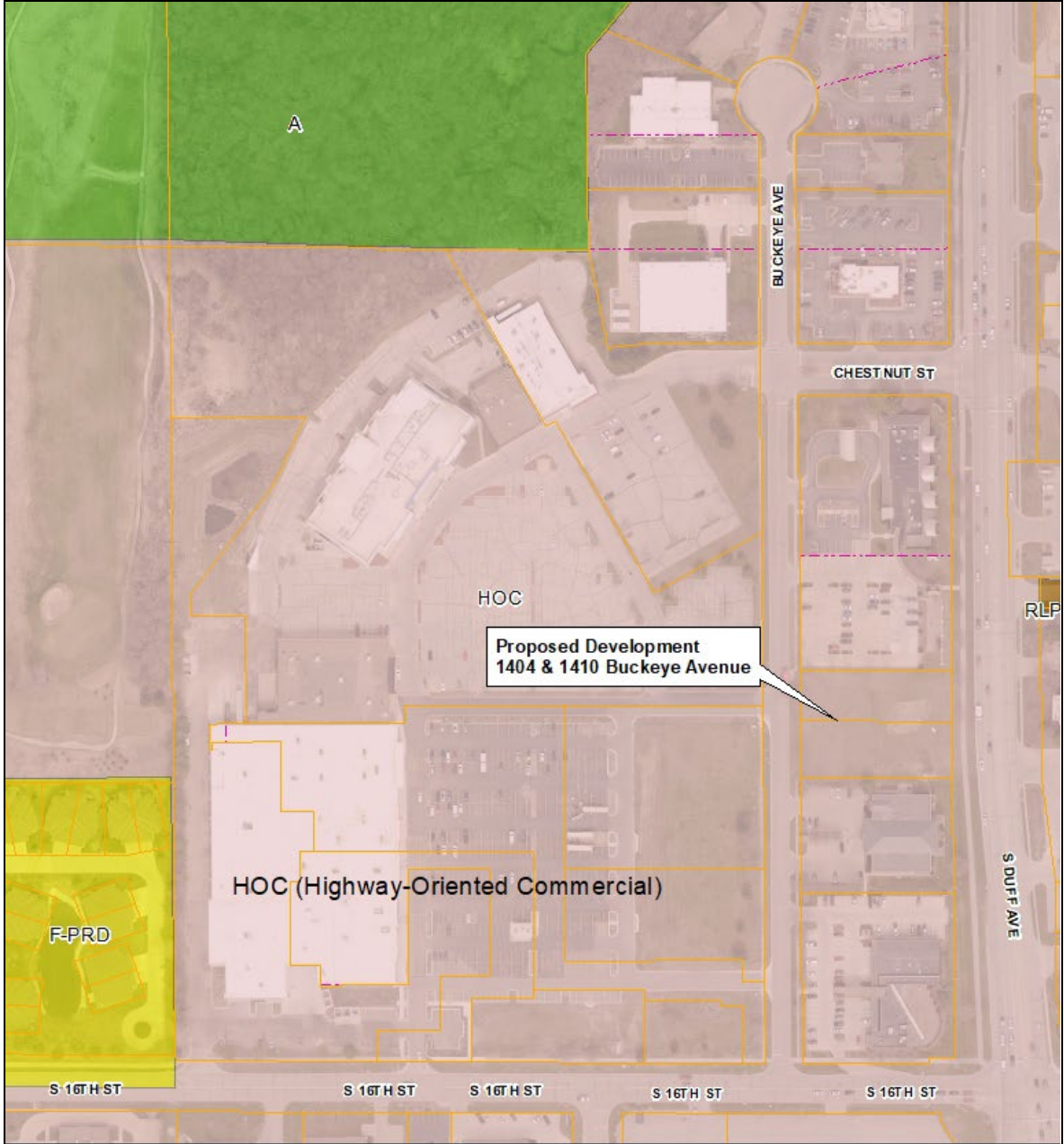
### 1404 & 1410 Buckeye Ave.





# Attachment B

## 2018 Major Site Plan – Building B



### Zoning Map

1404 & 1410 Buckeye Ave.



# **Attachment C**

## **Major Site Development Plan Criteria**

- 1. The design of the proposed development shall make adequate provisions for surface and subsurface drainage to limit the rate of increased runoff of surface water to adjacent and downstream property.***

The proposed development includes an underground detention system beneath the parking lot. The Public Works Department has reviewed the proposal for storm water detention and finds that it meets the requirements of Chapter 5a and 5b, of the Municipal Code, for storm water control and treatment.

- 2. The design of the proposed development shall make adequate provision for connection to water, sanitary sewer, electrical, and other utility lies within the capacity limits of those utility lines.***

The existing utilities were reviewed and found adequate to support the anticipated load of the proposed development. There are no off-site upgrades needed to serve the site for any utility.

- 3. The design of the proposed development shall make adequate provision for fire protection through building placement, acceptable location of flammable materials, and other measures to ensure fire safety.***

The fire inspector has reviewed access and fire truck circulation and found that the needs of the fire department are met for access and circulation.

- 4. The design of the proposed development shall not increase the danger of erosion, flooding, landslide, or other endangerment to adjoining and surrounding property.***

It is not anticipated that this proposed development will be a danger due to its location on the site.

- 5. Natural topographic and landscape features of the site shall be incorporated into the development design.***

The developer is working with the existing topography of the site. There are no notable features on the site. The disturbed areas of the site are required to come into compliance with current landscape requirements.

- 6. The design of the interior vehicle and pedestrian circulation shall provide for convenient flow of vehicles and movement of pedestrians and shall prevent hazards to adjacent streets or property.***

The proposed development will provide for vehicular access off Buckeye Avenue. The sidewalk on-site will connect with the public sidewalk to be constructed in the Buckeye Avenue right-of-way.

- 7. The design of outdoor parking areas, storage yards, trash and dumpster areas, and other exterior features shall be adequately landscaped or screened to minimize potential nuisance and impairment to the use of adjoining property.***

The parking area is screened to meet front yard landscaping requirements along Buckeye Avenue and S. Duff Avenue. The enclosure proposed for the refuse container and the enclosure for the vacuum equipment are constructed of concrete masonry units to match the car wash building materials with a cast stone cap on the walls of the enclosures. Spring loaded corrugated steel gates are proposed for each enclosure. These enclosures meet the zoning requirements for solid waste collection areas.

- 8. The proposed development shall limit entrances and exits upon adjacent streets in order to prevent congestion on adjacent and surrounding streets and in order to provide for safe and orderly vehicle movement.***

The access to the proposed development will be from Buckeye Avenue. No access will be allowed from S. Duff Avenue.

- 9. Exterior lighting shall relate to the scale and location of the development in order to maintain adequate security, while preventing a nuisance or hardship to adjacent property or streets.***

All lighting will be required to comply with the City's Outdoor Lighting Code (Section 29.411). The applicants preliminary plan includes pole lights, building lights, and lighting with the vacuum units with calculations for foot candles of illumination across the site. Parking lot lighting and lighting on the exterior walls of the building are required to meet requirements of the Code for glare which include dark sky-based provisions for control of the light emittance from the luminaires, principally all light is directed down with less than 5% of total lumens emitted at a horizontal angle from the light source.

- 10. The proposed development shall ensure that dust and other forms of air pollution, noise disturbances, odor, glare, and other nuisances will be limited to acceptable levels as prescribed in other applicable State and City regulations.***

The site must be operated within the City of Ames noise standards. As designed the

car wash openings face east and west and there are not users directly across from the car wash to be impacted by noise from the dryers or headlights of the vehicles. The vacuums are in the middle of the site and are not anticipated to create disturbing noise levels. The proposed development is not expected to generate any nuisances.

***11. Site coverage, building scale, setbacks, and open spaces shall be in proportion with the development property and with existing and planned development and structures, in adjacent and surrounding property.***

Development in the area consists of a mix of office buildings along Buckeye and larger commercial buildings set further to the west. All these buildings are between 15 and 50 feet in height. The carwash building is small in area with a maximum height of 31 feet for its tower element.

The proposed development meets the zone development standards for the (HOC) Highway-Oriented Commercial zone, including standards for maximum floor area ratio, minimum lot frontage, minimum building setbacks, maximum building coverage, minimum landscaped area, and maximum height. The same HOC zone development standards apply to adjacent and surrounding properties in all directions.

# **Attachment D**

## ***Applicable Subdivision Requirements***

### **23.700 SUBDIVISION FOR INTEGRATED SUBDIVISIONS**

#### ***23.702. APPLICABILITY.***

- (1) The subject site shall consist of one or more legally created lots.*
- (2) The property must be zoned commercial, industrial, medium density residential or high density residential.*
- (3) Residential development under these provisions is limited to apartment dwellings only.*
- (4) The subdivision must be associated with a Major Site Development Plan under Chapter 29.1502. Within this context, the Major Site Development Plan will be considered and referred to as an Integrated Site Plan.*

#### ***AMENDMENT PROCEDURE. (23.706)***

(1) Amendments or modifications to an Integrated Site Plan Subdivision are processed as both an amendment to the subdivision plat and the associated Integrated Site Plan, being processed simultaneously and under the same review criteria and procedures specified for an initial application for an Integrated Site Plan Subdivision (per Section 23.703), except for Site Plan Amendments. Site Plan Amendments do not require a new Preliminary Plat.

- (a) Site Plan Amendments include the following: Sup #2021-3 23-40 Rev. 07-1-21
  - i. Minor Subdivision Plat for a boundary line adjustment of a lot(s) within the Integrated Site Plan.
  - ii. Site Development Plan changes to site improvements, such as parking, landscaping, building design, stormwater treatment measures that do not affect lot dimensions and infrastructure capacity.
  - iii. Amendments qualified as a Major Amendment per 23.306 are not Site Plan Amendments.

(2) The following types of amendments require the consent of all owners within the subdivision:

- (a) Major amendments as defined in Section 23.306.
- (b) Amendments that are not consistent with recorded covenants and maintenance agreements.

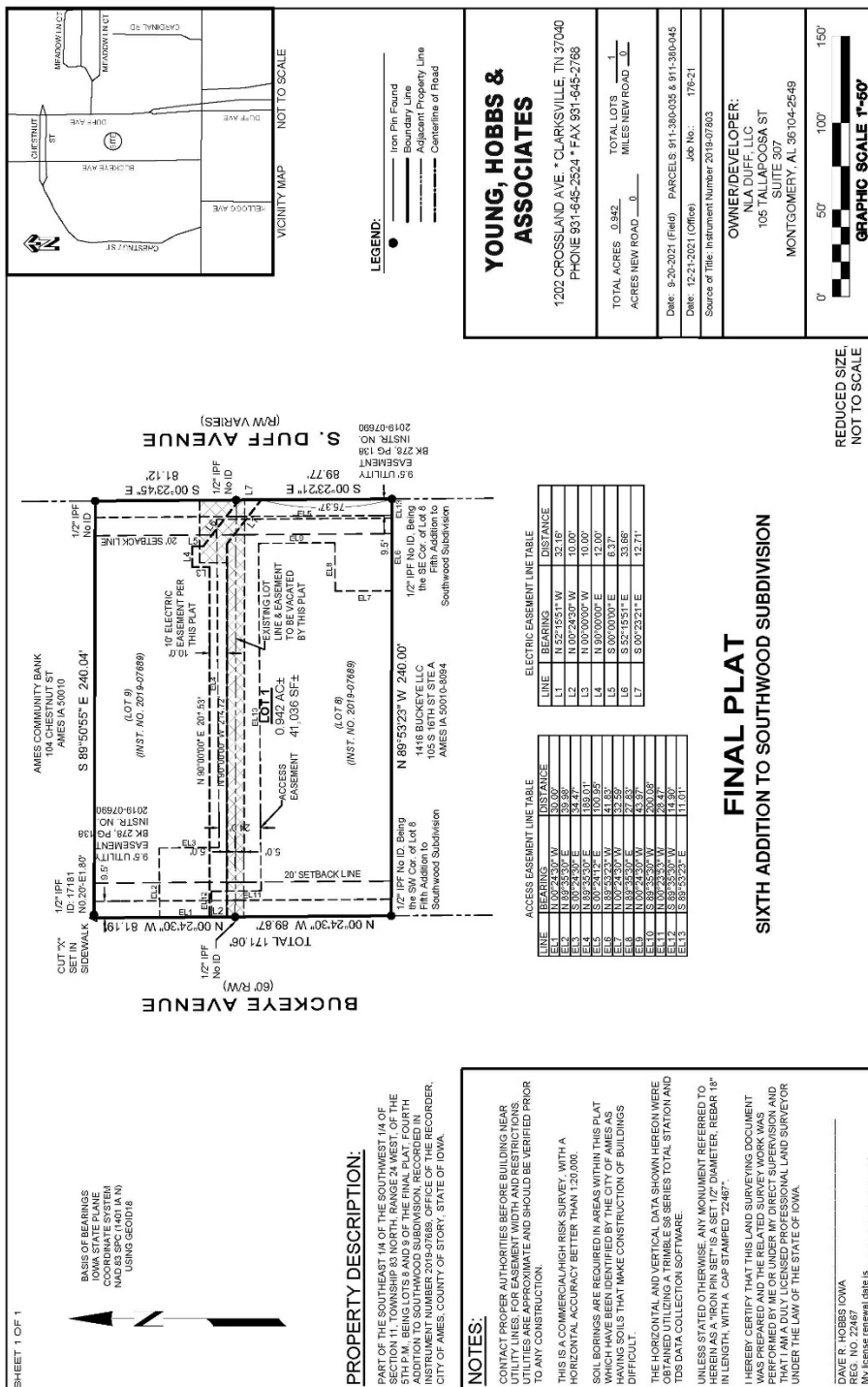
(3) Amendments pertaining to the layout or improvements on individual lot(s), and that do not otherwise fall under the provisions of subsection 1 above, require only the consent of the individual affected lot owners.

(4) If a portion of an Integrated Site Plan Subdivision is vacated, the property subject to the vacated portion shall constitute one lot unless the property is subsequently divided by

an approved subdivision. Development of the vacated lot is subject to an amendment to the Integrated Site Plan Subdivision and associated Integrated Site Plan.  
(Ord. No. 4441, 6-22-21)

# Attachment E

## Final Plat









# Attachment H Building Elevations

