

COUNCIL ACTION FORM

SUBJECT: DEMOLITION OF GREEK HOUSE AT 120 LYNN AVENUE

BACKGROUND:

Delta Omicron Chapter of Kappa Kappa Gamma sorority is seeking approval to demolish their existing sorority house in order to construct a new sorority house. The current house at 120 Lynn Avenue was constructed in 1930 as the Roger Williams Baptist Student Center. It has been a sorority since 1949 when it was purchased by Kappa Alumnae. Later in 1972 ownership was transferred to the Delta Omicron House Corporation. A sizable addition was completed in 1986. A location map can be found in Attachment A and a picture of the existing house can be found in Attachment B.

The zoning of the property is High Density Residential (RH). In addition, it has the East University Impacted Area Overlay District (O-UIE). **This overlay requires City Council approval prior to demolition of any structure currently or formerly used by a “Greek” organization.** Ames Municipal Code (AMC) Section 29.1110 (O-UIE) describes the process and submittal requirements for obtaining demolition approval from the City Council. The demolition requirements can be found in the Addendum.

The Kappa Kappa Gamma house currently accommodates 62 of its membership of 100 women. A slightly larger number of their members wish to live in the house so Delta Omicron seeks to demolish the structure and build another one to accommodate 66 members and to improve the house and general property. They believe these improvements will maintain the organization’s competitive position in relation to current trends within the Greek community.

Delta Omicron Chapter of Kappa Kappa Gamma, represented by their contact person, Naura Godar of RDG Design, has provided the required documentation. Required documentation includes cost for rehabilitation, structural analysis, cost estimates for new construction, economic feasibility, gross income and expenses, form of ownership, and a proposed site development plan. The applicant’s submittal is found in Attachment D, while a complete review of the criteria can be found in the Addendum.

At this time the Minor Site Development Plan for the replacement structure has been submitted to staff for approval and is included as Attachment E. Council is not required to approve the Minor Site Development Plan for the replacement building. Staff notes that the property owners were granted an Exception by the Zoning Board of Adjustment in July for a reduced drive aisle width by two feet to allow for required parking to serve the new building. This allows the drive aisle to be two feet less in width than required while still allowing for adequate vehicle maneuvering. With the Exception approval, the Site Development Plan is approvable by staff if the demolition request is approved by City Council.

To approve demolition of a fraternity home, Council must find the request is consistent with Section 29.110 (2)b:

“The structure cannot be used for the original intended purpose and/or no alternative reasonable use can be identified and the property owner can show evidence that an economic hardship will be created if the structure cannot be removed.”

Section 29.110 (2)c describes the finding of economic hardship to include

“Denial of a demolition request has deprived, or will deprive, the owner of the property of reasonable use of, or economic return on, the property.”

The applicant describes in their application the condition of the current property needing significant remodeling valued at approximately three million dollars and a construction cost of at least four million dollars for a new house that achieves all their design interests and increases capacity by four residents. The applicant believes they receive better value from demolishing and rebuilding than just remodeling the home.

With prior requests for demolition, Council has approved demolition contingent upon site plan approval and submittal to the City of building permit plans. There has also been a condition that prior to demolition, the property owners provide verification of the financial feasibility of the building proposed to replace the current structure to ensure there is no speculative demolition that occurs without assurance of the replacement building being constructed.

ALTERNATIVES:

1. The City Council can approve the request for demolition of the Greek residence at 120 Lynn Avenue with the conditions that:
 - a. A Minor Site Development Plan is approved by the Director of Planning and Housing before a demolition permit is issued.
 - b. An application for a building permit consistent with the building elevations and floor plans submitted with the Minor Site Development Plan as represented by Attachment E is submitted before a demolition permit is issued.
 - c. Approval of the demolition request is valid for the life of the minor site development plan permit SDP-555-2018 approval. *(This is for two years with a one year extension)*
 - d. Proof of financing for the construction of the new structure submitted for review and acceptance by the Planning and Housing Director. *(This would likely be a letter or loan document from a financial institution that is willing to make a loan on the construction of the project.)*

2. The City Council can approve the request for demolition of the Greek residence at 120 Lynn Avenue without conditions.
3. The City Council can deny the request for demolition of the Greek residence at 120 Lynn Avenue if it finds that the criteria of Section 29.1110 (2) (c) are not satisfied.
4. The City Council can defer action on this request and refer it back to City staff and/or the applicant for additional information within the next 30 days.

CITY MANAGER’S RECOMMENDED ACTION:

The Greek neighborhood adds value to the community by, among other things, its distinct and diverse architecture and as a desirable housing option for students at Iowa State University. The East University Impacted Area Overlay District was created to preserve the existing Greek houses to the greatest extent possible in recognition of these valuable traits. If new construction occurs in the O-UIE, the City has established minimum design criteria that are intended to promote compatibility with the existing distinct and diverse architecture.

More than a dozen Greek homes have been renovated in order to improve safety and meet the needs of today’s students. This has been a response to the trend of increased Greek membership and to preserve and improve the neighborhood. Four Greek houses have been demolished in recent years—three houses (Delta Tau Delta at 2121 Sunset Drive, Sigma Chi at 2136 Lincoln Way and Acacia at 138 Gray Ave) in order to construct new, larger homes for the increased Greek population and one (129 Ash Avenue) in order to allow the construction of a parking ramp for a church.

Kappa Kappa Gamma has been associated with Iowa State University since 1972 and many members have expressed a desire to live in the house. The Board of the Delta Omicron Chapter has provided evidence that it believes meets the zoning criteria for demolition and has proposed a new Greek house on the same site as the current building.

In staff’s view of the criteria, the applicant is focused on whether reasonable use of the property is afforded to them if they have to rehabilitate the existing building. As with other Greek houses, there has been an interest in reinvestment to continue to be competitive in maintaining membership. Cost comparison of the two options shows the new building option to be more expensive, but in the applicant’s view it has greater value for the property in the long term and that the rehabilitation option is not viable for meeting their desired membership needs. The applicant believes they have demonstrated that, as a Greek Organization that wants to maintain a sorority on the property that they own, that the only economical and reasonable use of the land is to allow for demolition of the existing home.

Given the type of information provided in support of the application, it is difficult for staff to verify the economic feasibility or relative value of the rehabilitation compared to demolition. However, the information provided by the applicant is similar to the justifications provided for the prior demolition requests that were

ultimately approved by the City Council. Therefore, it is the recommendation of the City Manager that the City Council approve Alternative #1 as described above.

Staff notes that based upon City Council's recent amendment to the University Area URA, the new sorority building would be eligible for property tax abatement on the increased value of the home.

ADDENDUM

Ames *Municipal Code* Section 29.1110(2)(b) criterion and staff's summary of information provided by the applicant.

29.1110 (2)(b) The structure cannot be used for the original intended purpose and or no alternative reasonable use can be identified and the property owner can show evidence that an economic hardship will be created if the structure cannot be removed. To prove economic hardship, the applicant shall submit where appropriate to the applicant's proposal, the following information to be considered.

(i) *Estimate of the cost of the proposed demolition*

- \$180,000

(ii) *Estimate of any additional cost that would be incurred to rehabilitate the building for the intended use.*

- \$3,000,000. The items included in the cost are listed on page 3 and 4 of Attachment 1 of the applicant's submittal (Attachment D).
- The architect states that this is the greatest amount of improvements that can be done to the existing structure which include structural rehab of the foundation along with electrical, accessibility, mechanical and dining area improvements. The rehabbed structure would continue to provide space for only the current 62 residents, not the desired 66.

(iii) *A report from a licensed engineer or architect with experience in rehabilitation as to the structural soundness of the structure or structures on the property and their suitability for rehabilitation. (This shall be required only when the applicant's proposal is based on an argument of structural soundness.)*

- Architect's letter indicates that the demolition proposal is not primarily based on structural soundness though some small structural issues need to be addressed and investigated further in the current building.

(iv) *Estimated market value of the property in its current condition; after completion of demolition; after any changes recommended by the City Council; and after renovation of the existing property for continued use.*

- The estimated market value of the building in its current condition is \$539,600 with an additional \$303,100 of land value (2018- City Assessor).

- The value of the property (Land) after demolition is estimated at \$303,100.
- The construction cost estimate for rehabilitation is \$3,000,000 for a 62 bed house. The value after rehabilitation is estimated at \$1,500,000.
 - Neither construction cost estimate indicates whether it includes architect fees, permit fees, or other soft costs.

(v) *An estimate from an architect, developer, real estate consultant, appraiser, or other real estate professional experienced in rehabilitation as to the economic feasibility of rehabilitation or reuse of the existing structure on the property.*

- Architect RDG has provided the following statement:

The “Estimated Cost for Rehabilitation” section deals with in use as a sorority house, however it does not address the space needs developed by Kappa Kappa Gamma with the assistance of RDG. Specifically, the sorority would like to increase its capacity of live in women and provide a Chapter room that can hold all active women in the chapter. The space to accomplish these tasks does not exist in the current structure. Adding space will also be extremely difficult aesthetically and to accommodate internal circulation flow.

After reviewing the information provided above, I believe the cost to rehabilitate and expand the existing structure to meet the programmatic needs of the chapter would be as much or more than the cost of new construction on this site. The difficulty of working with the conditions noted [previously, and the unforeseen conditions that occur with remodeling an existing building present a high cost risk to remodeling and addition to this building.

In our estimation, new construction is the best way to proceed and has the following advantages:

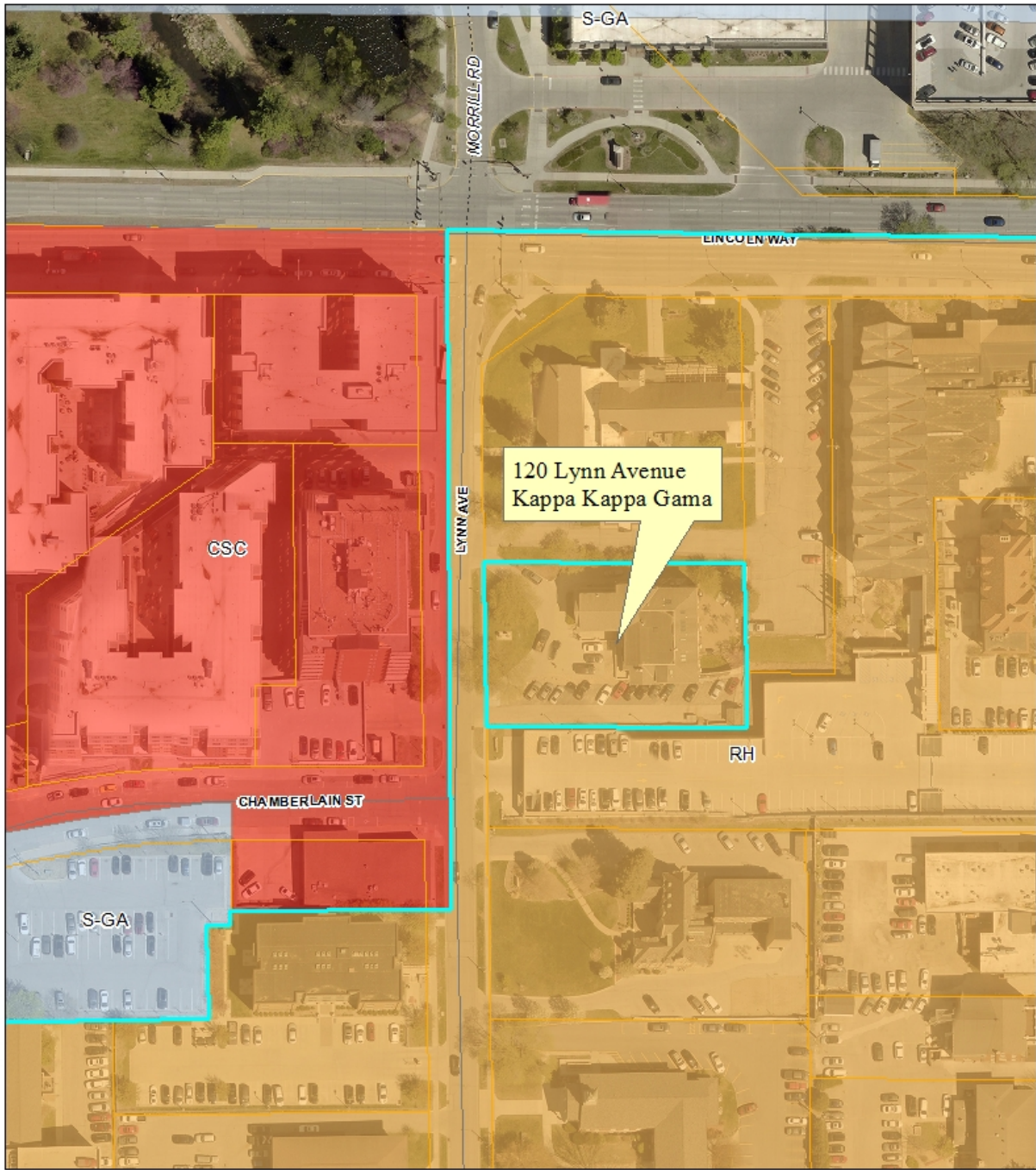
- a. More cost effective solution.
 - b. A better design solution that meets and exceeds the desired space program much better than remodel existing and expanding the structure
 - c. A more marketable product to the end user / the student.
- **A breakdown of the difference between cost of rehabilitation versus a new building is provided in Attachment C.** New construction is estimated at 4 million dollars compared to 3 million dollars for rehabilitation. The breakout includes revenues and expenses under rehabilitation and the same under new construction with a difference shown between both over the next 4 years. Additionally, a small schedule is shown indicating a time period when the debt to pay for the cost of constructing a new building is eliminated in the future.

(vi) *Amount paid for the property, the date of purchase, and the party from whom purchased, including a description of the relationship, if any, between the owner of record or applicant and the person from whom the property was purchased, and any terms of financing between the seller and buyer.*

- The current structure was built as the Roger Williams Baptist Student Center in 1930 for \$25,000. The current Greek organization, Delta Omicron House Corporation has owned the property since 1972.
- (vii) *If the property is income-producing, the annual gross income from the property for the previous two years; itemized operating and maintenance expenses for the previous two years; and depreciation deduction and annual cash flow before and after debt service, if any, during the same period.*
- Attachment 4 (page of the attached report) provides the last two years of revenues and expenses.
- (viii) *Remaining balance on any mortgage or other financing secured by the property and annual debt service, if any, for the previous two years.*
- There is currently no mortgage balance. The property has been paid for in full.
- (ix) *All appraisals obtained within the previous two years by the owner or applicant in connection with the purchase, financing, or ownership of the property.*
- A report of insurance evaluation is included in Attachment 6 of the report. No specific appraisal information has been given to staff.
- (x) *Any listing of the property for sale or rent, price asked and offers received, if any, within the previous two years.*
- Has not been for sale.
- (xi) *Assessed value of the property according to the most recent assessments.*
- The 2017 assessed value of the property is \$842,700, with \$303,100 of that in the value of land.
- (xii) *Real estate taxes for the previous two years.*
- 2016 taxes payable in September 2017 and March 2018 were \$7,590 each for a total of \$15,180.
- (xiii) *Form of ownership or operation of the property, whether sole proprietorship, for profit or not-for-profit corporation, limited partnership, joint venture, or other.*
- Not-for-profit corporation registered with the Iowa Secretary of State.
- (xiv) *Approval of a minor site development plan and architectural drawings as meeting the requirements of subsection (3) through (6) below and all other applicable standards of the City of Ames.*

- A Minor Site Development Plan and architectural drawings (elevations and floor plans) have been submitted. Staff has reviewed them and anticipates that they will meet all the standards of the City and will subsequently be approved.
- The City Council is not asked to approve the site development plan—the zoning ordinance gives that responsibility to the Director of Planning and Housing. However, staff is including a site plan and an artist's rendition of the proposed new house for the Council's information in Attachment E.

Attachment A- Location Map



120 Lynn Avenue Location & Zoning

Attachment B (Picture Of Current House)



Attachment C- Cost Comparisons

	REMODEL			NEW BUILD		
	2022-2023	2021-2022	2020-2021	2021-2022	2022-2023	2022-2023
<i>Income</i>						
Board Income	\$ 321,440.63	\$ 306,133.93	\$ 291,556.13	\$ 323,951.25	\$ 340,148.81	\$ 357,156.25
Board per Person	\$ 5,952.60	\$ 5,669.15	\$ 5,399.19	\$ 5,399.19	\$ 5,669.15	\$ 5,952.60
<i>Expenses</i>						
Repairs & Maint	\$ 30,900.00	\$ 30,000.00	\$ -	\$ -	\$ 7,000.00	\$ 7,000.00
Electric	\$ 16,647.48	\$ 16,162.60	\$ 15,691.85	\$ 10,199.70	\$ 10,403.69	\$ 10,611.77
Gas	\$ 8,490.14	\$ 8,242.86	\$ 8,002.78	\$ 5,201.80	\$ 5,305.84	\$ 5,411.96
Utilities	\$ 25,137.62	\$ 24,405.46	\$ 23,694.62	\$ 15,401.50	\$ 15,709.53	\$ 16,023.73
Construction			\$ 3,000,000.00	\$ 4,000,000.00	\$ -	\$ -

\$ saved between a new build and a remodel in 2022-2023

Board Income	\$ 35,715.63
Repairs & Maintenance	\$ 23,900.00
Utilities	\$ 9,113.90
Total	\$ 68,730

\$ saved between a new build and a remodel in 2021-2022

Board Income	\$ 34,014.88
Repairs & Maintenance	\$ 23,000.00
Utilities	\$ 8,695.93
Total	\$ 65,711

\$ saved between a new build and a remodel in 2020-2021

Board Income	\$ 35,715.63
Repairs & Maintenance	\$ (1,000,000.00)
Utilities	\$ 8,293.12
Total	\$ (955,991)

est. cumulative savings in a new build over 3 school years

Board Income	\$ 105,446.13
Repairs & Maintenance	\$ (953,100.00)
Utilities	\$ 26,102.94
Total	\$ (821,550.92)

est. cumulative savings in a new build over 12 school years

Board Income	\$ 421,784.53
Repairs & Maintenance	\$ (753,100.00)
Utilities	\$ 104,411.77
Total	\$ (226,903.70)

est. cumulative savings in a new build over 21 school years

Board Income	\$ 738,122.92
Repairs & Maintenance	\$ (527,000.00)
Utilities	\$ 182,720.60
Total	\$ 393,843.53

Delta Omicron of Kappa Kappa Gamma

Application for Demolition Permit

Based on Economic Hardship

For its Facility at

120 Lynn Avenue

Ames, IA

“O-UJE” District

Ellen Chestnut

President

emchesnut@gmail.com

Annie Brandt

Vice President

annie.brandt@thrivent.com

March 27, 2018

Table of Contents and Attachments

Attachment numbers correspond to the information requested in
Sec. 29.1110 O-UIE East University Impacted District
Paragraph 2 b

Section	Item
i.	Estimate of Demolition Cost
ii.	Estimate of additional Cost to Rehabilitate
iii.	Report of Structural Soundness
iv.	Estimated Economic Market value
v.	Economic Feasibility to Rehabilitation or reuse of existing structure
vi.	Title information for Property
vii.	Annual Gross Income and Expenses
viii.	Remaining Mortgage Balances
ix.	Appraisals (insurance inspection??)
x.	Listing of property for sale or rent in past two years
xi.	Assessed value of Property
xii.	Real Estate Taxes
xiii.	Form of Ownership
xiii.	Minor site development plan

Attachment 1

(2) (b) (i)Estimate of the cost of the proposed demolition.

(2) (b) (ii)Estimate of any additional cost that would be incurred to rehabilitate the building for the intended use.

(2) (b) (iii)A report from a licensed engineer or architect with experience in rehabilitation as to the structural soundness of the structure or structures on the property and their suitability for rehabilitation.

(2) (b) (iv) An estimate from an architect, developer, real estate consultant, appraiser or other real estate professional experienced in rehabilitation as to the economic feasibility of rehabilitation or reuse of the existing structure on the property.

(2) (b) (i)Estimate of the cost of the proposed demolition.

In discussions with Harold Pike Construction, the estimated full building demolition is \$180,000 with the scope of work noted below:

1. Permits
2. Asbestos testing
3. Asbestos removal
4. Removal of all material including footings and foundations
5. Landfill costs

Mr. Kelly Diekmann
Planner, Department of Planning and Housing
City of Ames
515 Clark Street
Ames, IA 50010

Dear Mr. Diekmann:

This letter is in reference to the Kappa Kappa Gamma Sorority House at 120 Lynn Avenue and the proposed update to its current facility. The current chapter house is owned by the Delta Omicron chapter of Kappa Kappa Gamma. The purpose of this letter is to present my firm's review of the condition of the existing building and its ability to meet current programmatic needs. This will also provide an opinion of costs related to viable improvements for remodeling to meet the current needs versus constructing a new facility.

History

Over the course of its nearly 70 year history, the Kappa Kappa Gamma Sorority House has undergone several additions and remodeling to deal with member size and academic/social needs of the chapter members. The initial structure was constructed as the Roger Williams Baptist Student Center in 1930, the women of Kappa purchased, built an addition and remodeled in spring of 1949. In 1971, the city's Building Inspector asked that five rooms in the northeast corner of the house not be used due to structural weakness in that corner of the building and major structural repair was done to the corner of the house. A significant addition was provided in 1986.

Currently the house has sixty live in members. The building is arranged as follows and totals approximately 13,298 square feet. The Chapter Room is located in the basement. The first floor has 5,083 gross square feet, the second floor has 5,041 gross square feet, and the third floor has 3,174 gross square feet. The basement has 5,041 square feet.

Evaluation

We have reviewed the existing building to ascertain how it must be modified to meet requirements for Kappa Kappa Gamma to maintain a standard of excellence as a nationally recognized sorority and viability at Iowa State University. The current structure has become outdated in conveniences and capacity. The sorority is unable to accommodate all their members, and their chapter currently requires all members to live in the house.

1. Students entering college today have increased expectations of their living conditions. They typically come from homes where they have never shared a bedroom and seek out housing that provides amenities and aesthetics consistent with the condition they came from. These include:
 - a. Upscale space amenities including access to the internet, video, privacy, recreation and ample storage space for personal belongings.
 - b. Dining options that allow for on the go and off hour access.

2. These housing environments need to provide flexibility of spaces.
 - a. Living/learning environments are now combined as students are increasing functioning in a multi-tasking mode.
 - b. Group/individual areas are needed for meeting and studying to support and encourage community building activities.
 - c. Providing space for informal socializing and small group studying as well as large spaces for whole-house functions is critical.

3. Restrictions on space and amenities of the existing spaces are becoming an increasing issue for the house.
 - a. KKG spends upwards of \$50,000 each year for small upgrades and maintenance, yet the offerings to women are not drastic improvements due to the constraints of the current structure.
 - b. The cost of operating expenses is considered as a key factor in the ongoing viability of the houses.
 - i. Efficient energy usage is critical and has a major economic impact.
 - ii. Lower maintenance costs related to construction materials and finishes have an impact on the long-term operations.

Chapter 29.1110 – Demolition Requirements

Estimated Cost for Rehabilitation **\$3,000,000**

In order for the women of Kappa Kappa Gamma to continue living in the existing house, a remodel would require gutting the home to make several key modifications.

1. Waterproofing of the basement. The basement has flooded with both sewer and storm water several times in the last five years. The current system of water discharge does not meet the City of Ames standards.
2. Kitchen. The grease interceptor is currently located inside the building in the basement, which no longer meets City of Ames standards. The interceptor would need to be moved outside the building, the kitchen to a higher level of the home.
3. Installation of central air conditioning, and a new building heating boiler system
4. Electrical upgrades are needed throughout the house. The existing service is undersized for today’s electrical needs

and the technology system.

5. Security upgrades.
6. Egress and accessibility. Remodeling the entire home will require additional space to be allotted for accessibility and egress items that were not required when the home was originally built.

Using the recent remodels of Theta Delta Chi, Alpha Gamma Rho and Delta Upsilon as comparison, the cost of approximately \$215 per square foot is appropriate.

Report of Structural Soundness

Numerous cracks were observed in the foundation walls of the building. These did not appear to be presenting major structural settlement problems. If further development of the existing building is pursued, more extensive investigative testing is warranted before proceeding. There is significant evidence of moisture penetration issues observed in areas of the basement. This will need to be addressed as noted by the “Estimated Cost for Rehabilitation” section.

Economic Feasibility for Reuse of Existing Structure

The “Estimated Cost for Rehabilitation” section deals with in use as a sorority house, however it does not address the space needs developed by Kappa Kappa Gamma with the assistance of RDG. Specifically, the sorority would like to increase its capacity of live in women and provide a Chapter room that can hold all active women in the chapter. The space to accomplish these tasks does not exist in the current structure. Adding space will also be extremely difficult aesthetically and to accommodate internal circulation flow.

After reviewing the information provided above, I believe the cost to rehabilitate and expand the existing structure to meet the programmatic needs of the chapter would be as much or more than the cost of new construction on this site. The difficulty of working with the conditions noted [previously, and the unforeseen conditions that occur with remodeling an existing building present a high cost risk to remodeling and addition to this building.

In our estimation, new construction is the best way to proceed and has the following advantages:

- a. More cost effective solution.
- b. A better design solution that meets and exceeds the desired space program much better than remodel existing and expanding the structure
- c. A more marketable product to the end user / the student.

Historic Preservation

I believe strongly in the importance of Historic Preservation, and do not recommend demolition quickly. In addition to the financial and programmatic items that align for the request to build new, the historic nature of the building must be addressed.

Although the historic frame of the building exists, much of the historic character of the building has long been removed. The windows on the existing structure were replaced several years ago. The addition in 1986 (although aesthetically compatible) changed the historic façade. Multiple remodels in the bathrooms, bedrooms and kitchen have changed the historic fabric of the interior.

The women of Kappa Kappa Gamma have expressed a strong desire to rebuild in the aesthetic of their current home, and the architecture of KKG homes across the country reinforce the idea that the new structure will be compatible to the desired proportion and materiality prevalent in Iowa State's Greek Housing.

If you have any questions, please do not hesitate to contact me.

Warmest Regards,

A handwritten signature in blue ink that reads "Aurora Fodor". The signature is written in a cursive, flowing style.

Attachment 2

(2) (b) (iv) Estimated market value of the property in its current condition after completion of demolition; after any changes recommended by the City Council; and after renovation of the existing property for continued use

Estimated Market Value in Current Condition:

Building: \$539,600

Land: \$303,100

from the Ames City Assessor's Page

After Completion of Demolition:

Land: \$303,100

After Changes Recommended by the City Council:

Not available at this time. Would need to be determined following receipt of information from City Council.

After Renovation of the Existing Property for Continued Use:

Building: \$1,500,000

Land: \$303,100

From Kappa Kappa Gamma discussion with real estate agent

Attachment 3

(2) (b) (vi) Amount paid for the property, the date of purchase, and the party from whom purchased, including a description of the relationship, if any, between the owner of record or applicant and the person from whom the property was purchased, and any terms of financing between the seller and buyer

Original cost of home \$25,000 (Ames Tribune "Building Permits" section Jan 10, 1930)

Ownership was originally held by the Kappa Alumnae but in 1972 ownership was transferred to the Delta Omicron House Corporation

Fee \$2.50

3388



WARRANTY DEED

(CORPORATE)

STORY COUNTY, IOWA
FILED FOR RECORD

JUN 21 1972 4:16 P.M.

ELLA M. HORNBACHER, Recorder
By _____ Deputy

Know All Men by These Presents:

That KAPPA KAPPA GAMMA FRATERNITY

having its principal place of business at Columbus, in Franklin
County and State of Ohio, a corporation organized and existing under the
laws of the State of Ohio, in consideration* of the sum of One Dollar and other good
and valuable consideration

in hand paid does hereby CONVEY unto DELTA OMICRON HOUSE ASSOCIATION OF KAPPA
KAPPA GAMMA FRATERNITY

Grantees' Address: Ames, Iowa

the following described real estate situated in Story County, Iowa, to-wit:

The North 129.3 feet of the South 209.3
feet of Lot 23, Parker's Addition to the
City of Ames, Iowa.

This deed is exempt from Transfer tax under Chapter 428 A.1
Code of Iowa.

And said Corporation hereby covenants with said grantees, and successors in interest, that it holds said real estate by title in fee simple; that it has good and lawful authority to sell and convey the same; that said premises are free and clear of all liens and encumbrances whatsoever, except as may be above stated; and it covenants to Warrant and Defend the said premises against the lawful claims of all persons whomsoever, except as may be above stated.

Words and phrases herein, including acknowledgement hereof, shall be construed as in the singular or plural number, according to the context.

IN WITNESS WHEREOF said corporation has caused this instrument to be duly executed this 14th
day of February, 19 72.

Kappa Kappa Gamma Fraternity

By Louise L. Barbeck
President Title

By Jane L. Koke
Treasurer Title

530 East Town Street

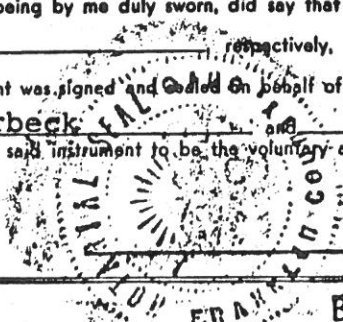
Columbus, Ohio 43216

(Grantors' Address)

OHIO
STATE OF ~~IOWA~~ COUNTY OF FRANKLIN ss.

On this 14th day of February, A.D. 1972, before me, the undersigned, a Notary Public in and for the State of ~~IOWA~~ Ohio, personally appeared Louise L. Barbeck and Jane L. Koke to me personally known, who, being by me duly sworn, did say that they are the President and Treasurer respectively, of said corporation; that (no seal has been procured by the said)

corporation; that said instrument was signed and sealed on behalf of said corporation by authority of its Board of Directors; and that the said Louise L. Barbeck and Jane L. Koke as such officers, acknowledged the execution of said instrument to be the voluntary act and deed of said corporation, by it and by them voluntarily executed.



Katharine K. Penneel
Notary Public in and for the State of Ohio

H-3086

BOOK 148 PAGE 159
2. CORPORATE DEED
This Printing: January 14, 1971

L INSTR. NO. 3388 FILED FOR RECORD THE 21 DAY OF June STATE OF IOWA, STORY COUNTY.
T RECORDING FEE 2.50 1972 AT 4:16 Ella M. Hornbacher Recorder
C TRANSFER FEE 1.00 O'CLOCK P M. BOOK 148 PAGE 159 Beila A. Nelson Deputy

Please type or print names under signatures as per Sec. 325.2 Code of Iowa as amended

Summary

Ames City Assessor

Sec-Twp-Rng 09-83-24
 Brief Tax Description PARKER'S ADD N129.3' S209.3' LOT 23
 Primary Class Residential
 Primary Zoning RH - Residential High Density Zone
 Secondary Zoning N/A
 Zoning Overlay O-UIE - E University Impacted OL Dist
 Secondary Zoning Overlay N/A
 Gross Acres 0.00
 Net Acres 0.00
 Last Transfer 6/21/1972
 Recording Date
 Deed Book/Page 148-159 (2/14/1972)
 (Instr. Date)
 Contract Book/Page N/A
 (Instr. Date)
 Taxing District AMES CITY/AMES SCH
 School District AMES COMMUNITY SCHOOL
 TIF/UR District N/A
 Drainage District N/A
 Fire District AMES
 Neighborhood Apts: Campus



Property ID 09-09-202-240
 Map ID 09-09-202-240
 Property Address 120 LYNN AVE
 AMES

[View/Print Historical Property Record Card](#)

Owner

Deed Holder
 DELTA OMICRON HOUSE ASSOC OF KAPPA KAPPA
 GAMMA FRATERNITY
 120 LYNN AVE
 AMES IA 50014-7107

Contract Holder

Mailing Address
 DELTA OMICRON HOUSE ASSOC OF KAPPA KAPPA
 GAMMA FRATERNITY
 120 LYNN AVE
 AMES IA 50014-7107

[Change mailing address](#)
[Transfer Homestead or Military](#)

Site Description (Ames)

Topography Level
 Public Utilities All
 Street or Road Paved
 Neigh. Life Cycle Static
 Legal Acres 0.6094
 Legal Sq Ft 26,545

Farm Land Computations (Ames)

Parcel Acreage 0.6094
 81 Legal Drain NV [-] 0
 82 Public Roads NV [-] 0
 83 UT Towers NV [-] 0
 9 Homesite(s) [-] 0
 Total Acres Farmland 0
 True Tax Value 0.00
 Measured Acres 0
 Average True Tax Value/Acre 0.00
 True Tax Value Farmland 0.00
 Classified Land Total 0
 Homesite(s) Value (+) 0.00
 Total Land Value 0.00

Commercial (Ames)

Card 01
 Commercial Building
 Primary Use Fraternity House
 Year Built 1949
 Above Grade Area 13,298
 Apartment Units 0
 Above Grade Floors 3
 Roofing Shingle 100%
 Porches and Decks CONCP 696
 CONCP 696
 CONCP 1300
 CONCP 1300
 Yd Item/Spc Fture/Outbldg Asphalt Paving 10800 SF

Floor	Bldg Type / Area	Peri-meter	Wall Types	Wall Hght	Framing / Area	Plumbing	Sprinkler / Area	HVAC	Bsmt Type
-------	------------------	------------	------------	-----------	----------------	----------	------------------	------	-----------

Floor	Bldg Type / Area	Perimeter	Wall Types	Wall Hght	Framing / Area	Plumbing	Sprinkler / Area	HVAC	Bsmt Type
1	FRATHSE / 5,083	376	Stud -Brick Veneer 57% Stud Synthetic Masonry Veneer 43%	9	Wood Joist / 5,083	Half Baths (2) Extra Fixtures (13)	Wet Sprinklers / 5083	Hot Water Warmed and Cooled Air	
1	FRATHSE / 5,083	376	Stud -Brick Veneer 57% Stud Synthetic Masonry Veneer 43%	9	Wood Joist / 5,083		Wet Sprinklers / 5083	Hot Water Warmed and Cooled Air	
2	FRATHSE / 5,041	340	Stud -Brick Veneer 100%	8	Wood Joist / 5,041	Half Baths (1) Extra Fixtures (12)	Wet Sprinklers / 5041	Hot Water Forced Air Unit	
2	FRATHSE / 5,041	340	Stud -Brick Veneer 100%	8	Wood Joist / 5,041		Wet Sprinklers / 5041	Hot Water Forced Air Unit	
3	FRATHSE / 3,174	0		8	Wood Joist / 3,174	Extra Fixtures (13)	Wet Sprinklers / 3174	Forced Air Unit	
3	FRATHSE / 3,174	0		8	Wood Joist / 3,174		Wet Sprinklers / 3174	Forced Air Unit	
B	FRATHSE / 5,041	340	Concrete Block 100%	9	Fire Resistant / 5,041	Half Baths (1) Extra Fixtures (4)	Wet Sprinklers / 5041	Hot Water Warmed and Cooled Air	finished
B	FRATHSE / 5,041	340	Concrete Block 100%	9	Fire Resistant / 5,041		Wet Sprinklers / 5041	Hot Water Warmed and Cooled Air	finished

Improvements (Ames)

Card 01

ID	Use	Const Type	Grade	Year Const	Eff Year	Cond	Base Rate	Features	Adj Rate	Size/ Area
C	FRATHSE			1949	1986	AV	0.00		0	18339
01	PAVING	Asphalt		1975	1975	AV	3.31		3.31	10800

Valuation (Ames)

	2017	2016	2015	2014
Classification	Residential	Residential	Residential	Residential
Secondary Classification	Fraternity/Sorority	Fraternity/Sorority	Fraternity/Sorority	Fraternity/Sorority
Value Type	Full Value	Full Value	Full Value	Full Value
+ Assessed Land Value	\$303,100	\$303,100	\$303,100	\$303,100
+ Assessed Building Value	\$0	\$0	\$0	\$0
+ Assessed Dwelling Value	\$539,600	\$539,600	\$539,600	\$539,600
= Gross Value	\$842,700	\$842,700	\$842,700	\$842,700
- Exempt Value	\$0	\$0	\$0	\$0
- Military	\$0	\$0	\$0	\$0
Net Value	\$842,700	\$842,700	\$842,700	\$842,700

Taxation (Ames)

	2016	2015	2014	2013
Classification	Residential	Residential	Residential	Residential
Value Type	Full Value	Full Value	Full Value	Full Value
+ Taxable Land Value	\$172,582	\$168,602	\$168,928	\$164,887
+ Taxable Building Value	\$0	\$0	\$0	\$0
+ Taxable Dwelling Value	\$307,243	\$300,157	\$300,738	\$293,543
= Gross Taxable Value	\$479,825	\$468,759	\$469,666	\$458,430
- Military Credit	\$0	\$0	\$0	\$0
Net Taxable Value	\$479,825	\$468,759	\$469,666	\$458,430
x Levy Rate (per \$1000 of value)	31.63447	31.65760	32.23617	32.25490
= Gross Taxes Due	\$15,179.01	\$14,839.78	\$15,140.23	\$14,786.61
- Ag Land Credit	\$0.00	\$0.00	\$0.00	\$0.00
- Family Farm Credit	\$0.00	\$0.00	\$0.00	\$0.00
- Homestead Credit	\$0.00	\$0.00	\$0.00	\$0.00
- Disabled and Senior Citizens Credit	\$0.00	\$0.00	\$0.00	\$0.00
- Business Property Credit	\$0.00	\$0.00	\$0.00	\$0.00
= Net Taxes Due	\$15,180.00	\$14,840.00	\$15,140.00	\$14,786.00

Tax History

Year	Due Date	Amount	Paid	Date Paid	Tax Statement/Receipt
2016	March 2018	\$7,590	Yes	8/31/2017	📄 134297
	September 2017	\$7,590	Yes	8/31/2017	
2015	March 2017	\$7,420	Yes	9/30/2016	📄 134575
	September 2016	\$7,420	Yes	9/30/2016	
2014	March 2016	\$7,570	Yes	10/26/2015	📄 121177
	September 2015	\$7,570	Yes	10/8/2015	
2013	March 2015	\$7,393	Yes	9/15/2014	📄 117597
	September 2014	\$7,393	Yes	9/15/2014	

Homestead Tax Credit Application

Apply online for the Homestead Tax Credit

Military Service Tax Exemption Application

Apply online for the Military Service Tax Exemption

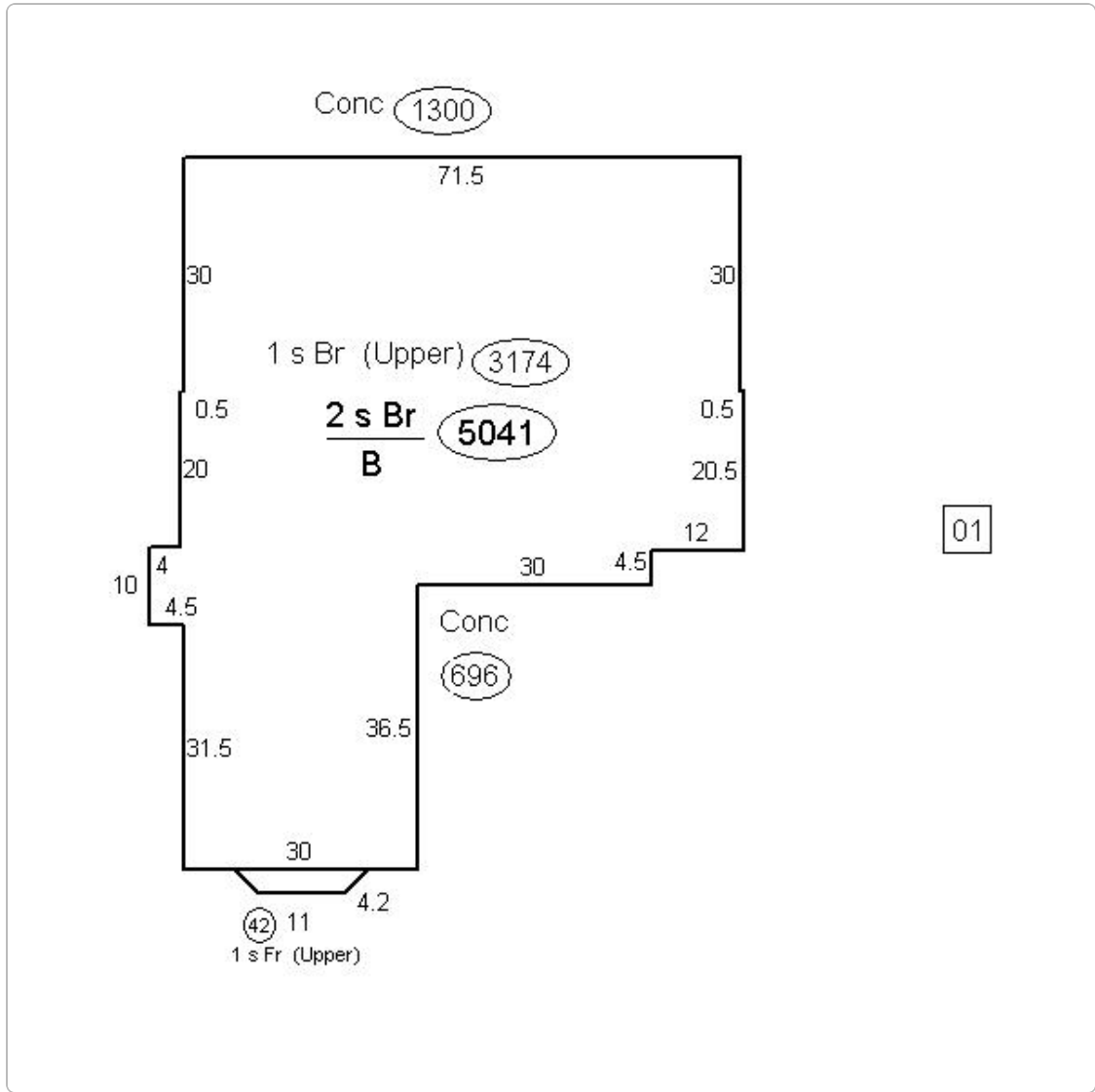
Iowa Land Records

View (148-159)

Photos



Sketches



Click sketch thumbnail to enlarge.

No data available for the following modules: Land, Residential Dwellings, Commercial/Industrial Buildings, Agricultural Buildings, Yard Extras, Sales, Land (Ames), Residential (Ames), Transfers (Ames), Res Sales (Ames), Valuation, Taxation, Tax Sale Certificates, Special Assessments.

The information in this web site represents current data from a working file which is updated continuously. Information is believed reliable, but its accuracy cannot be guaranteed.

Last Data Upload: 3/26/2018, 8:57:06 PM



----- Forwarded message -----

From: **Jessica Gunter** <jessica.gunter@mjsorority.com>

Date: Wed, Mar 7, 2018 at 9:48 AM

Subject: Kappa Kappa Gamma Fraternity 2018-2019 Insurance Overview

To: "emchesnut@gmail.com" <emchesnut@gmail.com>

MJ Insurance, Inc. Sorority Division

P.O. Box 50435 | Indianapolis, IN 46250-0435 | (888) 442-7470

www.mjsorority.com

We appreciate our partnership with Kappa Kappa Gamma Fraternity and your members and volunteers. Thank you for the chance to serve you in the coming year!

This document is only a brief summary of your insurance coverages. Should you require a Certificate of Insurance, please request a Certificate of Insurance directly via our website. For a more detailed review of your insurance coverages, please refer to the "Insurance and Risk Management Summary" on our website at www.mjsorority.com.

Kappa Kappa Gamma Fraternity

Insurance Overview

DELTA OMICRON

120 Lynn Ave.

3/1/18 - 3/1/19

Ames, IA 50014-7017

Property & Equipment Breakdown Coverage		Insurance Carrier: Travelers Insurance Co.	
Building:		\$2,875,500	
Contents:		\$351,800	
Loss of Income & Extra Expense:		\$130,400	
Fine Arts:		None Scheduled	
Historic Property Coverage Extension:		No	
Sprinkler System: Yes		Leak Detection System: No	
Replacement Cost, Special Form Perils			
Mortgagee and / or Loss Payee: None Scheduled			
Deductible*:	\$5,000	Equipment Breakdown Deductible:	\$1,000

*The Deductible may not be altered for individual locations.

Wind deductible of \$10,000 for locations in the Florida counties of Hillsborough, Dade, Palm Beach, Broward, Pinellas, and Monroe.

Wind and Hail deductible of \$15,000 for locations in the States of Kansas and Oklahoma.

Flood Coverage		Insurance Carrier: Travelers Insurance Co.	
Limit:	\$5,500,000	Deductible:	\$25,000

We encourage you to check your Flood Zone by logging into <https://msc.fema.gov/portal/search>. If your property is located in Flood Zones A, B, D, X, X/500 or non-participating or suspended communities, coverage limits and deductible amounts will differ. Please contact your Client Executive for further information.

Earthquake Coverage		Insurance Carrier: Travelers Insurance Co.	
California Locations Limit:	\$1,000,000	Deductible:	The greater of 5% or \$25,000
All Other Locations Limit:	\$25,000,000	Deductible:	\$25,000

If your property is located in Washington, your coverage limits may be limited to \$5,000,000.

Please contact your Client Executive for more information. Coverage is not provided for properties located in the States of Alaska or Hawaii.

		Insurance Carrier: Travelers Insurance Co.	
Each Occurrence	\$1,000,000	Limit applies separately to each location	
General Aggregate	\$2,000,000		
Personal Injury	\$1,000,000		
Damage to Premises Rented to You	\$1,000,000		
Guest Medical Payments	\$10,000		
Host Liquor Liability: Included			
Excess Liability Coverage			
Insurance Carrier:	Markel		
Each Occurrence Limit:	\$15,000,000		
Aggregate Limit:	\$15,000,000		

Directors & Officers Liability & Employment Practices Liability Coverage	Insurance Carrier: Chubb Policy # 8223-4426	
Directors & Officers (D&O) Liability Limit:	\$1,000,000	\$25,000 Retention
Employment Practices Liability (EPL) Limit:	\$2,000,000	\$15,000 Retention
Limit is a single combined limit for any one D&O or EPL claim: No		
Crime (Bond) Coverage	Insurance Carrier: Chubb	
Embezzlement (Employee Dishonesty) Forgery	\$500,000	Retention Varies
	\$100,000	\$1,000 Retention
Workers' Compensation Coverage	Insurance Carrier: Travelers Insurance Co.	
Yes		

Attachment 4

(2) (b) (vii) If the property is income-producing, the annual gross income from the property for the previous two years; itemized operating and maintenance expenses for the previous two years; and depreciation deductions and annual cash flow before and after debt service, if any, during the same period

Kappa Kappa Gamma's House Board collects rent to cover the costs of insurance, long-term maintenance, property taxes and yearly updates to the house including improvements, decorating, remodels, furniture, etc.

Kappa Kappa Gamma's House Department collects board, which covers all the annual operating expenses including payroll. This is an in and out account, most funds at the end of the fiscal year are transferred back to the House Board.

KKG HOUSE BOARD

PROFIT AND LOSS

July 2016 - June 2017

	TOTAL
Income	
Fiscal Year End Overage	100,550.00
House Corp Fee	8,550.00
Maintenance Fee	15,750.00
Regular Board	0.00
Room Rent	152,206.49
Transient Board	0.00
Total Income	\$277,056.49
GROSS PROFIT	\$277,056.49
Expenses	
Bank Service Charges	37.61
Contributions/Gifts	618.48
House Remodel/Updates	14,384.87
Insurance Expense	9,975.00
Meals and Entertainment	708.21
Miscellaneous Expense	761.00
Payroll Expenses	696.87
Repairs and Maintenance	33,811.37
Taxes - Property	14,840.00
Travel Expense	2,655.40
Total Expenses	\$78,488.81
NET OPERATING INCOME	\$198,567.68
Other Income	
Damage Deposit	100.00
Room Security Deposits	150.00
Total Other Income	\$250.00
NET OTHER INCOME	\$250.00
NET INCOME	\$198,817.68

Kappa Kappa Gamma House Department

PROFIT AND LOSS

July 2015 - June 2016

	TOTAL
Income	
Miscellaneous Income	125.00
Out of House Meal Plan	2,500.00
Regular Board	254,000.00
Transient Board	48,750.00
Vending Machine	51.30
Total Income	\$305,426.30
GROSS PROFIT	\$305,426.30
Expenses	
Alarm Maintenance/Security	3,361.41
Bank Charges	32.35
Bookkeeping Services	1,530.00
Cable	1,446.07
Chapter Activities	255.00
Charitable Contributions	25.00
Cleaning/Housekeeping	28,169.80
Food	62,825.51
Grounds Upkeep/Landscaping	840.73
Insurance	10,222.00
Internet/Computers	7,613.26
Laundry	52.10
Misc Equipment/Fixtures	360.20
Miscellaneous	0.00
Other Expenses	24,250.00
Outside Contract Labor	21,484.25
Payroll Expenses	
Dues	750.00
House Director Benefits	1,003.18
Insurance	390.00
Taxes	19,343.82
Wages	41,369.81
Total Payroll Expenses	62,856.81
Pest Control	410.88
Postage	44.00
Professional Fees	1,633.75
Reconciliation Discrepancies	44,569.24
Repairs & Maintenance	9,829.50
Supplies	10,129.76
Telephone	2,645.21
Trash	1,830.00
Utilities	
Electric	10,873.02
Gas	12,338.91

	TOTAL
Total Utilities	23,211.93
Total Expenses	\$319,628.76
NET OPERATING INCOME	\$ -14,202.46
NET INCOME	\$ -14,202.46

Kappa Kappa Gamma House Department

PROFIT AND LOSS

July 2016 - June 2017

	TOTAL
Income	
Regular Board	252,000.00
Transient Board	51,500.00
Vending Machine	1,077.37
Total Income	\$304,577.37
GROSS PROFIT	\$304,577.37
Expenses	
Alarm Maintenance/Security	1,661.88
Bank Charges	32.61
Bookkeeping Services	1,350.00
Cable	932.35
Chapter Activities	1,334.53
Cleaning/Housekeeping	36,297.36
Employee Benefits	6,130.00
Food	61,066.29
Gifts	79.01
Grounds Upkeep/Landscaping	9,179.44
Insurance	270.00
Internet/Computers	6,648.78
Misc Equipment/Fixtures	1,504.08
Miscellaneous	204.54
Other Expenses	150.00
Outside Contract Labor	10,559.05
Payroll Expenses	
House Director Benefits	283.29
Insurance	182.00
Taxes	6,685.79
Wages	80,057.98
Total Payroll Expenses	87,209.06
Pest Control	711.55
Professional Fees	4,387.00
Repairs & Maintenance	20,640.92
Supplies	9,583.99
Telephone	1,625.82
Transfer to House Corp	91,250.00
Trash	2,328.00
Utilities	
Electric	17,184.17
Gas	4,565.85
Total Utilities	21,750.02
Vending Machines	455.86
Total Expenses	\$377,342.14
NET OPERATING INCOME	\$ -72,764.77

	TOTAL
NET INCOME	\$ -72,764.77

KKG HOUSE BOARD

PROFIT AND LOSS

July 2015 - June 2016

	TOTAL
Income	
Chapter Room Rent	600.00
Fiscal Year End Overage	24,250.00
Maintenance Fee	15,075.00
Regular Board	0.00
Out of House Meal Plans	0.00
Total Regular Board	0.00
Room Rent	152,940.00
Transient Board	0.00
Total Income	\$192,865.00
GROSS PROFIT	\$192,865.00
Expenses	
Bank Service Charges	5.00
Contributions/Gifts	30.00
Dues and Subscriptions	69.98
House Remodel/Updates	1,585.45
Insurance Expense	-1,020.93
Lawn Care	2,878.43
Meals and Entertainment	1,231.26
Miscellaneous Expense	-86.66
Payroll Expenses	930.78
Professional Fees	1,100.00
Repairs and Maintenance	5,626.19
Taxes - Property	15,254.00
Total Expenses	\$27,603.50
NET OPERATING INCOME	\$165,261.50
Other Income	
Room Security Deposits	1,050.00
Total Other Income	\$1,050.00
NET OTHER INCOME	\$1,050.00
NET INCOME	\$166,311.50

Attachment 5

(2) (b) (viii) Remaining balance on any mortgage or other financing secured by the property and annual debt service, if any for the previous two years.

Statement of current outstanding mortgages: the property has been paid for in full, there is no mortgage on this property.

Attachment 6

(2) (b) (ix) All appraisals obtained within the previous two years by the owner or applicant in connection with the purchase, financing or ownership of the property.

Attachment 7

(2) (b) (x) Any listing of the property for sale or rent, price asked and offers received, if any.

The property is restricted for use by the undergraduate members of Kappa Kappa Gamma who are in good standing with the undergraduate Chapter and the National Sorority. The property is owned by the Delta Omicron House Corporation

The facility has never been the subject of a public offer to rent or lease.

Attachment 8

(2) (b) (xi) Assessed value of the property according to the most recent assessments..

Attachment 9

(2) (b) (xii)

Delta Omicron of Kappa Kappa Gamma

Property Tax Payments during the period 1/1/2015 through 12/31/16

2016 Story County Treasurer Property Taxes	\$15,180
2015 Story County Treasurer Property Taxes	\$14,840
	<hr/>
Total Property Taxes	\$30,020

Attachment 10

(2) (b) (xiii) Form of ownership or operation of the property, whether sole proprietorship, for- profit or not-for profit corporation, limited partnership, joint venture or other.

Ownership is by the Delta Omicron House Corporation, a not-for-profit cooperation

Attachment 11

(2) (b) (xiii) Approval of minor site development plan and architectural drawings as meeting the requirements of subsection (3) through (6) below and all other applicable standards of the City of Ames.

Prior to moving forward with design, Kappa Kappa Gamma would like to confirm that demolishing the existing building is acceptable. We recognize we are beholden to Chapter 29, Article 11 of the East University Impacted District Overlay Zone.

Attached is a site plan showing adherence to the Development Standards of Front Yard setbacks and Maximum Residential building coverage. With approval from the City to demolish, RDG work with KKG to develop schematic drawings addressing Architectural Design Standards, Landscaping and Fences and Parking requirements for city review and comment.



**ISU - Kappa Kappa Gamma
 NEW SORORITY HOUSE**

EAST UNIVERSITY IMPACT DISTRICT (O-UIE)
 RESIDENTIAL HIGH DENSITY ZONE (RH)

**120 Lynn Avenue
 Ames, Iowa 50010**

SCHEMATIC DESIGN

**PRELIMINARY -
 NOT FOR CONSTRUCTION**

© 2019 RDG Planning & Design

PROJECT NUMBER: **3001.860.01**

DATE: **05/30/2019**

DRAWING INDEX:

GENERAL

G01.01 COVER
 G02.01 SURVEY

LANDSCAPE

C1.01 SITE UTILITY PLAN
 L1.01 SITE PREPARATION PLAN
 L2.01 SITE LAYOUT PLAN
 L3.01 SITE PLANTING PLAN
 L3.02 POLLUTION PREVENTION PLAN
 L03.02 POLLUTION PLAN
 L4.01 SITE GRADING PLAN
 L5.01 DETAILS

ELECTRICAL

E4.01 ELECTRICAL RISER DIAGRAM
 ES.02 SITE PLAN PHOTOMETRY

ARCHITECTURE

A00.01 DEMOLITION PLAN
 A00.01 CODE REVIEW
 A00.02 CODE SITE PLAN
 A00.10 CODE ANALYSIS AND PLAN
 A00.11 CODE PLAN
 A01.01 FLOOR PLAN BASEMENT
 A01.02 FLOOR PLAN LEVEL 1
 A01.03 FLOOR PLAN LEVEL 2
 A01.04 FLOOR PLAN LEVEL 3
 A04.01 ROOF PLAN
 A05.01 EXTERIOR ELEVATIONS

ZONING

RESIDENTIAL HIGH DENSITY ZONE (RH) IN THE EAST
 UNIVERSITY IMPACTED DISTRICT (O-UIE).



PROPRIETOR

Delta Omicron House Association of
Kappa Kappa Gamma Fraternity
120 Lynn Avenue
Ames, Iowa 50014

PREPARED FOR

RDG Planning & Design
301 Grand Avenue
Des Moines, Iowa 50309

LEGEND

- Found monument 5/8" IR with red cap #18530 unless otherwise noted
● Set monument 5/8" IR with red cap #18530 unless otherwise noted
● Round iron rebar (outside diameter)
● Round iron pipe (outside diameter)
● Portland cement concrete
● Asphaltic cement concrete
● Pipe flowline elevation
● Spot elevation
● Reinforced concrete pipe
● Corrugated metal pipe
● Corrugated plastic pipe
● Polyvinyl chloride pipe
● Cast iron pipe
● Electric transformer on pole
● Electric drop on pole
● Subject boundary line
● Section line
● Property line
● Easement line
● FEMA line
● Barbed wire fence line
● Chain-link fence line
● Wood fence line
● Retaining wall
● Sanitary sewer & size
● Storm sewer and size
● Water main and size
● Gas main & size
● Overhead electric & wires
● Overhead communication
● Underground electric
● Underground television
● Underground communication
● Contour elevation
● Swale flowline
● Edge of water
● Edge of tree drip-line
● Sanitary sewer manhole
● Cleanout
● Storm sewer manhole
● Storm sewer intake
● Storm sewer beehive
● Flared end section
● Water hydrant
● Water valve
● Water service shut-off
● Water main manhole
● Monitoring well
● Yard hydrant
● Well
● Gas meter
● Gas valve
● Air conditioning unit
● Electric manhole
● Electric meter
● Electric pedestal
● Electric transformer
● Utility hand hole
● Utility pole
● Light pole
● Utility pole with light
● Light pole with double arm
● Light pole with single arm
● Guy pole
● Guy wire
● Ground light
● Traffic signal
● Traffic signal with light
● Traffic manhole
● Communication pedestal
● Telephone booth
● TV pedestal
● Soil boring
● Benchmark
● Wheel stop
● Billboard sign
● Street sign
● Basketball hoop
● Bollard (typical)
● Down spout
● Handicap parking stall
● Tree shrub
● Deciduous tree and trunk diameter
● Coniferous tree and trunk diameter

- Found monument 5/8" IR with red cap #18530 unless otherwise noted
Set monument 5/8" IR with red cap #18530 unless otherwise noted
Round iron rebar (outside diameter)
Round iron pipe (outside diameter)
Portland cement concrete
Asphaltic cement concrete
Pipe flowline elevation
Spot elevation
Reinforced concrete pipe
Corrugated metal pipe
Corrugated plastic pipe
Polyvinyl chloride pipe
Cast iron pipe
Electric transformer on pole
Electric drop on pole
Subject boundary line
Section line
Property line
Easement line
FEMA line
Barbed wire fence line
Chain-link fence line
Wood fence line
Retaining wall
Sanitary sewer & size
Storm sewer and size
Water main and size
Gas main & size
Overhead electric & wires
Overhead communication
Underground electric
Underground television
Underground communication
Contour elevation
Swale flowline
Edge of water
Edge of tree drip-line
Sanitary sewer manhole
Cleanout
Storm sewer manhole
Storm sewer intake
Storm sewer beehive
Flared end section
Water hydrant
Water valve
Water service shut-off
Water main manhole
Monitoring well
Yard hydrant
Well
Gas meter
Gas valve
Air conditioning unit
Electric manhole
Electric meter
Electric pedestal
Electric transformer
Utility hand hole
Utility pole
Light pole
Utility pole with light
Light pole with double arm
Light pole with single arm
Guy pole
Guy wire
Ground light
Traffic signal
Traffic signal with light
Traffic manhole
Communication pedestal
Telephone booth
TV pedestal
Soil boring
Benchmark
Wheel stop
Billboard sign
Street sign
Basketball hoop
Bollard (typical)
Down spout
Handicap parking stall
Tree shrub
Deciduous tree and trunk diameter
Coniferous tree and trunk diameter

LEGAL DESCRIPTION OF PROPERTY SURVEYED

(Per Warranty Deed recorded in Book 148, Page 159)

The North 129.3 feet of the South 209.3 feet of Lot 23, PARKER'S ADDITION TO AMES, an official plat, located in the City of Ames, Story County, Iowa.

Containing 0.61 acres more or less.

Said parcel is subject to any and all restrictions, covenants and easements of record.

SURVEY NOTES

- 1. Land area: 0.61 acres
2. Site Address: 120 Lynne Avenue Ames, Iowa 50014
3. The utilities shown have been located from field survey information of above grade observed evidence and/or records obtained. The surveyor makes no guarantee that the utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the utilities shown are in the exact location indicated.
4. Utility contact information:
DISTRICT CONTACT NAME PHONE EMAIL
(ANW) Alliant Energy Laura Barr 3192861315 locate_lpl@alliantenergy.com
(A11) City of Ames Utility Maint. Ben McConville 5152395162 bmconville@city.ames.ia.us
(A12) City of Ames Electric Services Mark Carran 5152395189 mcarran@city.ames.ia.us
(CTLIA01) CenturyLink Tom Sturmer 7205788090 Thomas.sturmer@centurylink.com
(ICS) Internet Consulting Services Adam Woodard 5152684045 locates@ics-llc.net
(ISU) Iowa State University Randolph K Larabee 5152942716 rlarabee@iastate.edu
(T11) Mediacom Mike Lawler 5155712183 mlawler@mediacomcc.com
(T12) Mediacom Tim Adreon 5152332318 tadreon@mediacomcc.com
(UPN) Unite Private Networks, LLC Joe Klizer 8164253556 upngis@upnfbcr.com

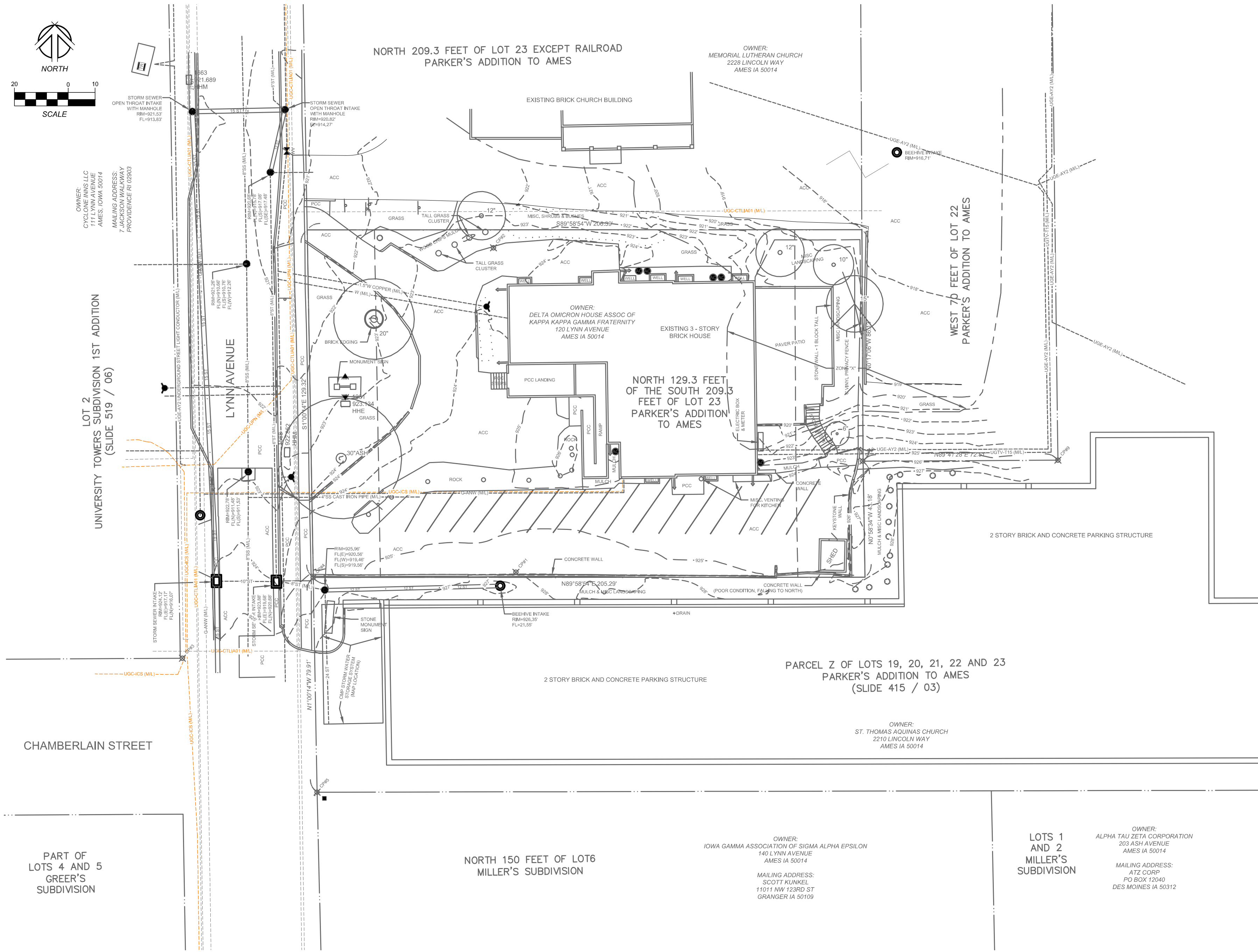
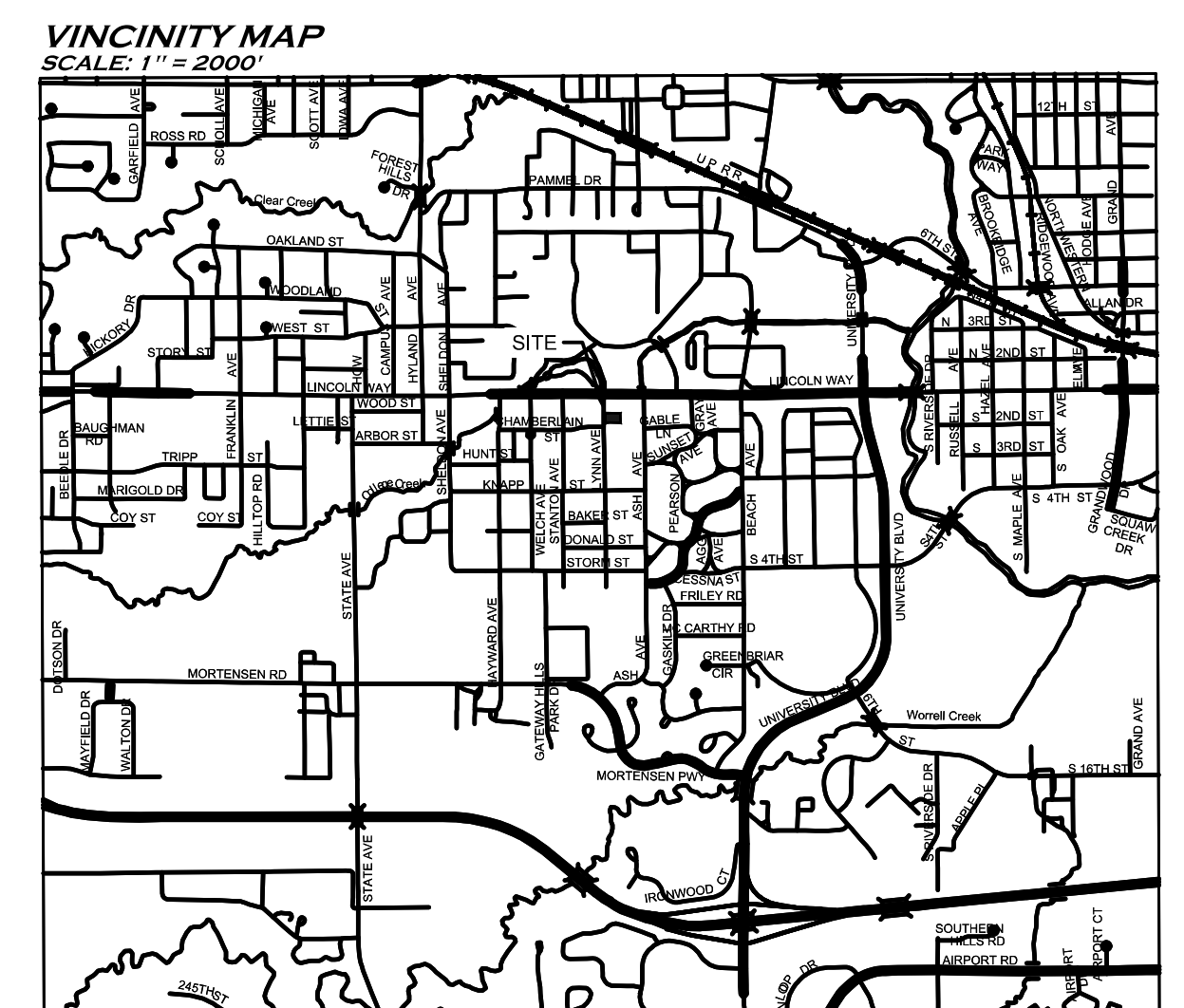
Restrictions (I.E., building setbacks, height and bulk regulations, etc.) shown hereon are based on information provided and are subject to interpretation. We cannot certify to a restriction on the basis of an interpretation or the opinion of another party.

- "RH" BULK REGULATIONS - minimum principal building setbacks:
Minimum front yard setback: 25 feet
Minimum side yard setback:
- 6 feet for 1 story
- 8 feet for 2 stories
- 10 feet for 3 stories
- 12 feet for 4 stories
- 4 feet additional for each story over 4
Minimum rear yard setback - 25 feet
Minimum frontage - 24 feet @ street line for single family attached, all others 35 feet @ street line and 24 feet @ building line for single family attached, all others 50 feet @ building line
Maximum building height ("O-UJE"): 45 feet

- PARKING REQUIREMENTS:
- 1.5 parking spaces per residential unit for one bedroom residential units in an apartment dwelling.
- 1.25 parking spaces per bedroom for residential units of 2 bedrooms or more in an apartment dwelling.
- All other uses shall provide parking as required in Table 29.406 (2)

- 6. The Basis of Bearings for this survey is Iowa State Plane Coordinate System, Iowa North, US Feet, North American Datum 1983 and the vertical datum used for this survey is NAVD 88.
7. The north line of the North 129.3 feet of the South 209.3 feet of Lot 23 is assumed to bear South 89° 58' 54" West.
8. The property described in this survey lies within Zone "X" of the Flood Insurance Rate Map identified as Community Panel Number 19169C0144F, bearing a revised date of October 16, 2014. Zone "X" are areas of 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
9. The property described has direct access to Lynn Avenue, a dedicated public street.
10. There are no visible wetland areas on property.

CONTROL POINTS
NAD83 IOWA STATE PLANE, NORTH ZONE, US FOOT / NAVD 88
Table with 5 columns: Point #, Northing, Easting, Elevation, Description



Vertical sidebar containing project information: PROJECT NAME (KAPPA KAPPA GAMMA), DATE (09/10/2018), DRAWN BY (BER), CHECKED BY (TJH), SHEET SIZE (24" X 36"), SHEET TITLE (TO-1), SHEET NO. (1/1), and a disclaimer for the surveyor.

UTILITY PLAN GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE CURRENT EDITION SUDAS, AS AMENDED BY THE CURRENT CITY OF AMES SUPPLEMENTAL SPECIFICATIONS. ALL NOTES AND REFERENCES TO SUDAS SHALL COMPLY WITH SUDAS, AS AMENDED BY THE CITY'S SUPPLEMENTAL SPECIFICATIONS.
- TRENCH EXCAVATION AND BACKFILL SHALL BE COMPLETED AS PER SUDAS SPECIFICATION 3010.
- STORM SEWER INSTALLATION SHALL BE COMPLETED AS PER SUDAS SPECIFICATION SECTION 4020.
- SANITARY SEWER INSTALLATION SHALL BE COMPLETED AS PER SUDAS SPECIFICATION SECTION 4010.
- SUBDRAIN INSTALLATION SHALL BE COMPLETED AS PER SUDAS SPECIFICATION 4040.
- WATER MAIN, SERVICES, FITTING AND FIXTURES SHALL BE INSTALLED AS PER SUDAS SPECIFICATION SECTION 5010.
- TRENCH EXCAVATION, BACKFILL AND COMPACTION TESTING SHALL BE INCLUDED AS INCIDENTAL TO THIS PROJECT. TEST RESULTS SHALL BE PROVIDED TO OWNERS REPRESENTATIVE FOR REVIEW.
- STORM AND SANITARY STRUCTURES SHALL BE INSTALLED AS PER SUDAS SPECIFICATION SECTION 6010.
- CLEANING, INSPECTION AND TESTING OF SEWERS AND STRUCTURES SHALL BE COMPLETED BY THE CONTRACTOR AS PER SUDAS SPECIFICATIONS.
- SUBDRAINS AND AGGREGATE MATERIALS WATER QUALITY BMPs ONLY BE INSTALLED AFTER ALL OTHER CONSTRUCTION OPERATIONS IN THE SURROUNDING AREA HAVE BEEN COMPLETED. REFER TO SHEET L3.01 FOR ADDITIONAL STAGING INSTRUCTIONS.

UTILITY PLAN KEYNOTES

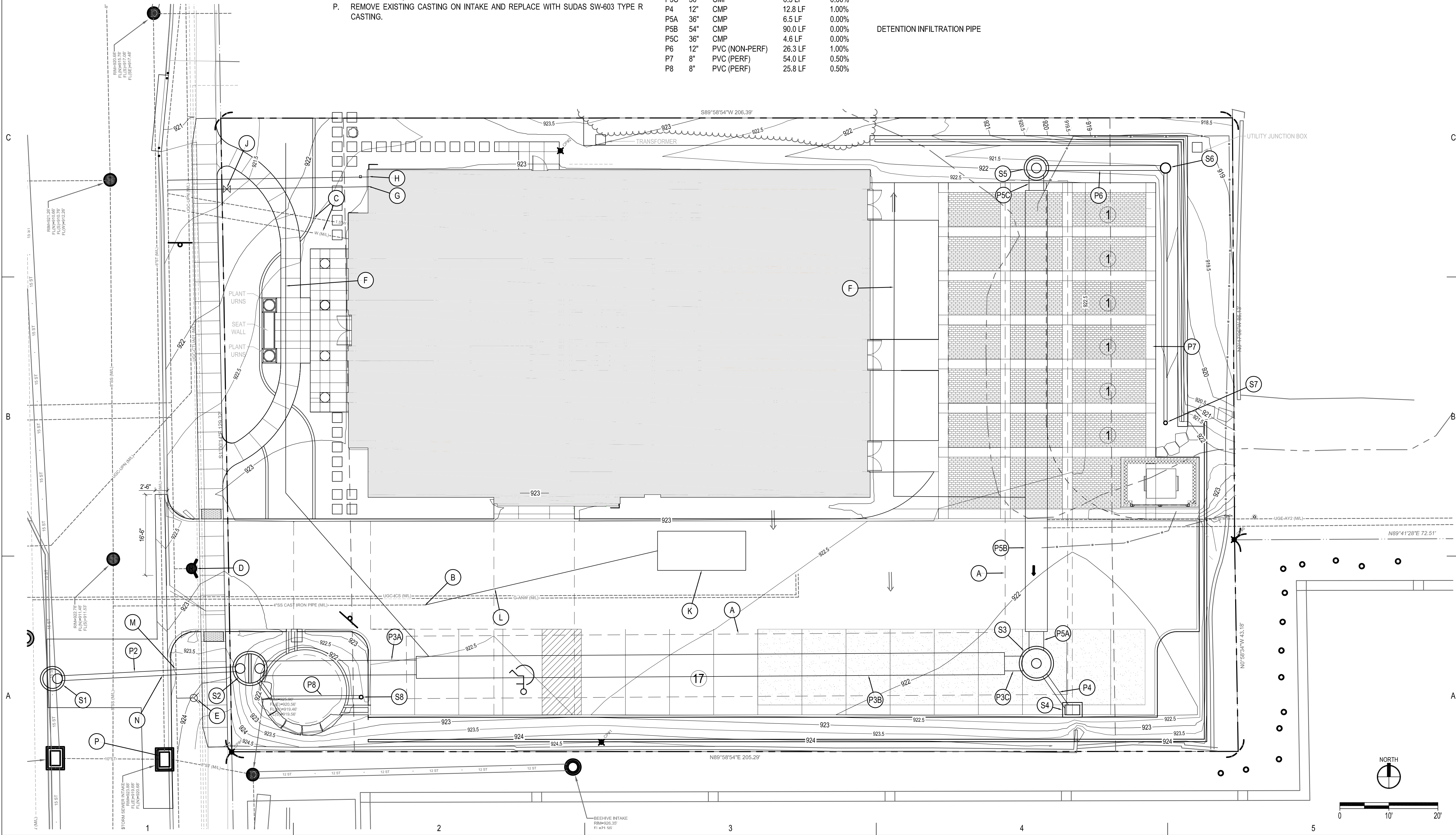
- LIMIT OF AGGREGATE ENVELOPE AROUND CMP DETENTION INFILTRATION PIPE.
- CONNECT SANITARY SEWER SERVICE TO EXISTING SERVICE LINE. **VERIFY THAT THE EXISTING SEWER SERVICE IS IN GOOD CONDITION TO, AND INCLUDING, THE CONNECTION AT THE MAIN. IF NOT IN GOOD CONDITION, A NEW SEWER SERVICE LINE AND TAP WILL NEED TO BE INSTALLED.**
- REMOVE EXISTING WATER SERVICE TO EXISTING WATER MAIN.
- REMOVE EXISTING HYDRANT. REMOVE TEE FROM MAIN AND REPLACE MAIN AS NECESSARY (SEE KEYNOTE E). COORDINATE WITH CITY TO LIMIT LENGTH OF ANY WATER SERVICE DISRUPTION.
- RELOCATE HYDRANT TO THIS LOCATION. CUT IN 8"x6". REMOVE AND REPLACE 8" WATER MAIN TO PAST EXISTING HYDRANT LOCATION, OR INSTALL WITH TAPPING VALVE AND SLEEVE AND REDUCE REMOVAL AND REPLACEMENT QUANTITY OF MAIN RUNNING PARALLEL TO STREET ACCORDINGLY.
- CONNECT DOWNSPOUTS TO SUBSURFACE DETENTION SYSTEM VIA 8" PVC (NON-PERF) SUBDRAIN @ 2.00% MINIMUM GRADE.
- 2" DOMESTIC WATER SERVICE.
- 6" FIRE SPRINKLER SERVICE (WITH PIV NEAR BUILDING).
- 2" WATER SHUTOFF VALVE.
- GREASE INTERCEPTOR.
- 4" SANITARY SERVICE.
- VERIFY ELEVATION OF NEW STORM AND DEFLECT RECONSTRUCTED WATER MAIN AS NEEDED TO PROVIDE MINIMUM OF 18" VERTICAL CLEARANCE (REFER ALSO TO KEYNOTES D AND E).
- VERIFY ELEVATION OF 6" SUBDRAIN. PROTECT 6" SUBDRAIN, OR CONNECT TO NEW STORM SEWER, IF IN CONFLICT.
- REMOVE EXISTING CASTING ON INTAKE AND REPLACE WITH SUDAS SW-603 TYPE R CASTING.

UTILITY STRUCTURE SCHEDULE

NO	TYPE	COVER	RIM	INVERT(S)	NOTES
S1	SW-401 STORM MANHOLE (48"Ø)	TYPE F	923.62	916.08(P2), 915.83(EX)	ROTATE MANHOLE POSITION TO BE LOCATED OUTSIDE OF CURB
S2	SPECIAL MANHOLE (72"Ø)	2 - TYPE E	922.09	919.67(P8), 916.48(P3A,P2)	MULTI-STAGE OUTLET CONTROL, SEE DETAIL
S3	SW-401 STORM MANHOLE (72"Ø)	TYPE F	922.71	920.21(P4), 916.48(P5A, P3C)	
S4	SW-501 CURB INTAKE	TYPE R	922.02	920.33(P4)	RIM ELEVATION LISTED IS TOP OF CURB
S5	SW-401 STORM MANHOLE (48"Ø)	TYPE E	921.90	919.66(P6), 916.48(P5C)	
S6	24"Ø NYLOPLAST DRAIN BASIN	STANDARD	921.05	920.17(P7), 919.92(P6)	
S7	8" CLEANOUT	TYPE A-2	922.47	920.44(P7)	INSTALL 3" ABOVE SURROUNDING GRADE
S8	8" CLEANOUT	TYPE A-2	922.25	919.80(P8)	INSTALL 3" ABOVE SURROUNDING GRADE

UTILITY PIPE SCHEDULE

NO	SIZE	TYPE	LENGTH	SLOPE	NOTES
P2	12"	RCP	40.3 LF	1.00%	
P3A	36"	CMP	33.9 LF	0.00%	
P3B	54"	CMP	120.0 LF	0.00%	DETENTION INFILTRATION PIPE
P3C	36"	CMP	6.5 LF	0.00%	
P4	12"	CMP	12.8 LF	1.00%	
P5A	36"	CMP	6.5 LF	0.00%	
P5B	54"	CMP	90.0 LF	0.00%	DETENTION INFILTRATION PIPE
P5C	36"	CMP	4.6 LF	0.00%	
P6	12"	PVC (NON-PERF)	26.3 LF	1.00%	
P7	8"	PVC (PERF)	54.0 LF	0.50%	
P8	8"	PVC (PERF)	25.8 LF	0.50%	



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REV DATE DESCRIPTION

ISSUED:	3/30/2019
PROJECT NO.:	3001.866.01

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SITE
UTILITY
PLAN

C1.01

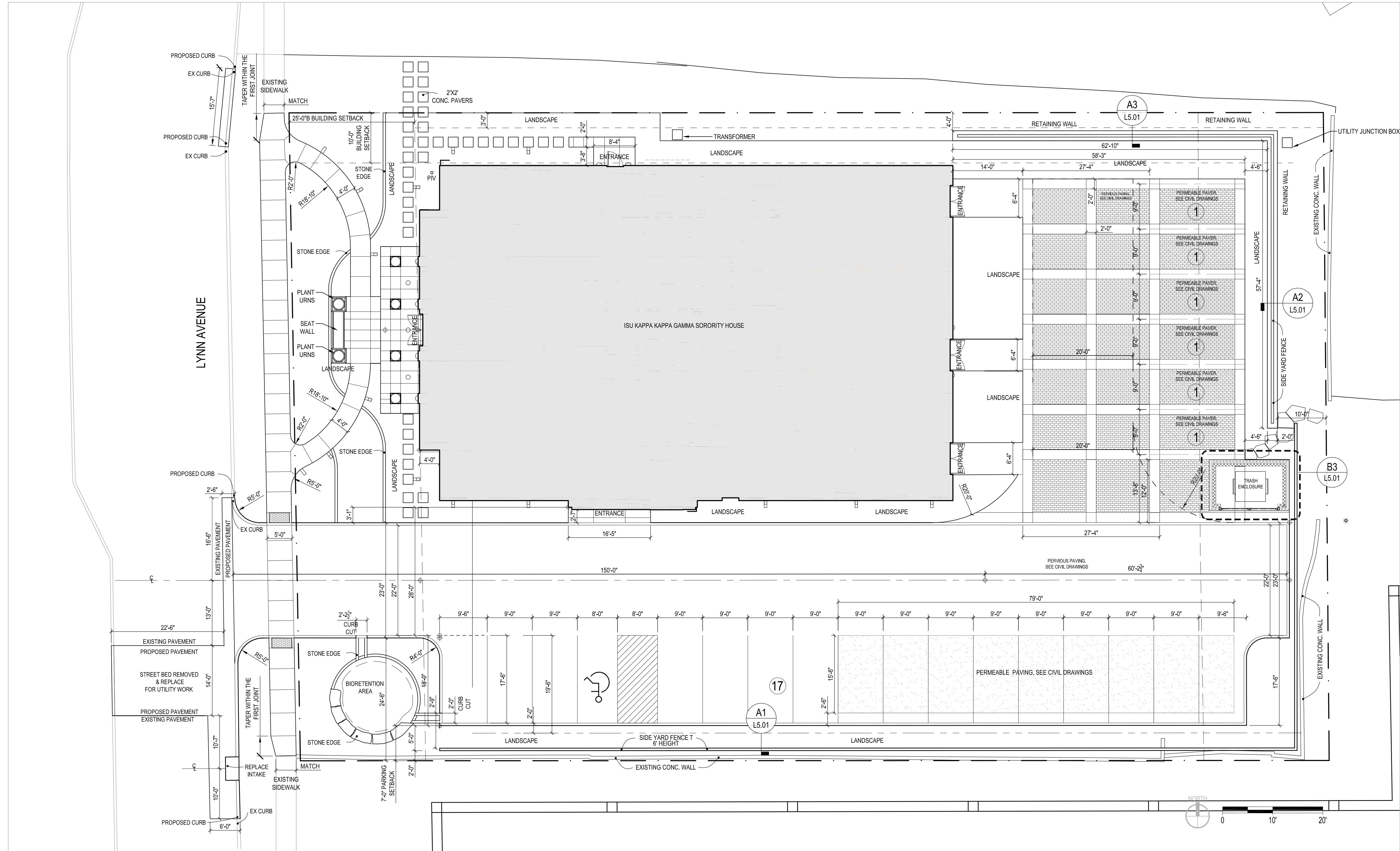
GENERAL NOTES

1. PRIOR TO ANY EXCAVATION AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER AND/OR LANDSCAPE ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY'S REPRESENTATIVES TO DETERMINE POSSIBLE UTILITY LOCATIONS AND DEPTHS. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE RESULTING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
2. A ROW PERMIT WILL BE REQUIRED FOR ANY WORK PERFORMED INCLUDING STREET/SIDEWALK CLOSURES WITHIN THE CITY ROW.
3. ADA RAMP ARE REQUIRED ON EITHER SIDE OF THE DRIVEWAY. AS-BUILT (USE CITY RAMP AS-BUILT TEMPLATE) SHALL BE SUBMITTED TO VERIFY ADA COMPLIANCE.
4. FIELD VERIFY EXISTING GRADES AND LOCATION OF EXISTING UTILITIES, CONDUIT, LINES, POLES, TREES, PAVING, ETC. AND OTHER SITE STRUCTURES PRIOR TO DEMOLITION OR CONSTRUCTION AND IMMEDIATELY INFORM CONSTRUCTION MANAGER OF ANY DISCREPANCIES.
5. ALL DIMENSIONS ARE SHOWN TO FRONT OF CURB UNLESS OTHERWISE NOTED.
6. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THESE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
7. ALL DRIVE APPROACHES, PUBLIC WALKS, AND CURB CUTS TO BE BUILT AS PER THE CURRENT EDITION OF SUDAS AND THE CURRENT AMES SUPPLEMENTAL SPECIFICATIONS TO SUDAS.
8. TRAFFIC CONTROL (IF NECESSARY) WILL BE THE CONTRACTORS RESPONSIBILITY TO COORDINATE.
9. ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS, OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC RIGHT-OF-WAY.

TOTAL DISTURBED AND DEVELOPED IMPERVIOUS AREA

Site Condition	Open Space	Impervious	Total
Existing	0.14 acres	0.47 acres (76.8%)	0.61 acres
Proposed	0.19 acres	0.42 acres (69.4%)	0.61 acres

The property is zoned Residential High Density zone (RH) and is located within the East University Impact District (0-UIE)



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MINOR SITE DEVELOPMENT PERMIT

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REV	DATE	DESCRIPTION

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SITE LAYOUT PLAN

L2.01

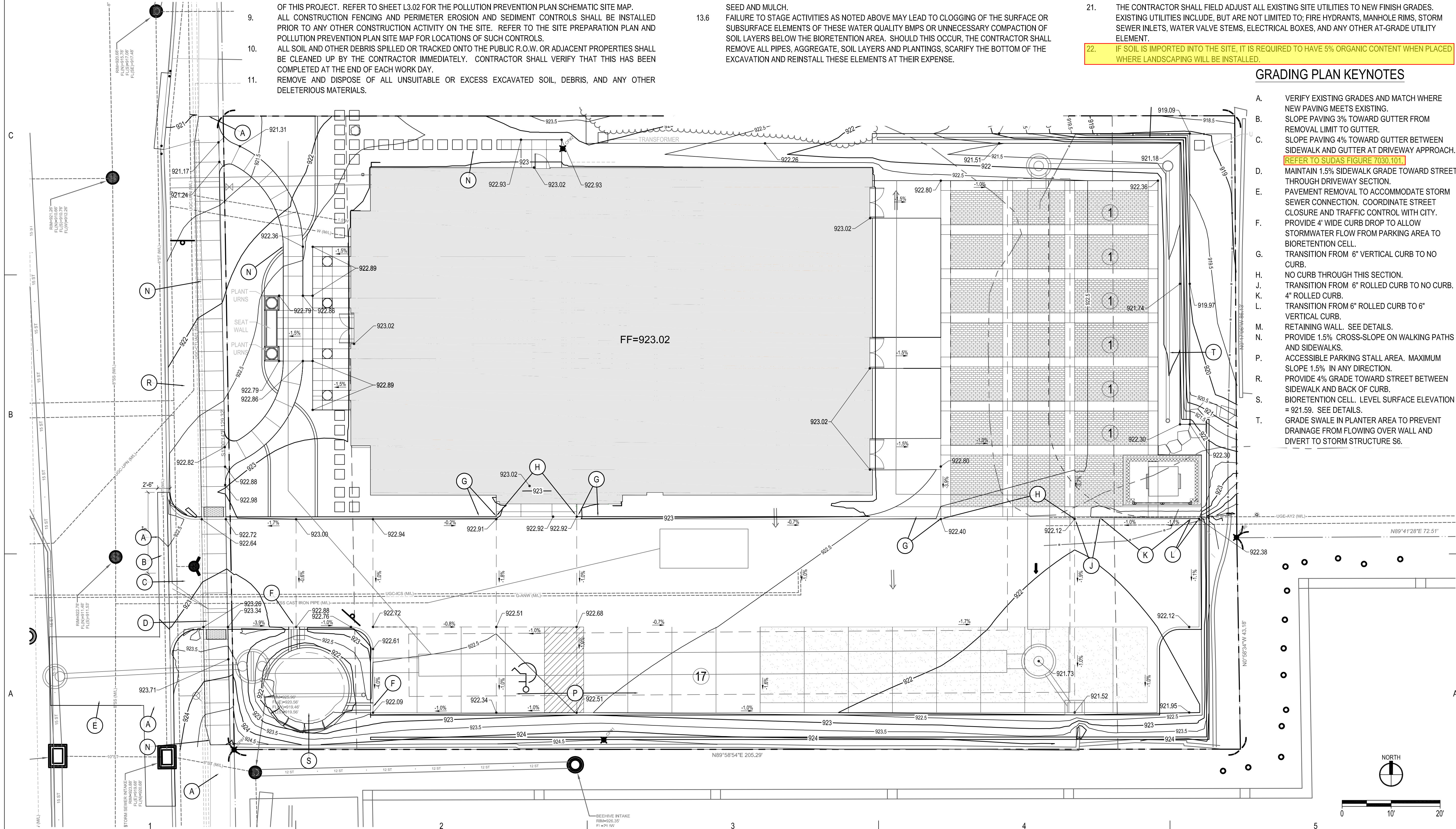
GRADING PLAN GENERAL NOTES

- ALL GRADING ACTIVITIES SHALL CONFORM TO THE CURRENT EDITION OF SECTION 2010 OF THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) SPECIFICATIONS MANUAL AS AMENDED BY THE CURRENT CITY OF AMES SUPPLEMENTAL SPECIFICATIONS.
- NO FINISHED SLOPE SHALL BE GREATER THAN 3:1 (HORIZONTAL:VERTICAL) UNLESS SPECIFICALLY NOTED AND DETAILED OTHERWISE.
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THESE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
- ALL WORK SHALL COMPLY WITH PROJECT SPECIFICATIONS; AS WELL AS OTHER CODES, ORDINANCES REGULATIONS AND RULES AS ADOPTED BY THE CITY OF AMES.
- PRIOR TO ANY EXCAVATION AT THE SITE, THE CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ARCHITECT, LANDSCAPE ARCHITECT AND/OR CIVIL ENGINEER AND CONSULT ANY UTILITY COMPANY REPRESENTATIVES TO DETERMINE POSSIBLE UTILITY RELOCATIONS.
- FOR UNDERGROUND UTILITY LOCATES CALL IOWA ONE-CALL AT 1-800-292-8989, AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY LOCATES NOT COVERED BY THE IOWA ONE-CALL SYSTEM. NO COMPENSATION FOR DAMAGES TO EXISTING UTILITIES WILL BE ALLOWED RESULTING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
- FIELD VERIFY ELEVATIONS AND LOCATIONS OF EXISTING UTILITIES, CONDUITS, POLES, TREES, PAVING, BUILDINGS, STRUCTURES AND OTHER SITE FEATURES TO REMAIN PRIOR TO GRADING OR CONSTRUCTION ACTIVITIES. IMMEDIATELY INFORM THE LANDSCAPE ARCHITECT FOR RESOLUTION OF ANY DISCREPANCIES BEFORE COMMENCING INTENDED WORK.
- THIS PROJECT IS LESS THAN ONE ACRE IN DISTURBED AREA, THEREFORE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) NARRATIVE DOCUMENT HAS NOT BEEN PREPARED FOR THIS PROJECT. SEDIMENT AND EROSION CONTROLS AND OTHER POLLUTION CONTROL MEASURES SHOULD STILL BE EMPLOYED AS PART OF THIS PROJECT. REFER TO SHEET L3.02 FOR THE POLLUTION PREVENTION PLAN SCHEMATIC SITE MAP.
- ALL CONSTRUCTION FENCING AND PERIMETER EROSION AND SEDIMENT CONTROLS SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION ACTIVITY ON THE SITE. REFER TO THE SITE PREPARATION PLAN AND POLLUTION PREVENTION PLAN SITE MAP FOR LOCATIONS OF SUCH CONTROLS.
- ALL SOIL AND OTHER DEBRIS SPILLED OR TRACKED ONTO THE PUBLIC R.O.W. OR ADJACENT PROPERTIES SHALL BE CLEANED UP BY THE CONTRACTOR IMMEDIATELY. CONTRACTOR SHALL VERIFY THAT THIS HAS BEEN COMPLETED AT THE END OF EACH WORK DAY.
- REMOVE AND DISPOSE OF ALL UNSUITABLE OR EXCESS EXCAVATED SOIL, DEBRIS, AND ANY OTHER DELETERIOUS MATERIALS.
- ALL DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY SEED AND MULCH AS NEEDED AS SOON AS POSSIBLE, WHEN LAND DISTURBING ACTIVITIES ARE EXPECTED TO CEASE ON A GIVEN PORTION OF THE SITE FOR AT LEAST 14 DAYS. REFER TO SUDAS SPECIFICATION SECTION 9040.
- WATER QUALITY BMP NOTES (SUBSURFACE DETENTION, PERMEABLE PAVERS AND BIORETENTION):
 - 1.1 DELAY INSTALLATION OF WATER QUALITY BMP ELEMENTS (INCLUDING ALL SURFACE AND SUBSURFACE ELEMENTS) UNTIL AFTER ALL OTHER EXTERIOR SITE CONSTRUCTION ACTIVITIES IN THE AREA DRAINING TO THE SWALE HAVE BEEN COMPLETED. SUBSURFACE DETENTION ELEMENTS MAY BE INSTALLED PRIOR TO SITE PAVING, HOWEVER IT SHOULD BE DELAYED AS LONG AS POSSIBLE AND INSTALLED MATERIALS (INCLUDED AGGREGATE BACKFILL MATERIAL) SHOULD BE PROTECTED FROM SEDIMENTATION, DEBRIS AND DAMAGE UNTIL SURFACE PAVING IS COMPLETED AND THE ENTIRETY OF THE SITE IS STABILIZED WITH PERMANENT VEGETATION.
 - 1.2 PRIOR TO INSTALLATION OF THESE ELEMENTS, THESE AREAS MAY BE GRADED TO AN ELEVATION 2 FEET ABOVE THE EXPECTED BOTTOM ELEVATION OF AGGREGATE LAYERS. THIS AREA MAY THEN BE USED AS A SEDIMENT TRAP DURING CONSTRUCTION.
 - 1.3 ALL ACCUMULATED SEDIMENT SHALL BE REMOVED FROM THE TRAP PRIOR TO EXCAVATING THE REMAINING SOIL MATERIALS AS PART OF FINAL INSTALLATION OF BMP ELEMENTS.
 - 1.4 DURING CONSTRUCTION OF THE WATER QUALITY BMPs, AVOID OPERATION OR PLACEMENT OF HEAVY EQUIPMENT AND MATERIAL STORAGE WITHIN THE FOOTPRINT OF THE PRACTICE, TO LIMIT THE POTENTIAL FOR COMPACTION OF THE SOIL LAYERS TO REMAIN BELOW THE AGGREGATE LAYERS.
 - 1.5 IMMEDIATELY FOLLOWING INSTALLATION OF THE BIORETENTION SUBDRAIN AND AGGREGATE LAYERS, THE AGGREGATE SHOULD BE INSPECTED BY THE OWNER'S REPRESENTATIVE TO MAKE SURE IT IS FREE OF SEDIMENT OR OTHER DEBRIS. FOLLOWING THE INSPECTION, PLACE TOPSOIL MATERIALS WITHIN THE BIORETENTION CELL AND STABILIZE WITH TEMPORARY OR PERMANENT SEED AND MULCH.
 - 1.6 FAILURE TO STAGE ACTIVITIES AS NOTED ABOVE MAY LEAD TO CLOGGING OF THE SURFACE OR SUBSURFACE ELEMENTS OF THESE WATER QUALITY BMPs OR UNNECESSARY COMPACTION OF SOIL LAYERS BELOW THE BIORETENTION AREA. SHOULD THIS OCCUR, THE CONTRACTOR SHALL REMOVE ALL PIPES, AGGREGATE, SOIL LAYERS AND PLANTINGS, SCARIFY THE BOTTOM OF THE EXCAVATION AND REINSTALL THESE ELEMENTS AT THEIR EXPENSE.
- PROVIDE 12" OF SUBGRADE PREPARATION UNDER ALL PAVEMENT AND SHOULDER AREAS AS PER PROJECT SPECIFICATIONS. BELOW PERMEABLE PAVER AREAS, INSTALL AGGREGATE SUBBASE MATERIAL ABOVE SUBGRADE PREPARATION AREAS, AS PER PROJECT SPECIFICATIONS.
- FOR GRADING, SUBGRADE PREPARATION AND PLACEMENT OF SUBBASE MATERIALS, FIELD QUALITY CONTROL TESTING SHALL BE PERFORMED BY THE CONTRACTOR. CONTRACTOR SHALL PROVIDE TEST RESULTS WITH THE OWNER'S REPRESENTATIVE DURING WORK TO ARRANGE FOR TESTS TO BE COMPLETED. ANY DEFICIENCIES NOTED BY THIS TESTING SHALL BE CORRECTED BY THE CONTRACTOR PRIOR TO PLACEMENT OF ANY PAVED SURFACES.
- MATCH EXISTING GRADES AT THE INTERFACE OF EXISTING SURFACES WITH NEW GRADING OR PAVING.
- TOPSOIL SHALL BE RESPREAD TO A DEPTH OF AT LEAST 8" ACROSS ALL UNPAVED SURFACES WHICH ARE DISTURBED BY GRADING ACTIVITIES EXCEPT FOR THE FOLLOWING: DO NOT SPREAD TOPSOIL ON AREAS WHERE ROCK OR REVETMENT STONE SURFACING IS PROPOSED.
- SURFACE OF ROCK OR REVETMENT MATERIALS SHALL BE PLACED, SO THAT TOP IS FLUSH WITH FINISHED GRADE SHOWN, UNLESS SPECIFICALLY NOTED OTHERWISE.
- AFTER PLACEMENT AND CONSOLIDATION, TOPSOIL SHALL BE LEVEL WITH ADJACENT PAVING AND CURB TOPS IF THE FINISH CONDITION IS TO BE SEED, AND TO MINUS ONE AND ONE HALF INCHES (1 1/2") IF THE FINISH CONDITION IS TO BE SOD.
- FINISH GRADES IN ALL LANDSCAPE AREAS ARE TO BE REVIEWED BY THE OWNER'S REPRESENTATIVE PRIOR TO ANY SEEDING, SODDING, OR PLANTING. THE CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR REVIEW FIVE (5) DAYS PRIOR TO THE DESIRED DATE OF REVIEW. NO COMPENSATION FOR RE-SEEDING, RE-SODDING, OR RE-PLANTING OF AN AREA REQUIRING REMEDIAL GRADING SHALL BE ALLOWED RESULTING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
- THE CONTRACTOR SHALL FIELD ADJUST ALL EXISTING SITE UTILITIES TO NEW FINISH GRADES. EXISTING UTILITIES INCLUDE, BUT ARE NOT LIMITED TO: FIRE HYDRANTS, MANHOLE RIMS, STORM SEWER INLETS, WATER VALVE STEMS, ELECTRICAL BOXES, AND ANY OTHER AT-GRADE UTILITY ELEMENT.

22. IF SOIL IS IMPORTED INTO THE SITE, IT IS REQUIRED TO HAVE 5% ORGANIC CONTENT WHEN PLACED WHERE LANDSCAPING WILL BE INSTALLED.

GRADING PLAN KEYNOTES

- VERIFY EXISTING GRADES AND MATCH WHERE NEW PAVING MEETS EXISTING.
- SLOPE PAVING 3% TOWARD GUTTER FROM REMOVAL LIMIT TO GUTTER.
- SLOPE PAVING 4% TOWARD GUTTER BETWEEN SIDEWALK AND GUTTER AT DRIVEWAY APPROACH. REFER TO SUDAS FIGURE 7030.101.
- MAINTAIN 1.5% SIDEWALK GRADE TOWARD STREET THROUGH DRIVEWAY SECTION.
- PAVEMENT REMOVAL TO ACCOMMODATE STORM SEWER CONNECTION. COORDINATE STREET CLOSURE AND TRAFFIC CONTROL WITH CITY.
- PROVIDE 4" WIDE CURB DROP TO ALLOW STORMWATER FLOW FROM PARKING AREA TO BIORETENTION CELL.
- TRANSITION FROM 6" VERTICAL CURB TO NO CURB.
- NO CURB THROUGH THIS SECTION.
- TRANSITION FROM 6" ROLLED CURB TO NO CURB.
- 4" ROLLED CURB.
- TRANSITION FROM 6" ROLLED CURB TO 6" VERTICAL CURB.
- RETAINING WALL. SEE DETAILS.
- PROVIDE 1.5% CROSS-SLOPE ON WALKING PATHS AND SIDEWALKS.
- ACCESSIBLE PARKING STALL AREA. MAXIMUM SLOPE 1.5% IN ANY DIRECTION.
- PROVIDE 4% GRADE TOWARD STREET BETWEEN SIDEWALK AND BACK OF CURB.
- BIORETENTION CELL. LEVEL SURFACE ELEVATION = 921.59. SEE DETAILS.
- GRADE SWALE IN PLANTER AREA TO PREVENT DRAINAGE FROM FLOWING OVER WALL AND DIVERT TO STORM STRUCTURE S6.



ISU KAPPA KAPPA GAMMA SORORITY HOUSE PRELIM. - NOT FOR CONSTRUCTION SCHEMATIC DESIGN

120 LYNN AVENUE
AMES, IOWA 50010

KEY PLAN

SITE
GRADING
PLAN

L3.01

CIVIL/LA/MECH/ELEC/PLUMB

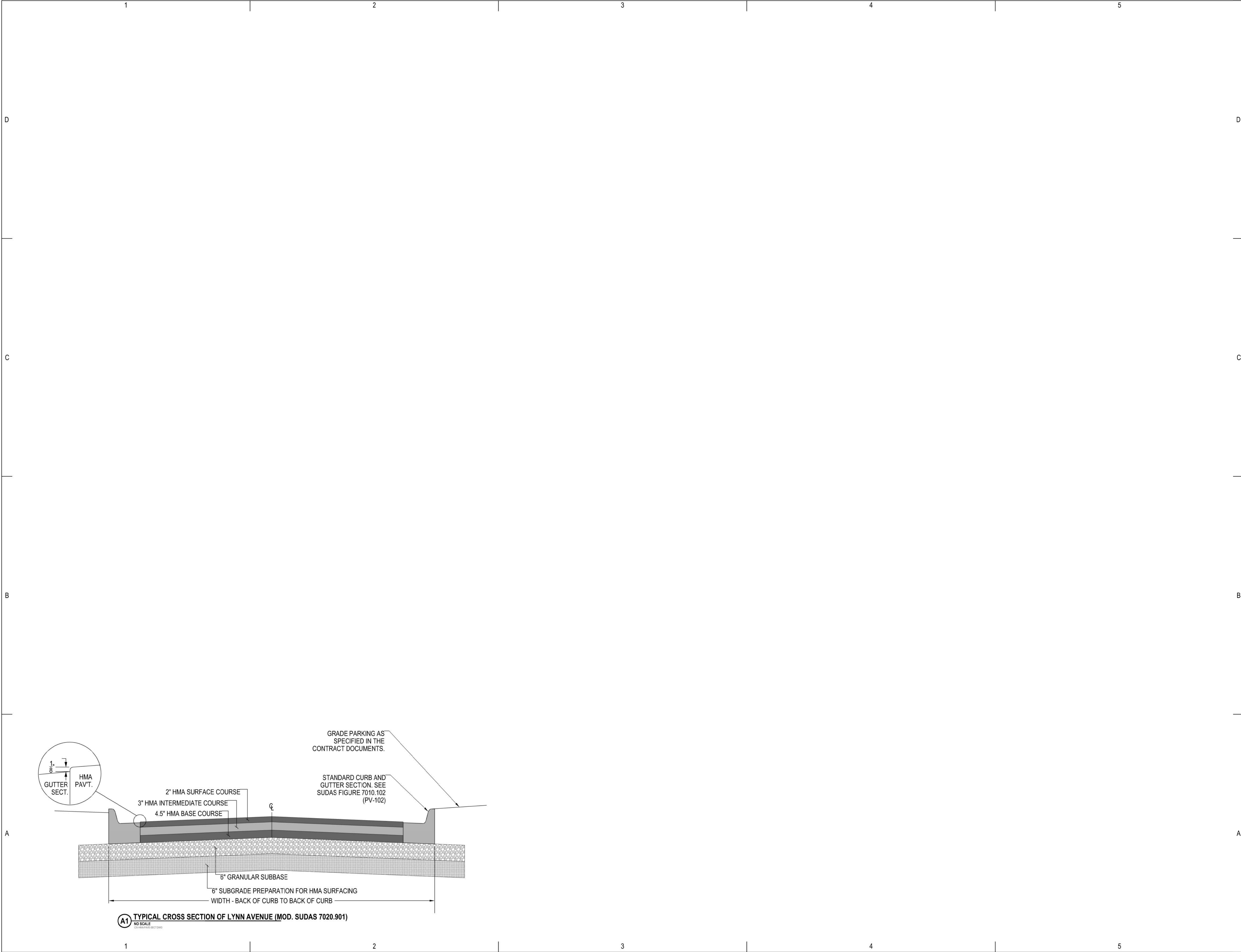
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REV	DATE	DESCRIPTION

PROJECT NO. 3061.060.01
RDG Planning & Design
3/30/2019

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(A1) TYPICAL CROSS SECTION OF LYNN AVENUE (MOD. SUDAS 7020.901)
NO SCALE

ISU KAPPA KAPPA GAMMA SORORITY HOUSE PRELIM. - NOT FOR CONSTRUCTION SCHEMATIC DESIGN



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AMES, IOWA 50010

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REV	DATE	DESCRIPTION

ISSUED: 3/30/2019
 PROJECT NO: 3001.860.01

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SITE DETAILS

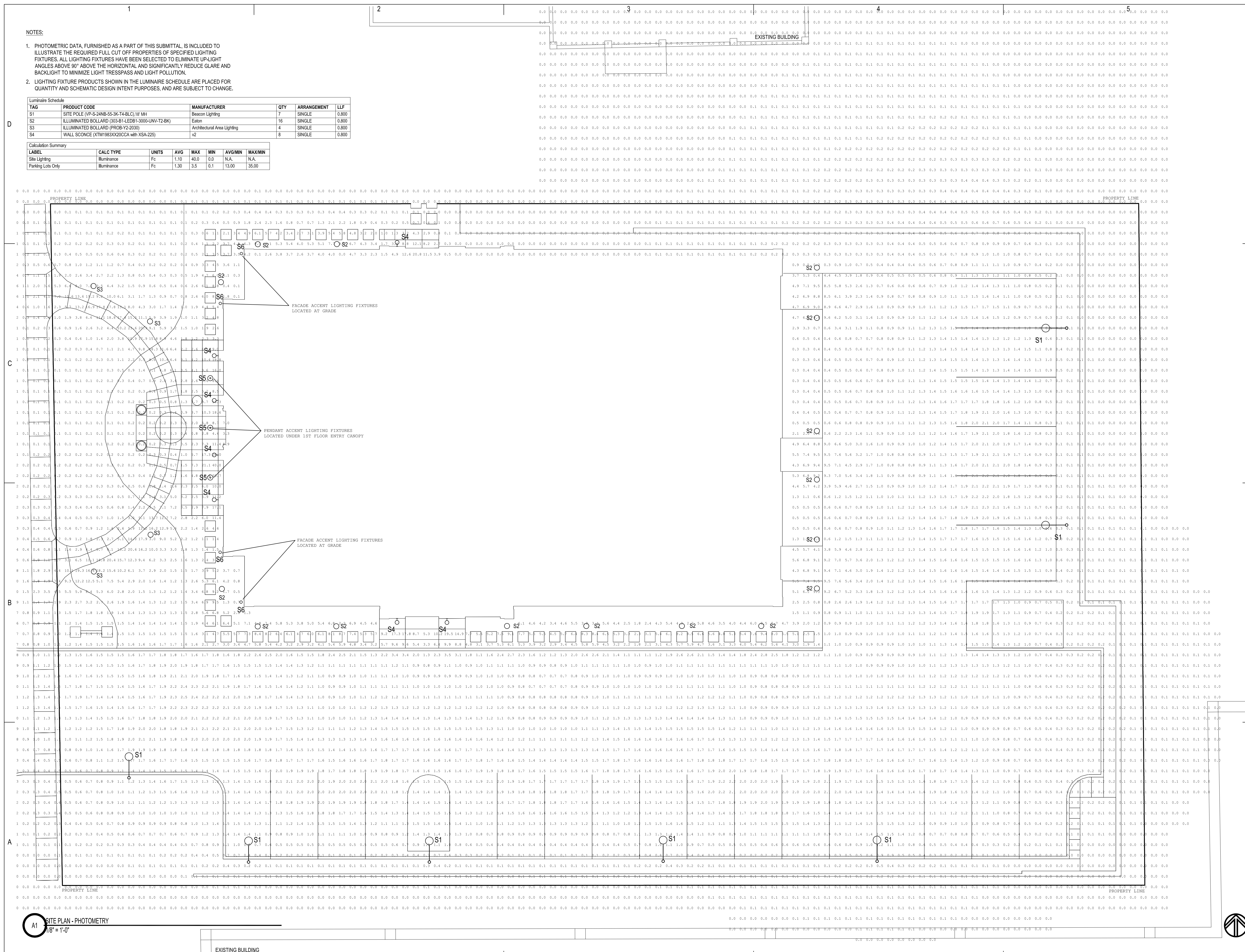
L05.02

NOTES:

- PHOTOMETRIC DATA, FURNISHED AS A PART OF THIS SUBMITTAL, IS INCLUDED TO ILLUSTRATE THE REQUIRED FULL CUT OFF PROPERTIES OF SPECIFIED LIGHTING FIXTURES. ALL LIGHTING FIXTURES HAVE BEEN SELECTED TO ELIMINATE LIGHT ANGLES ABOVE 90° ABOVE THE HORIZONTAL AND SIGNIFICANTLY REDUCE GLARE AND BACKLIGHT TO MINIMIZE LIGHT TRESSPASS AND LIGHT POLLUTION.
- LIGHTING FIXTURE PRODUCTS SHOWN IN THE LUMINAIRE SCHEDULE ARE PLACED FOR QUANTITY AND SCHEMATIC DESIGN INTENT PURPOSES, AND ARE SUBJECT TO CHANGE.

TAG	PRODUCT CODE	MANUFACTURER	QTY	ARRANGEMENT	LLF
S1	SITE FOLE (VF-S24NB-55-3K-T4-6L(C)) 18" MH	Beacon Lighting	7	SINGLE	0.900
S2	ILLUMINATED BOLLARD (303-B1-EDB1-3000-UV-T2-BK)	Eaton	16	SINGLE	0.800
S3	ILLUMINATED BOLLARD (PROB-Y2-2030)	Architectural Area Lighting	4	SINGLE	0.800
S4	WALL SCONCE (XTM1933X20CCA with XSA-225)	v2	8	SINGLE	0.800

Calculation Summary						
LABEL	CALC TYPE	UNITS	AVG	MAX	MIN	AVG/MIN
Site Lighting	Illuminance	Fc	1.10	40.0	0.0	N/A
Parking Lots Only	Illuminance	Fc	1.30	3.5	0.1	13.00



A1 SITE PLAN - PHOTOMETRY
1/8" = 1'-0"

ISU KAPPA KAPPA GAMMA SOROITY HOUSE PRELIMINARY - NOT FOR CONSTRUCTION SCHEMATIC DESIGN



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120 LYNN AVENUE
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MINOR SITE DEVELOPMENT PERMIT

REV	DATE	DESCRIPTION

PROJECT NO. 3001360.01

ISSUES: 10/15/2018

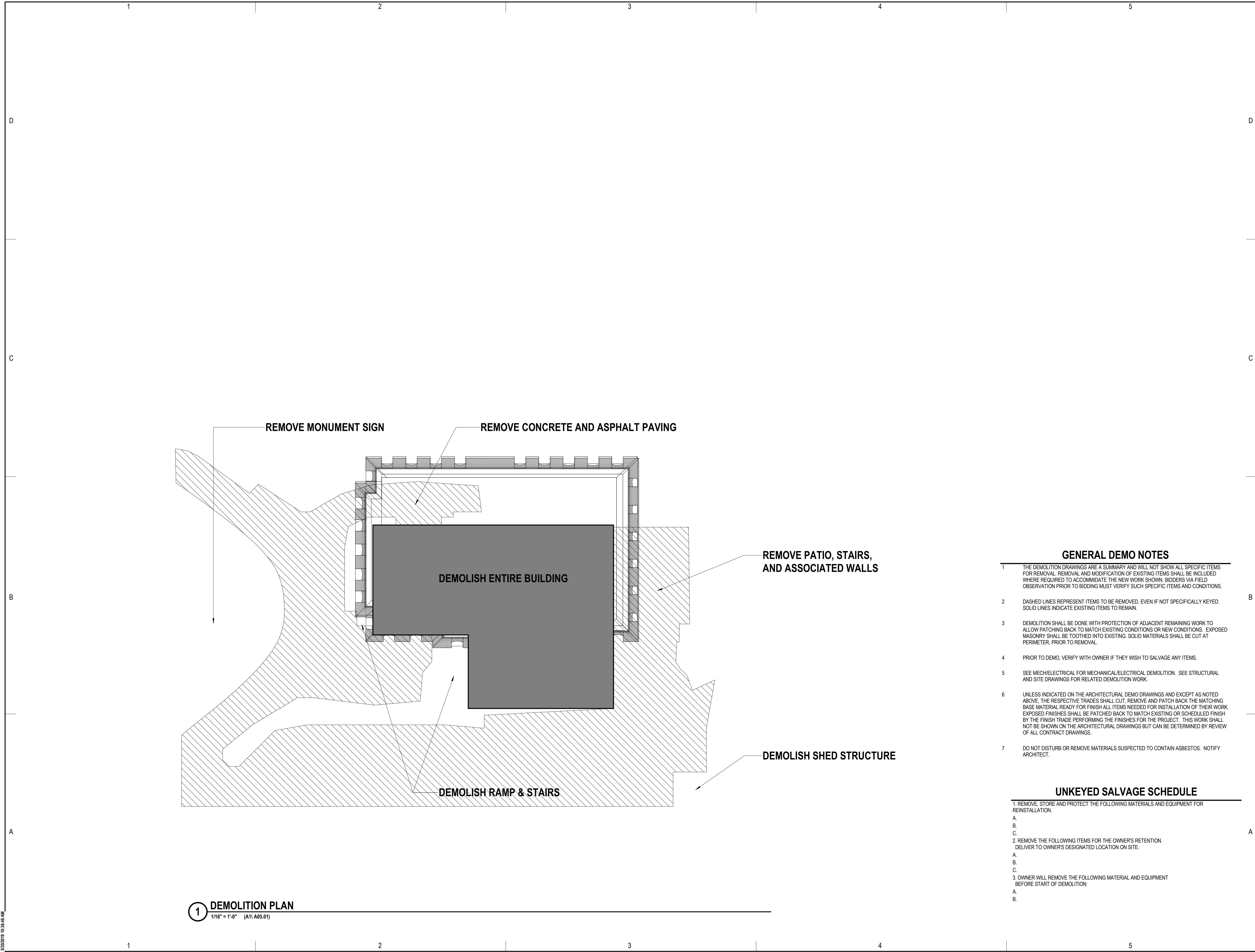
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SITE PLAN
PHOTOMETRY

ES.02



- GENERAL DEMO NOTES**
1. THE DEMOLITION DRAWINGS ARE A SUMMARY AND WILL NOT SHOW ALL SPECIFIC ITEMS FOR REMOVAL. REMOVAL AND MODIFICATION OF EXISTING ITEMS SHALL BE INCLUDED WHERE REQUIRED TO ACCOMMODATE THE NEW WORK SHOWN. BIDDERS VIA FIELD OBSERVATION PRIOR TO BIDDING MUST VERIFY SUCH SPECIFIC ITEMS AND CONDITIONS.
 2. DASHED LINES REPRESENT ITEMS TO BE REMOVED, EVEN IF NOT SPECIFICALLY KEYED. SOLID LINES INDICATE EXISTING ITEMS TO REMAIN.
 3. DEMOLITION SHALL BE DONE WITH PROTECTION OF ADJACENT REMAINING WORK TO ALLOW PATCHING BACK TO MATCH EXISTING CONDITIONS OR NEW CONDITIONS. EXPOSED MASONRY SHALL BE TOOTHED INTO EXISTING. SOLID MATERIALS SHALL BE CUT AT PERIMETER, PRIOR TO REMOVAL.
 4. PRIOR TO DEMO, VERIFY WITH OWNER IF THEY WISH TO SALVAGE ANY ITEMS.
 5. SEE MECH/ELECTRICAL FOR MECHANICAL/ELECTRICAL DEMOLITION. SEE STRUCTURAL AND SITE DRAWINGS FOR RELATED DEMOLITION WORK.
 6. UNLESS INDICATED ON THE ARCHITECTURAL DEMO DRAWINGS AND EXCEPT AS NOTED ABOVE, THE RESPECTIVE TRADES SHALL CUT, REMOVE AND PATCH BACK THE MATCHING BASE MATERIAL READY FOR FINISH ALL ITEMS NEEDED FOR INSTALLATION OF THEIR WORK. EXPOSED FINISHES SHALL BE PATCHED BACK TO MATCH EXISTING OR SCHEDULED FINISH BY THE FINISH TRADE PERFORMING THE FINISHES FOR THE PROJECT. THIS WORK SHALL NOT BE SHOWN ON THE ARCHITECTURAL DRAWINGS BUT CAN BE DETERMINED BY REVIEW OF ALL CONTRACT DRAWINGS.
 7. DO NOT DISTURB OR REMOVE MATERIALS SUSPECTED TO CONTAIN ASBESTOS. NOTIFY ARCHITECT.

- UNKEYED SALVAGE SCHEDULE**
1. REMOVE, STORE AND PROTECT THE FOLLOWING MATERIALS AND EQUIPMENT FOR REINSTALLATION.
 - A.
 - B.
 - C.
 2. REMOVE THE FOLLOWING ITEMS FOR THE OWNER'S RETENTION. DELIVER TO OWNER'S DESIGNATED LOCATION ON SITE.
 - A.
 - B.
 - C.
 3. OWNER WILL REMOVE THE FOLLOWING MATERIAL AND EQUIPMENT BEFORE START OF DEMOLITION:
 - A.
 - B.

1 DEMOLITION PLAN
1/16" = 1'-0" (A11 A05.01)

NEW SORORITY HOUSE

PRELIMINARY - NOT FOR CONSTRUCTION

SCHEMATIC DESIGN

RDG
PLANNING DESIGN

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Ames, Iowa 50010

ISU - Kappa Kappa Gamma

KEY PLAN

REV	DATE	DESCRIPTION
ISSUED:	01/29/2019	
PROJECT NO:	3001.860.01	

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DEMOLITION PLAN

AD0.01

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(R-2) FLOOR AREA ALLOWANCES PER OCCUPANT (1004.1.2)							
Level	Number	Group	Function of Space	Area	Load Factor	Occupant Load	Exits Required
GROUND FLOOR		R-2	Accessory Storage Areas, Mechanical Equipment Room	339 SF	300 SF	7	
GROUND FLOOR		R-2	Dormitories	653 SF	50 SF	14	
GROUND FLOOR: 10				992 SF		21	
SECOND FLOOR		R-2	Accessory Storage Areas, Mechanical Equipment Room	557 SF	300 SF	4	
SECOND FLOOR	S216	R-2	Assembly Standing Space	60 SF	5 SF	12	
SECOND FLOOR		R-2	Circulation	1709 SF	0 SF	0	
SECOND FLOOR		R-2	Dormitories	3590 SF	50 SF	84	
SECOND FLOOR: 34				5915 SF		100	
THIRD FLOOR		R-2	Accessory Storage Areas, Mechanical Equipment Room	436 SF	300 SF	3	
THIRD FLOOR		R-2	Circulation	562 SF	0 SF	0	
THIRD FLOOR		R-2	Dormitories	3440 SF	50 SF	81	
THIRD FLOOR: 29				4438 SF		84	
S-1: 73				11345 SF		205	

CODE ANALYSIS		
APPLICABLE CODES: 2015 IBC, 2015 IFC, 2015 IMC, 2015 IFGC (FUEL GAS CODE), 2017 NEC, 2012 IECC, 2009 ICC A117.1		
TYPE OF CONSTRUCTION		
**Type of Construction for Existing Building: Example: II-A, II-B, V-A, V-B	NA	
**Type of Construction for New Building: Example: II-A, II-B, V-A, V-B	V-B	
If Mixed Construction Indicate the types that will be used, Identify Types and Locations:		
AUTOMATIC SPRINKLER SYSTEM		
Sprinkler Type provided: Example: NFPA 13R		
BUILDING OCCUPANCIES AND DESCRIPTIONS		
1. Residential Occupancy R2 - Dormitory 2. Assembly Occupancy A3 - Dining Hall / Chapter Room		
HEIGHT LIMITATIONS FOR NONSEPARATED OCCUPANCIES		
Height Limitations for Nonseparated Occupancies Based on Most Restrictive Occupancy. See Following Table for Separated Occupancies.		
	Allowed Height	Proposed Height
Building Height in Feet =	60	43
Building Height in Stories Above Grade =	3	3
**Total Building Height, Feet & Stories =		43

AREA LIMITATIONS FOR NONSEPARATED OCCUPANCIES (R-2)				
Area Limitations for Nonseparated Occupancies Based on Most Restrictive Occupancy. See Following Table for Separated Occupancies.				
**Occupancy Classification/Allowed Area	Allowed Area (from Table 503)	Proposed Area		
**Building Perimeter =		348		
**Building Frontage = (Building perimeter that fronts a public way or open space with minimum 20' width).		348		
Frontage Area Increase = Include Calculations	$I_f = [348/348 - 25] [26.4/30] = .66$			
Total Allowable Floor Area = Include Calculations	$A_a = A_t \cdot (NS \cdot X \cdot I_f) \cdot S_a$ 11,620			
**Number of Floors =	4	4		
Total Allowable Building Area = Include Calculations	$11,620 \times 4 = 46,480$			
**Actual Building Area Per Floor & Total =		7,026		
Does the building qualify for unlimited area? If Yes, include open yard widths.				
	North	South	East	West
**Open Yard Widths =	20'	42'	36'	67'
**Reduced Yard Widths =				
**Fire Rating of Wall =	NA	NA	NA	NA
**Provide Rated Wall Assembly				

AREA LIMITATIONS FOR NONSEPARATED OCCUPANCIES (A-3)				
Area Limitations for Nonseparated Occupancies Based on Most Restrictive Occupancy. See Following Table for Separated Occupancies.				
**Occupancy Classification/Allowed Area	Allowed Area (from Table 503)	Proposed Area		
**Building Perimeter =		348		
**Building Frontage = (Building perimeter that fronts a public way or open space with minimum 20' width).		348		
Frontage Area Increase = Include Calculations	$I_f = [348/348 - 25] [26.4/30] = .66$			
Total Allowable Floor Area = Include Calculations	$A_a = A_t \cdot (NS \cdot X \cdot I_f) \cdot S_a$ 29,880			
**Number of Floors =	2	2		
Total Allowable Building Area = Include Calculations	$29,880 \times 2 = 59,760$			
**Actual Building Area Per Floor & Total =		7,026		
Does the building qualify for unlimited area? If Yes, include open yard widths.				
	North	South	East	West
**Open Yard Widths =	20'	42'	36'	67'
**Reduced Yard Widths =				
**Fire Rating of Wall =	NA	NA	NA	NA
**Provide Rated Wall Assembly				

HEIGHT & AREA LIMITATIONS FOR SEPARATED OCCUPANCIES							
Include Occupancy Classifications, Heights, Areas, and Separations.							
Occupancy Classification	Separation Required	Allowed Height	Proposed Height	Allowed Area	Proposed Area	Area Ratio	
1st Floor	A-3	1	60	43	29,880	3,859	0.13
	R-2	1	60	43	11,620	1,486	0.13
Total Ratios =						0.26	

**ACCESSORY USE AREAS			
Identify All Accessory Use Areas and Include Area, Occupant Load Factor, & Occupant Load.			
Accessory Use Area Identify Room, Occupancy, & Use	Area	Occupant Load Factor	Occupant Load
**Fire Resistance Rating Requirements Per IBC Table 601	Rating Required	Rating Provided	Assembly #
Structural Frame			
Bearing Walls - Exterior			
Bearing Walls - Interior			
Nonbearing Walls and Partitions - Exterior		See Following Table	
Nonbearing Walls and Partitions - Interior			
Floor Construction			
Roof Construction			

EXTERIOR WALL OPENINGS REQUIREMENTS				
Per IBC Table 705.8				
Exterior Wall	Fire Separation Distance (Feet)	Area of Wall Openings (% of Wall Area)		
		Unprotected	Protected	Provided
North				
South				
East				
West				

**FIRE RESISTANCE RATED ASSEMBLIES				
Identify rated walls, partitions, and horizontal assemblies. Provide a brief description of why each element is rated, for example: Corridor, Occupancy Separation, Exit Enclosure. Identify the required level of opening protection for each component. Identify the type (Fire, Smoke, Fire/Smoke) and rating of dampers provided in duct systems that penetrate these elements.				
Rating	Assembly	Opening Protection	Dampers (Type & Rating)	Reason for Rating
1 hour	U305	45 min	1.5 Hour Fire	508.4 Separated Occupancies A-3 and R-2
2 hour	U906	90 min	1.5 Hour Fire	IBC 1023.2 Interior exit stair
2 hour	U906	90 min	1.5 Hour Fire	IBC 707.3.3 Interior exit access stair
**Shaft Enclosures				
Rating	Assembly	Opening Protection	Dampers (Type & Rating)	Reason for Rating
2 hour	U906	90 min	1.5 Hour Fire	IBC 707.3.1 Elevator Shaft
**Fire Partitions				
Rating	Assembly	Opening Protection	Dampers (Type & Rating)	Reason for Rating
.5 hour	U317	20 min	1.5 Hour Fire	IBC 708.3 Separation of dwelling units Exemption 2
.5 hour		20 min	1.5 Hour Fire	IBC 708.3 Separation of corridor walls Exemption 1
**Smoke Partitions				
Rating	Assembly	Opening Protection	Dampers (Type & Rating)	Reason for Rating
**Smoke Barriers				
Rating	Assembly	Opening Protection	Dampers (Type & Rating)	Reason for Rating
**Horizontal Assemblies				
Rating	Assembly	Opening Protection	Dampers (Type & Rating)	Reason for Rating
1 Hour	L550	45 min	1.5 Hour Fire	IBC 7.11.2.4.3 separation of dwelling units
1 Hour	L550	45 min	1.5 Hour Fire	IBC 7.11.2.4.1 separation of mixed occupancies.
1 Hour	PS31	45 min	1.5 Hour Fire	Roof assembly

** FIRE DEPARTMENT REQUIREMENTS			
Are Fire Extinguishers Provided? **Fire Extinguisher Locations Must be Identified on Code Plan**	YES		
Identify Hazard Class Per NFPA 10:	Low	Ordinary (Moderate)	Extra (High)
Identify Maximum Floor Area Per Extinguisher: (Square Feet)		3248 SF	
Identify Maximum Travel Distance to Extinguishers: (Feet)		70'-4"	
Is a Manual Fire Alarm System Provided? Pull stations are shown on the fire alarm drawings. **Identify Pull Locations on Electrical Plan**	YES		Pull locations to be shown on CD electrical drawings.
Is an Automatic Fire Alarm System Provided?	YES		
Alarm System is required to be reviewed by the local fire department			
Will an Approved Lock Box be Provided? **Identify Location on Code Plan**	YES		NO
Identify Location of Fire Department Connection: **Include location on Code Plan**		TBD in Construction Drawings	
**Areas with a Single Exit			
Identify Maximum Common Path of Travel in Areas with 1 Exit.			
Space or Area	Allowed	Provided	
MECH.	75'	40'	
Maximum Travel Distance = (Enter Distance in Feet from Most Remote Point of Building to the nearest Exit)	250'		Max travel from 3rd floor to exterior through exit access stair, 199'-6"

Multiple Exits					
Identify Minimum Separation Distance Between Exits in Areas Required to Have More than 1 Exit					
Space or Area	Diagonal Dimension	Occ. Load	# Exits Provided	Req'd Distance Between Exits	Actual Distance Between Exits
3RD FLOOR	116'		2	38'-8"	39'-1"
2ND FLOOR	116'		3	38'-8"	39'-1"
1ST FLOOR	116'		4	38'-8"	100'-4"
LOWER LEVEL	116'		2	38'-8"	39'-1"
Exit Width					
Number of Exits and Exit Width from Each Level	Number of Exits		Exit Width		
	Required	Provided	Stair Enter Width Factor Example: 0.2"	Other Egress Components Enter Width Factor Example: 0.15"	Provided
Basement	67.4'	96'	50.6'	69'	
First Floor			65.5'	238.5'	
Second Floor	20	96'	15	69'	
Third Floor	20	96'	15	69'	
Are Areas of Refuge Required?	NO				

ENERGY CODE COMPLIANCE METHOD	
LIST COMPLIANCE METHOD: Example: IECC PERSCRIPTIVE COMCHECK, ASHRAE PERSPECTIVE COMCHECK, COMPONENT PERFORMANCE, SIMULATED ANALYSIS	

C

B

A

PRELIMINARY - NOT FOR CONSTRUCTION SCHEMATIC DESIGN

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PROJECT NO: 05/20/2019

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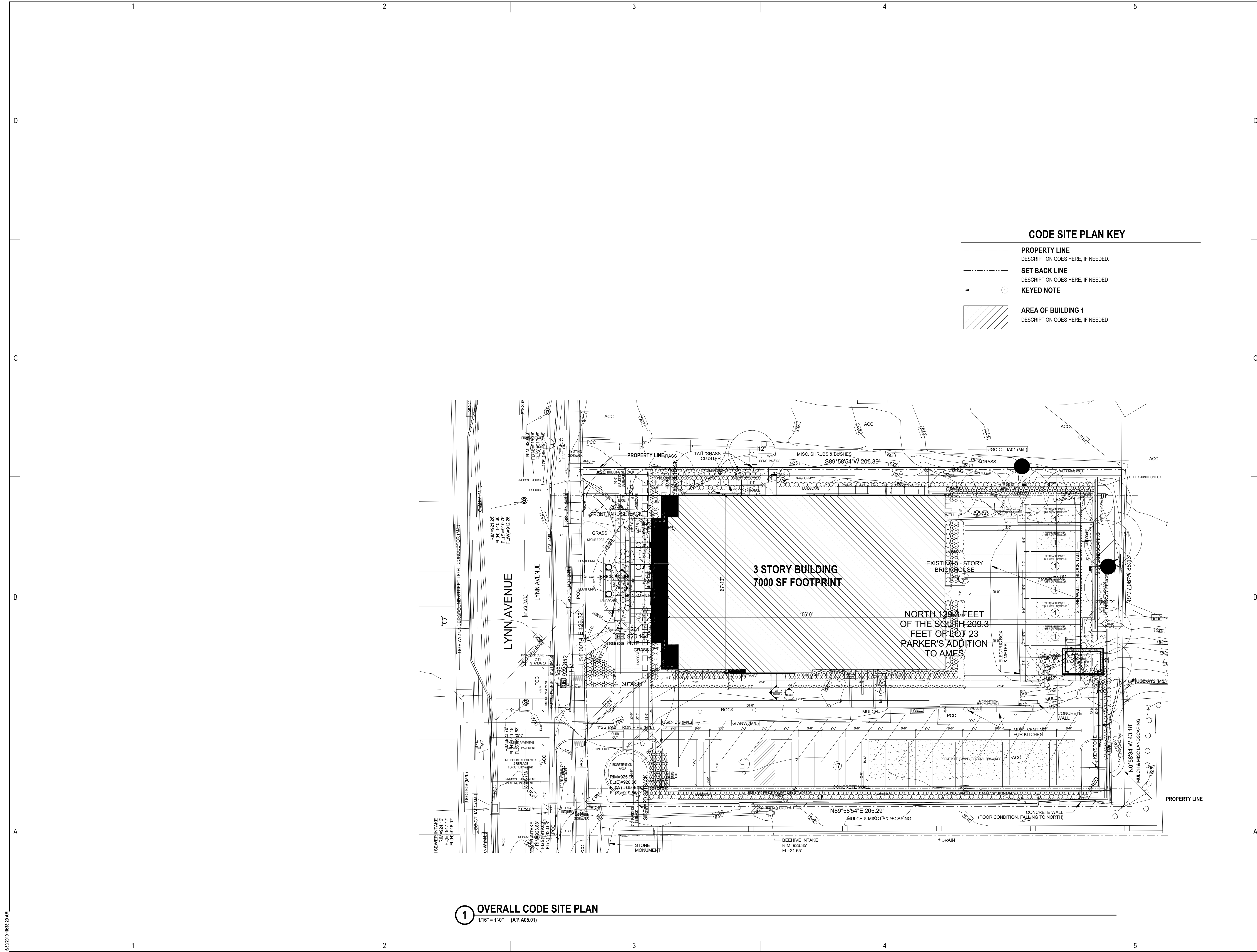
REV. DATE DESCRIPTION

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CODE REVIEW

A00.01

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CODE SITE PLAN KEY

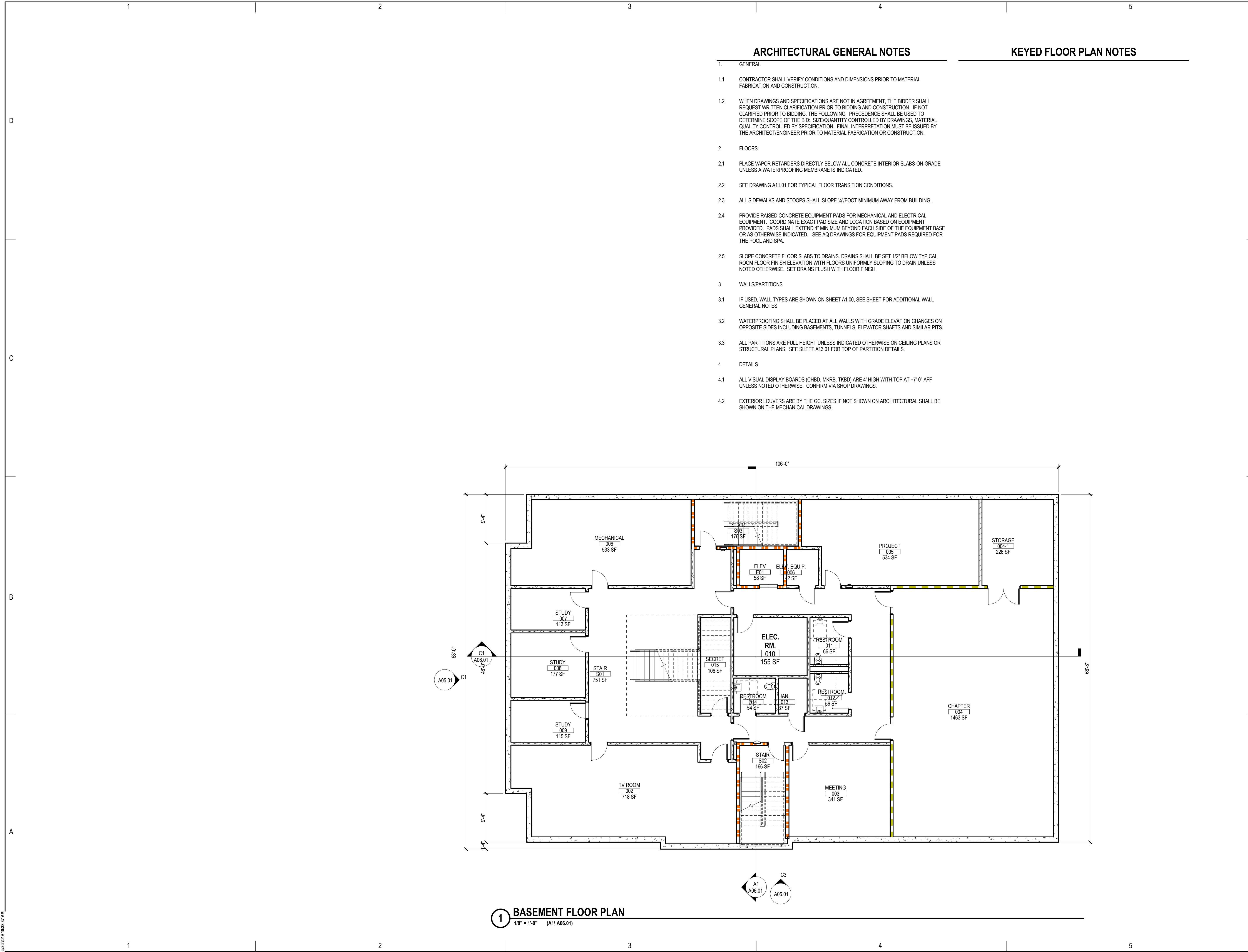
	PROPERTY LINE DESCRIPTION GOES HERE, IF NEEDED.
	SET BACK LINE DESCRIPTION GOES HERE, IF NEEDED.
	KEYED NOTE
	AREA OF BUILDING 1 DESCRIPTION GOES HERE, IF NEEDED.

1 OVERALL CODE SITE PLAN
1/16" = 1'-0" (A1) A05.01

NEW SORORITY HOUSE **PRELIMINARY - NOT FOR CONSTRUCTION** **SCHEMATIC DESIGN**

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120 Lynn Avenue Ames, Iowa 50010	
ISU - Kappa Kappa Gamma	
KEY PLAN	
REV. DATE	DESCRIPTION
ISSUED: 05/30/2019	
PROJECT NO: 3001.860.01	
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CODE SITE PLAN	
A00.02	

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1 BASEMENT FLOOR PLAN
 1/8" = 1'-0" (A1, A06.01)

ARCHITECTURAL GENERAL NOTES

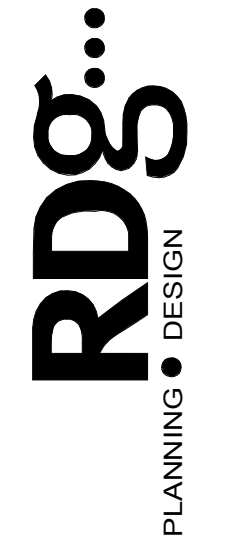
1. GENERAL
 - 1.1 CONTRACTOR SHALL VERIFY CONDITIONS AND DIMENSIONS PRIOR TO MATERIAL FABRICATION AND CONSTRUCTION.
 - 1.2 WHEN DRAWINGS AND SPECIFICATIONS ARE NOT IN AGREEMENT, THE BIDDER SHALL REQUEST WRITTEN CLARIFICATION PRIOR TO BIDDING AND CONSTRUCTION. IF NOT CLARIFIED PRIOR TO BIDDING, THE FOLLOWING PRECEDENCE SHALL BE USED TO DETERMINE SCOPE OF THE BID: SIZE/QUANTITY CONTROLLED BY DRAWINGS, MATERIAL QUALITY CONTROLLED BY SPECIFICATION. FINAL INTERPRETATION MUST BE ISSUED BY THE ARCHITECT/ENGINEER PRIOR TO MATERIAL FABRICATION OR CONSTRUCTION.
2. FLOORS
 - 2.1 PLACE VAPOR RETARDERS DIRECTLY BELOW ALL CONCRETE INTERIOR SLABS-ON-GRADE UNLESS A WATERPROOFING MEMBRANE IS INDICATED.
 - 2.2 SEE DRAWING A11.01 FOR TYPICAL FLOOR TRANSITION CONDITIONS.
 - 2.3 ALL SIDEWALKS AND STOOPS SHALL SLOPE 1/4" FOOT MINIMUM AWAY FROM BUILDING.
 - 2.4 PROVIDE RAISED CONCRETE EQUIPMENT PADS FOR MECHANICAL AND ELECTRICAL EQUIPMENT. COORDINATE EXACT PAD SIZE AND LOCATION BASED ON EQUIPMENT PROVIDED. PADS SHALL EXTEND 4" MINIMUM BEYOND EACH SIDE OF THE EQUIPMENT BASE OR AS OTHERWISE INDICATED. SEE A0 DRAWINGS FOR EQUIPMENT PADS REQUIRED FOR THE POOL AND SPA.
 - 2.5 SLOPE CONCRETE FLOOR SLABS TO DRAINS. DRAINS SHALL BE SET 1/2" BELOW TYPICAL ROOM FLOOR FINISH ELEVATION WITH FLOORS UNIFORMLY SLOPING TO DRAIN UNLESS NOTED OTHERWISE. SET DRAINS FLUSH WITH FLOOR FINISH.
3. WALLS/PARTITIONS
 - 3.1 IF USED, WALL TYPES ARE SHOWN ON SHEET A1.00. SEE SHEET FOR ADDITIONAL WALL GENERAL NOTES.
 - 3.2 WATERPROOFING SHALL BE PLACED AT ALL WALLS WITH GRADE ELEVATION CHANGES ON OPPOSITE SIDES INCLUDING BASEMENTS, TUNNELS, ELEVATOR SHAFTS AND SIMILAR PITS.
 - 3.3 ALL PARTITIONS ARE FULL HEIGHT UNLESS INDICATED OTHERWISE ON CEILING PLANS OR STRUCTURAL PLANS. SEE SHEET A13.01 FOR TOP OF PARTITION DETAILS.
4. DETAILS
 - 4.1 ALL VISUAL DISPLAY BOARDS (CHBD, MKRB, TKBD) ARE 4' HIGH WITH TOP AT +7'-0" AFF UNLESS NOTED OTHERWISE. CONFIRM VIA SHOP DRAWINGS.
 - 4.2 EXTERIOR LOUVERS ARE BY THE GC. SIZES IF NOT SHOWN ON ARCHITECTURAL SHALL BE SHOWN ON THE MECHANICAL DRAWINGS.

KEYED FLOOR PLAN NOTES

NEW SORORITY HOUSE

PRELIMINARY - NOT FOR CONSTRUCTION

SCHEMATIC DESIGN



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FLOOR PLAN BASEMENT

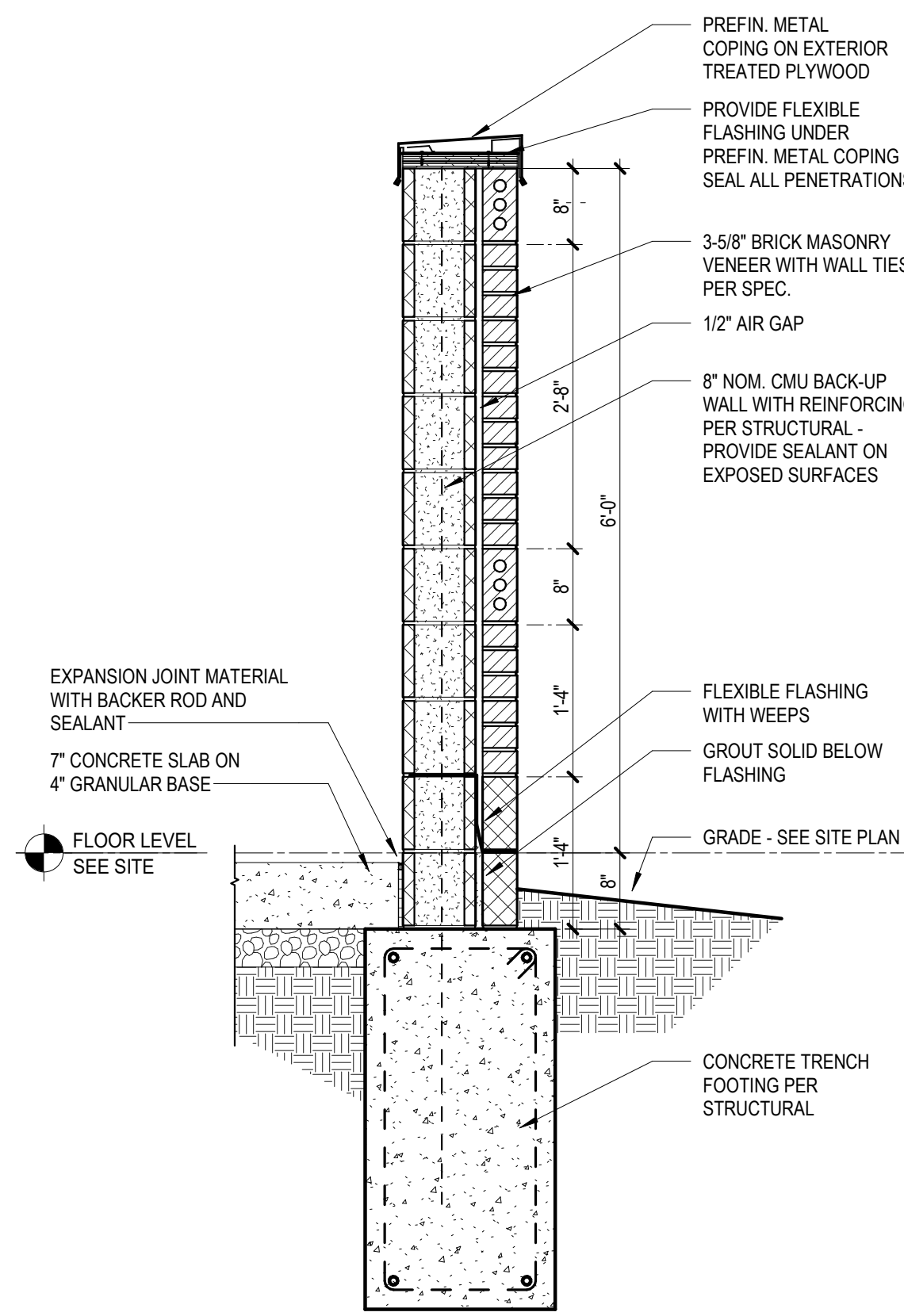
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ARCHITECTURAL GENERAL NOTES

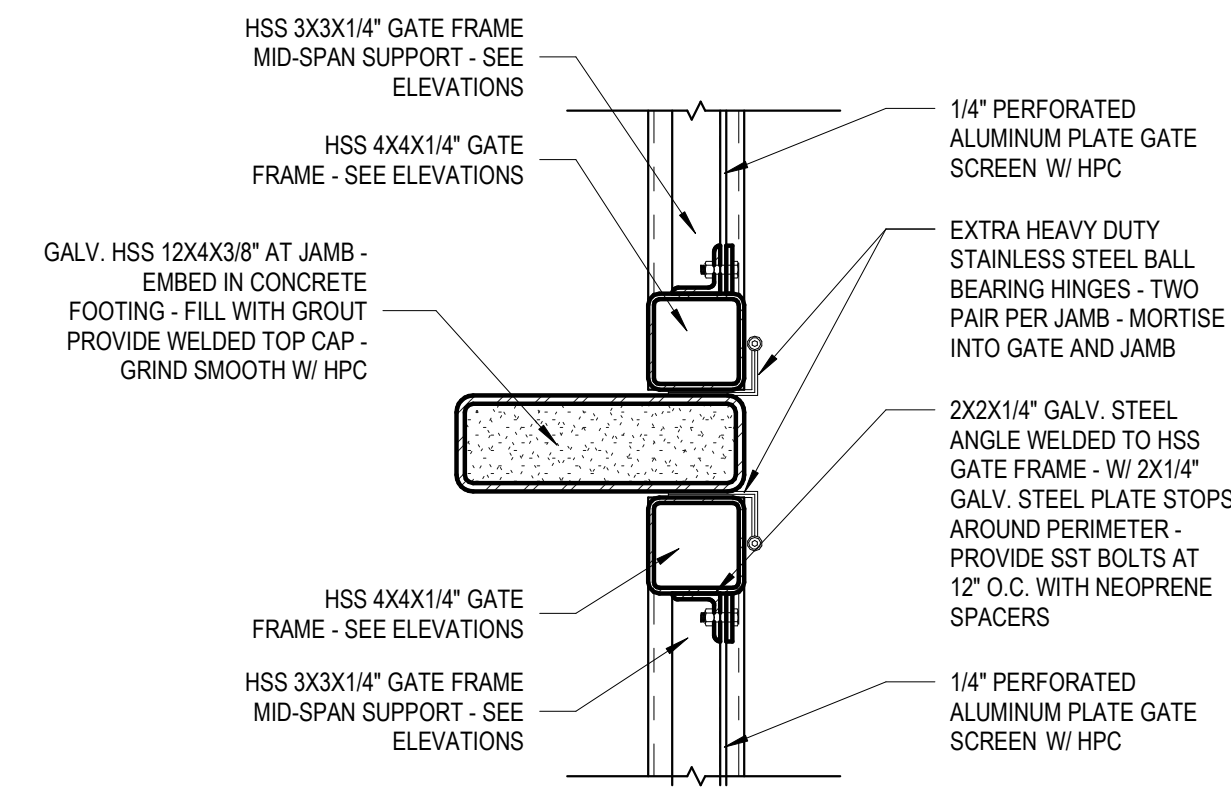
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KEYED FLOOR PLAN NOTES

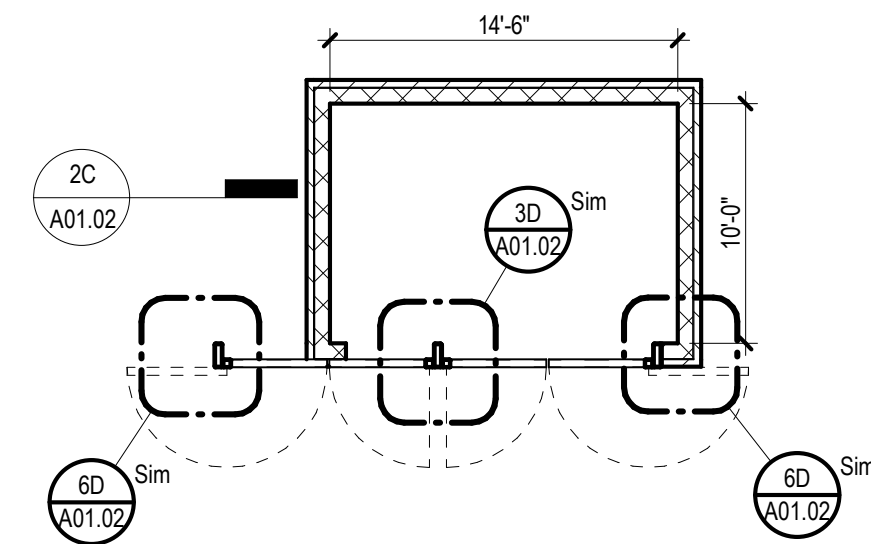
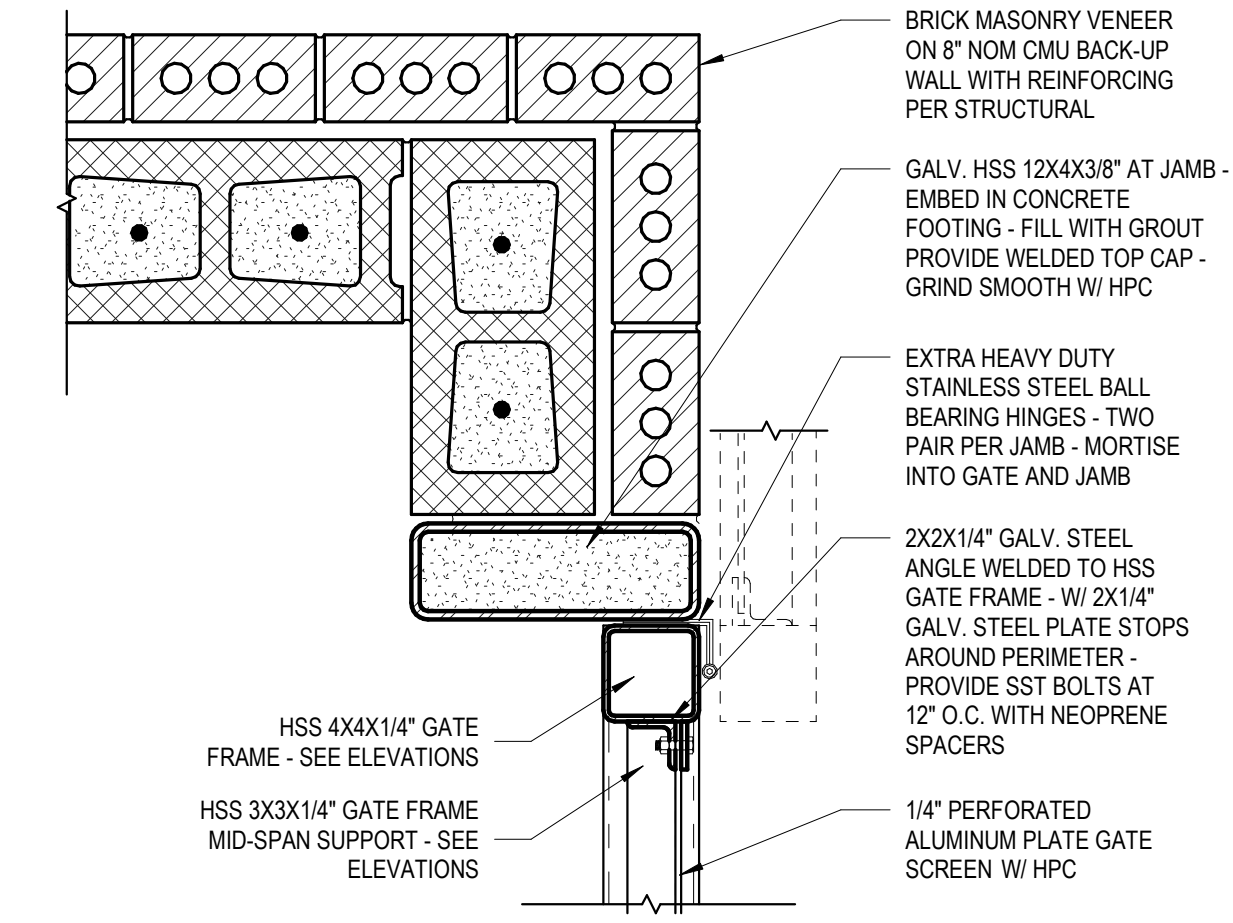


2C WALL SECTION - DUMPSTER ENCLOSURE - IL
3/4" = 1'-0" (2A) A01.02

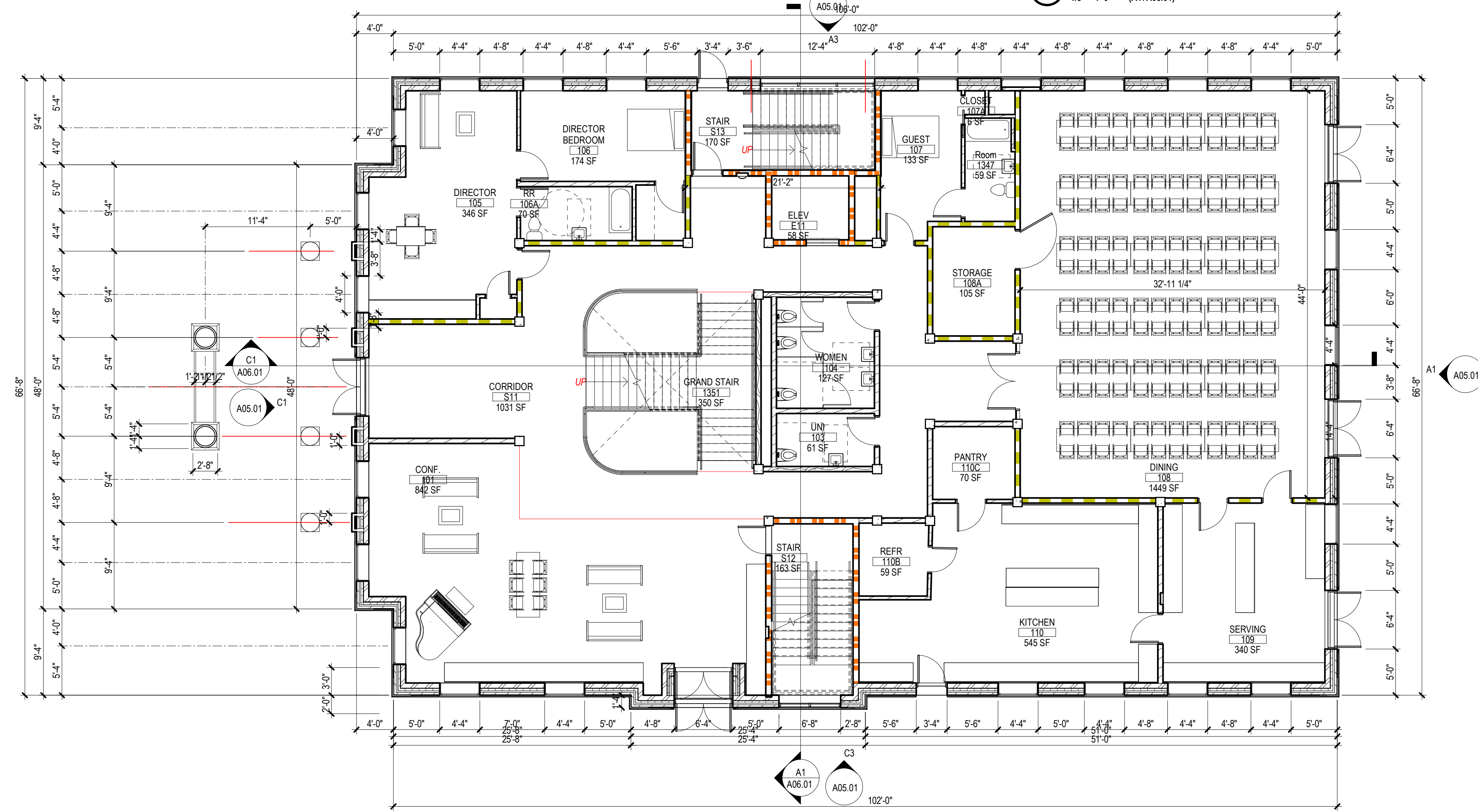
3D PLAN - ENCLOSURE GATE JAMB DETAIL - MID
1 1/2" = 1'-0" (2A) A01.02



6D PLAN - ENCLOSURE GATE JAMB DETAIL
1 1/2" = 1'-0" (2A) A01.02



2A TRASH ENCLOSURE PLAN
1/8" = 1'-0" (A1) A05.01



3A FLOOR PLAN - LEVEL 1
1/8" = 1'-0" (A1) A05.01

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KEY PLAN

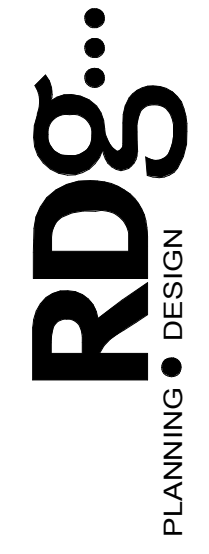
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FLOOR PLAN LEVEL 1

A01.02



ISU - Kappa Kappa Gamma

5/30/2019 10:38:40 AM

KEYED ROOF PLAN NOTES

ROOFING GENERAL NOTES:

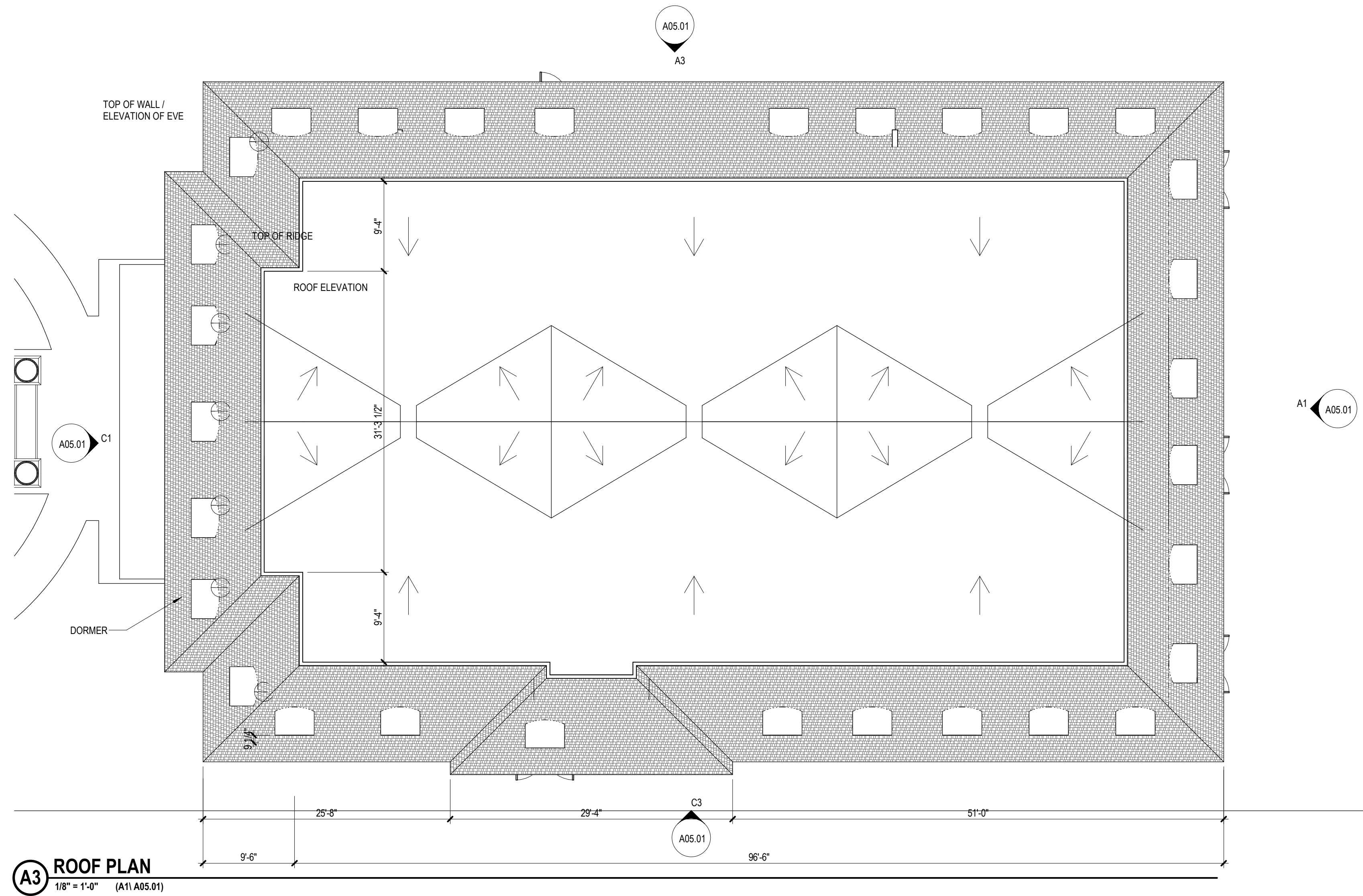
1. ALL ROOFS ARE SLOPED STRUCTURE = 1/4" PER FOOT, EXCEPT CANOPIES.
2. ALL ROOFING IS ADHERED THERMOPLASTIC MEMBRANE.
3. ALL ACOUSTICAL DECKS SHALL RECEIVE ACOUSTICAL BATTS IN FLUTES W/ 5/8" GYPSUM BOARD UNDERLAYMENT BELOW RIGID INSULATION. ALL OTHER DECKS SHALL NOT HAVE UNDERLAYMENT.
4. ALL MEMBRANE ROOFS EXCEPT CANOPIES SHALL RECEIVE 2 LAYERS, STAGGERED RIGID INSULATION W/ TOTAL R VALUE =24.
5. PROVIDE TAPERED INSULATION, 2" MIN. THICKNESS, WHERE SHOWN AT CANOPIES WITH MEMBRANE ROOFING.
6. PROVIDE 1/2" PER FOOT TAPERED INSULATION ADHERED OVER R24 RIGID INSULATION AT CRICKETS.
7. FLASH ALL ROOF PENETRATIONS, PIPE PENETRATIONS ARE NOT SHOWN, SEE MECHANICAL AND ELECTRICAL DRAWINGS. STANDARD PENETRATION DETAILS SHOWN A04.01.
8. WHERE POSSIBLE, AVOID CONSTRUCTION TRAFFIC OVER MEMBRANE ROOFING. ANY MASONRY, METAL SIDING, CURTAIN WALL AND ALL LADDERS AND SCAFFOLDING SHALL REQUIRE USE OF ROOF TEMPORARY PROTECTIVE COVER BOARD BY TRADE PERFORMING WORK. IMMEDIATELY REPORT ANY DAMAGE TO MEMBRANE TO THE CONSTRUCTION MANAGER OR ROOFING CONTRACTOR.
9. ALL OVERFLOW SCUPPERS SHALL BE LOCATED WITH BOTTOM AT 2" ABOVE THE ADJACENT ROOFING MEMBRANE LEVEL. SEE DETAIL A5A09.01.

KEYED NOTES:

- 1 5/8" UNDERLAYMENT OVER ACOUSTICAL DECK. ROOF FASTENERS NOT PERMITTED THROUGH DECK VALLEYS.
- 2
- 3

ROOF PLAN ABBREVIATIONS:

- DS = DOWNSPOUT
- RD = ROOF DRAIN
- OFD = OVERFLOW DRAIN
- OFS = OVERFLOW SCUPPER
- WRD = WALL RECESSED ROOF DRAIN



A3 ROOF PLAN
1/8" = 1'-0" (A11 A05.01)

PRELIMINARY - NOT FOR CONSTRUCTION

SCHEMATIC DESIGN

ARCHITECT

CONSULTANT

CONSULTANT

CONSULTANT

CONSULTANT

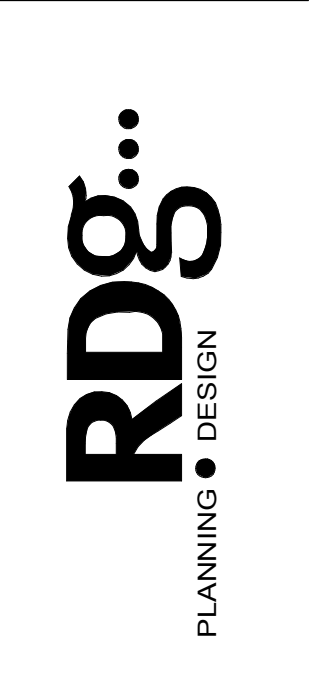
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KEY PLAN

REV	DATE	DESCRIPTION

ISSUED: 05/30/2019
PROJECT NO: 3001.860.01

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ROOF PLAN

A04.01

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