

COUNCIL ACTION FORM

REQUEST: PLANNED RESIDENCE DISTRICT (F-PRD) AMENDMENT AND MAJOR SITE DEVELOPMENT PLAN FOR SUNSET RIDGE SUBDIVISION 9TH ADDITION AT 130 WILDER AVENUE

BACKGROUND:

Hunziker Land Development, LLC is requesting an amendment to the Planned Residence District (F-PRD) with the approval of a new Major Site Development Plan for 130 Wilder Avenue to construct single-family detached homes. The site was rezoned to Planned Residence District (F-PRD) in 2016 with a Major Site Development Plan approval for construction of 40 attached single-family homes (townhomes) on two lots. The two lots mirrored one another in design with each having 20 townhomes located on each side of Wilder. Development on the 125 Wilder Avenue lot (west side of Wilder) is nearly complete.

The property owner now is interested in developing the undeveloped 130 Wilder Avenue lot into 15 detached single-family units on small lots (typ. 4,000-4,600 sq. ft.). The site totals 3.73 acres and development of 15 homes with associated open space will have an overall net density of 10.1 DU/Acre (base density standard of Residential Medium Density) rather than the 20 townhomes previously approved. The site abuts single-family homes to the north, open space to the east, Lincoln Way to the south, and townhomes to the west across Wilder Avenue. *See Attachment A, Location and Existing Zoning Map*). The Preliminary Plat for creation of the individual lots is the topic of the following agenda item.

The City's F-PRD zoning is based upon the concept of providing housing options that would not be available within a conventional subdivision along with substantial open space. The proposed amendment is a different housing concept than has been recently constructed in Ames. The proposed plan includes open space as originally planned with the approved townhomes to become a larger HOA managed open space on the east side of the site, but the homes will be standard homes constructed on smaller lots than typically allowed with standard FS-RL zoning. The design of the development features a private street to serve the homes rather than a public street.

The proposed units are rear-loaded, meaning the garage is accessed off of a private street (which functions as an alley) with the front façade and entrance facing either Wilder Avenue or the common open space. This pattern was established within the original PRD with the development of the townhomes across the street. The proposed building design includes a covered front stoop entry with a sidewalk leading out to the public sidewalk. The homes along Wilder have a standard 25-foot front yard and the homes on the east side of the site have a 10-foot setback to the property line and 20 feet to the sidewalk. There is 20-foot rear setback from the garage to the private street

property line and a 6-foot side yard setback (typical for one-story single-family homes in Ames.)

Each residence includes an attached 2-car garage. Four floor plan options are available with a range of 1,200 sq. ft. to 1,578 sq. ft. and two or three bedrooms. A portion of the living space includes a finished lower level (partial daylight basement). The exception is the 1,200 sq. ft. unit which is all one level, slab on grade with no basement. Two options also include a rear deck and exit.

Color and roof options for each home will differentiate units that have the same floor plan and may be located side-by-side. The predominant building material is cement board siding (Hardie Plank). Foundation treatment at the base of garage and great room includes cultured stone veneer to increase visual interest.

There is a single point of access from Wilder Avenue with a private street leading into the development. This street aligns with the access street for the townhome development across Wilder Avenue. Approval of private streets is permissible as a component of the PRD. The City is not responsible for the maintenance of the private street. The private street would serve as the street frontage requirements for lots. The private street is designed with a 24-foot width and includes an emergency vehicle egress back to Lincoln Way. A typical public street is 26 feet wide and allows for on-street parking. The proposed 24-foot wide private street would not permit on-street parking. The spacing of the roadway and its length meet zone development standards of no more than 660 feet.

Staff believes accommodating on-street guest parking would be a desirable element of development and could be included with the project. Widening the road by two feet would allow for three guest parking spaces in the street between driveways. Staff would support a reduced home setback along Outlot D to ensure adequate space exists for the widening. **The applicant requests to use parking on individual sites to meet requirements.** Parking for owners and guests is proposed as the 2-car garages and two spaces within the driveway on the site. The applicant also counts two additional spaces on the driveway approach that extends into the common area of the private street. The driveway length is 36 feet.

The common open space area proposed on the east side of the property in the original PRD has been retained and meets the majority of the 40% open space requirement for the PRD. Another 2030 SF (.046 acre) of open space is provided through an open space easement along Lincoln Way.

Approval of the PRD requires findings of consistency with design principles relating to the housing variety, efficiency of layout, quality of design, open space, and landscaping that in combination exceeds what can be accomplished with standard zoning. Part of the review is to ensure adequate transition and compatibility to adjacent properties. *(See Attachment C, D, & E for a fuller discussion of Staff's Findings related to these requirements.)*

The Major Site Development Plan that accompanies the PRD will be the controlling plan for development of the site and its specific uses. The Major Site Development Plan establishes the zoning requirements, including building height, maximum number of units, bedrooms and density, site layout (placement of the buildings, pedestrian and vehicular circulation, parking, stormwater drainage, common open space), and landscape design. The proposed home designs will be required for construction on the site, but the plan does not specifically identify which home will go on a particular lot.

A complete analysis of the development with the PRD Development principles, supplemental development standards, and Major Site Development Plan criteria and other zoning standards is included in Attachment C, D, & E. *See Attachment C, Findings Regarding Planned Residence District (F-PRD) Development Principles; Attachment D, Findings Regarding Planned Residence District (F-PRD) Supplemental Development Standards; and Attachment E, Findings Regarding Major Site Development Plan Criteria.*

Public Notice. Noticing requirements are included in Ames *Municipal Code* Chapter 29, Section 1500(2)(d). Notice was mailed to property owners within 200 feet of the subject site and a sign was posted on the subject property. As of this writing, no comments have been received.

PLANNING AND ZONING COMMISSION RECOMMENDATION:

On July 17, 2019 the Planning and Zoning Commission considered the proposed PRD amendment and Major Site Development Plan. The Commission discussed the site access, layout, and parking. No one from the public spoke at the hearing. The Commission recommended approval of the PRD amendment and Major Site Development Plan by a vote of 5 to 1 **with the condition that the site layout be amended to accommodate on-street parking with a 26-foot wide private street.**

In discussion with the applicant since the P&Z meeting, they propose to maintain a 24-foot wide street. A modified plan reflecting the proposed change to 26 feet would be required prior to City Council approval if Council accepts P&Z's recommendation.

ALTERNATIVES:

1. The City Council can approve the proposed PRD Amendment for 130 Wilder with 1) the requirement to widen the private street to 26 feet subject to receipt of a modified Plan reflecting the new layout for City Council acceptance and 2) the condition to complete the final plat of the Sunset Ridge 9th Addition.
2. The City Council can approve the proposed PRD Amendment and Major Site Development Plan as proposed by the applicant with a 24 foot wide private street and the condition to complete the final plat of the Sunset Ridge 9th Addition.

3. The City Council can approve with Modified Conditions the Major Site Development Plan for the property at 130 Wilder Avenue.
4. The City Council can deny the Major Site Development Plan for the property at 130 Wilder Avenue, if the Council finds that the City's regulations and policies are not met.
5. The City Council can Defer Action on this request and refer it back to City staff and/or the applicant for additional information.

CITY MANAGER'S RECOMMENDED ACTION:

As the City continues to look at new housing options it will be important to identify important elements of a neighborhood that ensure long-term success. This includes planning for yard spaces, access, parking, landscaping/street trees. Smaller and more compact designs require more attention to detail and up front planning to ensure the mix of elements work together. The PRD is intended to allow for flexibility and tradeoffs to meet unique needs with the additional details and plans that are not required of standard subdivisions.

The primary PRD differences from standard development are the reduced lot size and use of a private street. Typical standard residential zoning would require a minimum 6,000 square foot lot, whereas the minimum for this PRD is just over 4,000 square feet. The design of the private street does not include sidewalks, which are provided on the perimeter of the site, and the private street is 24 feet wide, whereas 26 feet is required for a public street. The developer proposes to include street trees with the private street as would be typically required of a public street.

The Major Site Development Plan review is to determine conformance with development standards and for the appropriate arrangement and design of the use of the site. Although it will create an island of small lot homes that differ from existing homes, staff believes the proposed housing type is compatible with the general arrangement of homes in the Sunset Ridge subdivision and Wilder PRD. The architectural style varies from traditional to new contemporary styles that are compatible in materials and massing with homes in the area and with the townhomes to the west, although they have a different aesthetic approach. The overall layout is similar to the approved townhome development that it would replace.

Staff finds that the project meets the design principles of the F-PRD and complies with the standards of a Major Site Development Plan. **Therefore, it is the City Manager's recommendation that the City Council adopt Alternative #1, which is to approve the amended PRD and the Major Site Development Plan subject to the listed conditions.**

ADDENDUM

PROJECT DESCRIPTION:

The project site is located at the northeast corner of Lincoln Way and Wilder Avenue. It includes one lot totaling 3.73 acres.

The project includes 15 detached single-family residential units with attached 2-car garages, on individual lots. The units will face out either to Wilder Avenue or to the common open space area on the east side of the development. Each unit is proposed with a footprint of approximately 31' by 59' feet.

One vehicular access (Wilder Lane, proposed as a private street) is provided to the site from Wilder Avenue and aligns with the driveway for the townhome development across the street. An emergency exit onto Lincoln Way will be constructed with Geoblock and overseeded with grass. No parking is permitted in this area of the extension. The extension of the access route to Lincoln Way is needed to avoid having to construct an onsite turnaround. This approach is rarely used in Ames due to typical limitation on front yard paving and landscaping. The use of the porous materials with landscaping should ensure the look of vegetative front yard.

The street is proposed as a 24-foot wide paved private street within a 60-foot right of way. The street is located within Outlot C. Lots are rear-loaded, meaning that the garage is to the rear of the lot and accessed off of a private street. On-street parking is not provided on any of the adjacent public streets and is not proposed for the private street.

Parking is provided for each unit within a 2-car detached garage with additional area for parking on each of the individual lot driveways. No guest parking is included. The parking proposed is sufficient to meet the PRD zone requirements for a single-family home development project. However, staff does have concerns that guest may park on the street which is not wide enough to support on-street parking. The applicant indicates that if the pavement was widened for on-street parking, only three spaces could be accommodated on one side due to the number and location of planned drives. Staff would support a modification of setbacks to ensure there is no loss of parking with on-street parking added.

The units are proposed as one-story homes, with the 3-bedroom units including a partially finished lower level (daylight basement). An alternative 1200 sq. ft. floor plan includes a one-level slab-on-grade 2-bedroom unit without a lower level. The 3-bedroom units range from 1553 to 1578 sq. ft. and are designed with a kitchen, living (great room), dining, powder room, and master bedroom and bathroom on the main level, with two bedrooms, bathroom, and laundry on the lower level. An unfinished area is included for storage in the lower level. (*See Attachment F, Residential Floor Plans and Renderings.*) Nine-foot ceilings are included on the main level with eight-foot ceilings in the lower level.

A total of four floor plan selections are available, each having four color options and

three roofline options. The variation in roofline substantially changes the elevation of each home, so that units with the same floor plan do not appear identical. This will ensure variation among the elevations so that even if the same floor plan is located side-by-side, it is not readily apparent. The proposed building design includes a covered front stoop entry with a sidewalk leading out to the public sidewalk. A few floor plans also include a rear deck and exit.

The predominant building material is cement board (Hardie Plank) siding. Foundation treatment at the base of garage and great room includes cultured stone veneer to increase visual interest. These materials will be required with each home constructed on the site, although a specific home design is not identified for each lot. The developer plans for a diverse set of homes, but it will be the developer/buyers discretion on home type and look.

Sidewalks will connect to the sidewalk network already in place and include a 5-foot sidewalk on the east side of Wilder Avenue and a 5-foot sidewalk wrapping around the west side of the common open space and connecting to prior phases of the Sunset Ridge development. Internal sidewalks are also provided from the public sidewalk to the front entrance of each residence.

The proposed development is shown to provide 41% of the site in open space (1.52 acres). This includes 64,300 SF (1.48 acres) of dedicated open space through the creation of Outlot D and another 2030 SF (.046 acre) of open space provided through a 10-foot open space easement along Lincoln Way, crossing Lots 7 & 8. The open space easement would preclude any future fencing within this area and will include groupings of shrubbery as illustrated in the Landscape Plan (page C5.0).

The highlight of the open space design is the large common open space adjacent to the Sunset Ridge Subdivision open space on the east side of the project. This creates a large "common green" for the area.

There are no existing trees on the site. Twenty-one street trees are proposed along the east side of Wilder Avenue, the north side of Lincoln Way and along the private street, Wilder Lane in accordance with Section 23.402.

There is more than 30 feet of separation from the development's north property line to the closest home and to the private street. The buffer also includes a surface water flowage easement along the north lot line on the east lot that allows planting of vegetation along the edges. Eight additional overstory trees are proposed along with eight arborvitae shrubs within this buffer area, providing further separation between the larger FS-RL single-family homes to the north and this development.

Groupings of high screen shrubs are included along the Lincoln Way property line to help buffer driveways and the private street from Lincoln Way.

The site is fully served by City infrastructure. Sanitary sewer and water are available, as is electric services. Existing easements are shown on the Site Plan and any additional easements needed to accommodate the proposed development of the future building(s)

and utilities will be recorded with the Final Plat at the time of subdivision of the individual lots. Stormwater is master planned for the Sunset Ridge Subdivision. As previously mentioned, a conveyance ditch is proposed along the north of the property.

Compatibility with the adjacent low density residential area to the north has been addressed through the following:

- Building Height and Materials Compatibility,
- Building Siting/Setbacks, and
- Buffering.

Development in a PRD looks to include a mix of housing types, integrated design, open space, site amenities, and landscaping that exceeds the requirements that exist in other residential zone development standards.

APPLICABLE REGULATIONS

Land Use Policy Plan (LUPP) Related Goals and Objectives. The proposed development offers a different type of single-family housing for the already developing Sunset Ridge Subdivision. The proposed development is consistent with the goals described in the Land Use Policy Plan, especially:

GOAL 4. It is the goal of Ames to create a greater sense of place and connectivity, physically and psychologically, in building a neighborhood and overall community identity and spirit. It is the further goal of the community to assure a healthier, safe, and attractive environment.

Objectives. In achieving an integrated community and more desirable environment, Ames seeks the following objectives.

4.A. Ames seeks to establish more integrated and compact living/activity areas (i.e. neighborhoods, villages) wherein daily living requirements and amenities are provided in a readily identifiable and accessible area. Greater emphasis is placed on the pedestrian and related activities.

GOAL 6. It is the goal of Ames to increase the supply of housing and to provide a wider range of housing choices.

Objectives. In increasing housing opportunities, Ames seeks the following objectives.

6.C. Ames seeks to establish higher densities in existing areas where residential intensification is designated with the further objective that there shall be use and appearance compatibility among existing and new development.

Future Land Use Map. The LUPP Map designates the property as Village Suburban Residential. *See Attachment B, LUPP Future Land Use Map.*

The land use designation of Village Suburban Residential allows for the zoning of the property to either of the Floating Suburban zones (FS-RL or FS-RM) or to Planned Residence District (F-PRD).

If the proposed development were to be developed under the FS-RL or FS-RM regulations, the layout and site regulation associated with the FS base zones would not permit the use of private streets, through lots, and the development of lots without frontage on a public street, as allowed under the F-PRD zoning.

Existing Zoning. The existing zoning of the property is Planned Residence District (F-PRD). *See Attachment A, Location and Existing Zoning Map.*

Ames Municipal Code Chapter 29, Section 1203, Planned Residence District, includes development principles, uses that are permitted, and supplemental development standards that apply to properties in this zone. See Attachment C, Findings Regarding F-PRD Development Principles, and Attachment D, Findings Regarding F-PRD Supplemental Development Standards.

Property developed according to the F-PRD requirements allows for innovative housing types and creates a development pattern that is more aesthetic in design and sensitive to the natural features of the site and to surrounding uses of land than would customarily result from the application of the requirements of other residential zoning districts. Development is to include a mix of housing types, integrated design, open space, site amenities, and landscaping that exceeds the requirements that exist in other residential zone development standards.

Planned Residence District (F-PRD) Development Principles.

Property that is zoned F-PRD must adhere to the development principles in Ames Municipal Code Section 29.1203(2). See Attachment E, Findings Regarding F-PRD Development Principles.

Planned Residence District (F-PRD) Supplemental Development Standards.

Property that is zoned F-PRD must also be developed according to the supplemental development standards in Ames Municipal Code Section 29.1203(5). *See Attachment D, Findings Regarding F-PRD Supplemental Development Standards.*

The proposed building height does not exceed the existing buildings within Sunset Ridge and setbacks are similar to other single family homes in the area. Open Space meets the required 40% standard with 41% provided.

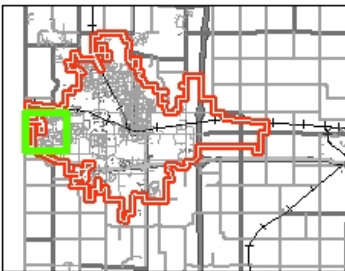
Major Site Development Plan Criteria.

Additional criteria and standards for review of all Major Site Development Plans are found in Ames Municipal Code Section 29.1502(4)(d). *See Attachment G, Findings Regarding Major Site Development Plan Design Standards.*

Building floor plans and elevation drawings are included in *Attachment F, Site Development Plan and Residential Floor Plans & Renderings.*

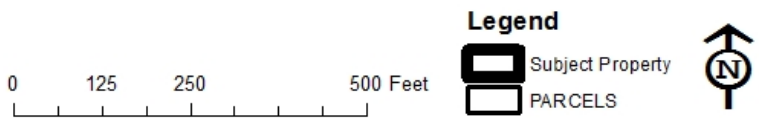
Attachment A

Location and Existing Zoning Map



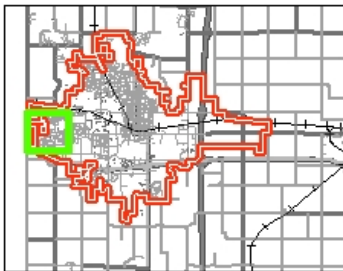
LOCATION & ZONING MAP

130 Wilder Avenue

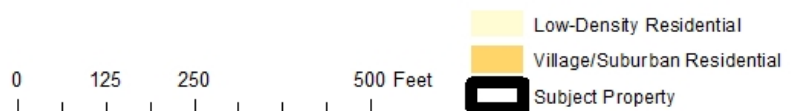


Attachment B

Land Use Policy Plan - Future Land Use Map (Excerpt)



FUTURE LAND USE MAP 130 Wilder Avenue



Attachment C

Findings Regarding Planned Residence District (F-PRD) Development Principles

Property that is zoned F-PRD shall be developed in accordance with the Zone Development Principles listed in Section 29.1203(2). Each principle is addressed below.

- 1. Provide for innovative and imaginative approaches to residential development that would not occur as a result of the underlying zoning regulations.***

The 15 single-family homes will face outward to Wilder Avenue and the open space area (Outlot D). Each unit includes an attached garage that is rear-loaded from an alley or private street. Zoning standards do not allow "double fronting" lots along Wilder Ave. This layout replicates the pattern utilized within the townhome development across the street.

- 2. Result in a more efficient, aesthetic, desirable and economic use of land and other resources while maintaining density of use, as provided for in the Land Use Policy Plan and the underlying zoning.***

The size and variety of units provide a unique and aesthetic housing type that has not been available in Ames. The layout is efficient and dense, while providing a large amount of open space.

- 3. Promote innovative housing development that emphasizes efficient and affordable home ownership and occupancy.***

The planned units are not like other types of housing units available in the Sunset Ridge Subdivision. The houses will be constructed on individual lots and are intended to be offered for individual ownership and occupancy with a price point uncommon to Ames.

- 4. Provide for flexibility in the design, height, and placement of buildings that are compatible with and integrate with existing, developed neighborhoods and the natural environment.***

The planned houses are single-story, with attached garages. The buildings are similar in height and arrangement with other single-family homes in the Sunset Ridge Subdivision.

- 5. Promote aesthetic building architecture, significant availability of open space, well designed and landscaped off-street parking facilities that meet or exceed the underlying zone development standards, more recreation facilities than would result from conventional development, and pedestrian and vehicular linkages within and adjacent to the property.***

The home selection includes four floor plans, with four color choices, and three roof variations for most floor plan options. Units range in SF from 1200-1578 SF. Buildings and the private street have been arranged with the open spaces and pedestrian connections in mind. Sidewalks (both existing

and proposed) provide a "ring" around the development. While required parking for each unit is provided by the garages, additional parking spaces are provided in the 36-foot long driveway of each unit. No public parking is provided. The large open space on the east abuts an existing park-like space in the existing Sunset Ridge Subdivision.

6. ***Provide for the preservation of identified natural, geologic, historic and cultural resources, drainage ways, floodplains, water bodies, and other unique site features through the careful placement of buildings and site improvements.***

There are no natural, geological, historic, or cultural resources to preserve. The relatively flat existing lots were graded as part of the earlier development of Sunset Ridge Subdivision.

7. ***Provide for a development design that can be more efficiently served by existing and proposed infrastructure, including: street, water, sewer, and storm water infrastructure, than would be otherwise required as a result of conventional development.***

Because the site was previously planned for commercial development, infrastructure was designed and constructed to provide for commercial uses. The planned 15 residential lots will have a reduced utility need versus the originally planned commercial use.

Attachment D

Findings Regarding Planned Residence District (F-PRD) Permitted Uses & Supplemental Development Standards

Permitted Uses

Planned Residence District (F-PRD) Floating Zone Permitted Uses. The uses permitted in the F-PRD zoning district is set out in Table 29.1203(4) of the Zoning Ordinance, and include as principal uses: single family house, two family house, apartment building and townhouse.

- 1. List the types of principal uses that will be included in this PRD project, the number of each type of structure, and the number of dwelling units in each structure.***

All fifteen (15) residential units are single-family detached.

Supplemental Development Standards

Property that is zoned F-PRD shall be developed in accordance with the Zone Development Standards listed in Table 29.1203(5). Each standard is addressed below.

- 1. Area Requirement. A minimum of two (2) acres shall be required for all areas developed as F-PRD.***

The site includes 3.73 gross acres.

- 2. Density. Densities shall comply with the densities provided for in the Land Use Policy Plan and the underlying base zone regulations. In the case of more than one base zone designation, each area of the PRD project shall comply with the density limitation that is established for the base zone of that area. Density transfer from one area of a PRD project to another area of the same project with a lower base zone density is not permitted.***

Underlying Base Zone: Residential Medium Density
Proposed Density- 15 units / 1.4 net acres = 10.1 units per acre

This density is consistent with the RM base zone which allows for a density range of 7.26 to 22.31 units per acre. The total number of units will be 15.

- 3. Height Limitations. Structures proposed to be developed in areas zoned PRD shall be compatible with the predominant height of the structures in adjacent neighborhoods.***

Proposed residential homes are 1-story, with 1-story attached garages. Most units include a basement. Adjacent neighborhoods are a mix of 1 and 2-story houses.

- 4. *Minimum Yard and Setback Requirements. There are no specified yard and setback requirements in areas zoned PRD, except that structures constructed adjacent to public right-of-way and adjacent to the exterior boundary of an area zoned PRD shall comply with setback standards of the underlying base zoning regulations, unless there are physical features on the site that would justify a different setback than provided for in the base zone.***

Typical setbacks (25') are provided along Wilder Ave. and Lincoln Way. The private street is located within a 60' wide right of way (Outlot C) and garages are set back 20'. Side yards are 6' and homes abutting Outlot D are currently setback 10' from the lot line, approximately 20 feet from the sidewalk in Outlot D.

- 5. *Parking Requirements. Parking for uses permitted in areas zoned PRD shall comply with the parking standards in Section 29.406.***

No public parking is proposed. Each driveway includes space for 4 cars in addition to a 2-car garage.

- 6. *Open Space Design Requirements. Open Space shall be designed as a significant and integrated feature of the entire area to be developed as a PRD project.***

Large open spaces are provided to accommodate stormwater, and provide recreational spaces. A large open space is provided adjacent to an existing grassed open space provided in Sunset Ridge Subdivision. Sidewalks provide access to the open space and connect in with the sidewalk network.

- 7. *Open Space Area Requirement. The area devoted to open space in a PRD project shall meet the landscape and open space requirements as set forth in the base zone standards.***

A minimum landscaped open space requirement of 40% is required for the F-PRD zone, given its base zone of Residential Medium Density (RM)- 41% Open Space is provided.

- 8. *Open Space Improvements and Amenities.***

The grassy lawn area is accessed by an interconnected system of sidewalks that connects with other phases of the Sunset Ridge Subdivision. These opens space improvements and amenities were previously approved for the PRD development and are retained in this Major Site Development Plan Amendment.

- 9. *Maintenance of Open Space and Site Amenities.***

Maintenance of the Open Space will be provided by Sunset Ridge Property Owners Association.

Attachment E

Findings Regarding Major Site Development Plan Criteria

Additional criteria and standards for review of all Major Site Development Plans are found in Ames *Municipal Code* Section 29.1502(4)(d) and include the following requirements.

- 1. The design of the proposed development shall make adequate provisions for surface and subsurface drainage to limit the rate of increased runoff of surface water to adjacent and downstream property.***

Stormwater detention facilities were master planned for Sunset Ridge Subdivision to meet the City's Municipal Code requirements to capture specified quantities of water and treat it for water quality before releasing it from the site. An updated SWM report has been provided to the City.

- 2. The design of the proposed development shall make adequate provision for connection to water, sanitary sewer, electrical, and other utility lines within the capacity limits of those utility lines.***

The existing infrastructure was planned for a commercial use on this site. The planned 15 residential lots will have a reduced utility need versus the original commercial uses planned.

- 3. The design of the proposed development shall make adequate provision for fire protection through building placement, acceptable location of flammable materials, and other measures to ensure fire safety.***

The fire inspector has reviewed access and fire truck circulation and found that the needs of the fire department are met. Access to the site will be off of Wilder Avenue. Wilder Lane is proposed as a private street with a 24' pavement width. It will include a fire lane connection to Lincoln Way for emergency use that is paved with Geoblock and seeded with grass.

- 4. The design of the proposed development shall not increase the danger of erosion, flooding, landslide, or other endangerment to adjoining and surrounding property.***

A ditch is proposed along the north end of the property to convey stormwater away from the site to the master planned stormwater facility for the Sunset Ridge Subdivision.

- 5. Natural topographic and landscape features of the site shall be incorporated into the development design.***

No notable topographic features exist on the site and there is only three feet of grade change across the site. A ditch is proposed along the north end of the property to convey stormwater away from the site. There are no existing trees on the site.

- 6. The design of the interior vehicle and pedestrian circulation shall provide for convenient flow of vehicles and movement of pedestrians and shall prevent hazards to adjacent streets or property.***

Wilder Lane is proposed as a private street with a 24' pavement width. It will connect at one access point to Wilder Avenue. An emergency access will be provided to Lincoln Way.

Sidewalks will connect each unit to the public sidewalk. The sidewalk network will connect to the open space area and prior phases of the Sunset Ridge development.

- 7. *The design of outdoor parking areas, storage yards, trash and dumpster areas, and other exterior features shall be adequately landscaped or screened to minimize potential nuisance and impairment to the use of adjoining property.***

Shrubbery is proposed along the south property line to screen driveways from Lincoln Way. Additionally, overstory trees are included in the Lincoln Way right of way.

Along the north property line, overstory trees are proposed, along with some high screen shrubs clustered at the bend in the street.

- 8. *The proposed development shall limit entrances and exits upon adjacent streets in order to prevent congestion on adjacent and surrounding streets and in order to provide for safe and orderly vehicle movement.***

The proposed access to Wilder Avenue will align with the private drive access across the street in order to encourage safe and orderly vehicle movement.

- 9. *Exterior lighting shall relate to the scale and location of the development in order to maintain adequate security, while preventing a nuisance or hardship to adjacent property or streets.***

Lighting fixtures will be leased from the City. The location of these are illustrated on the site plan. Trees and fixtures must be located a minimum of 15' apart.

- 10. *The proposed development shall ensure that dust and other forms of air pollution, noise disturbances, odor, glare, and other nuisances will be limited to acceptable levels as prescribed in other applicable State and City regulations.***

The proposed development is not expected to generate any nuisances.

- 11. *Site coverage, building scale, setbacks, and open spaces shall be in proportion with the development property and with existing and planned development and structures, in adjacent and surrounding property.***

The building layout complies with the development standards of the F-PRD zone for site coverage and open space requirements. Individual buildings comply with the RM base zone supplemental developmental standards. The architecture is compatible with the character of the adjacent homes. Street trees align the streets. Open space areas are included for the residents of the community and meet the 40% min. required.

Attachment F
Site Development Plan Package and
Residential Floor Plans & Renderings
(see separate file)

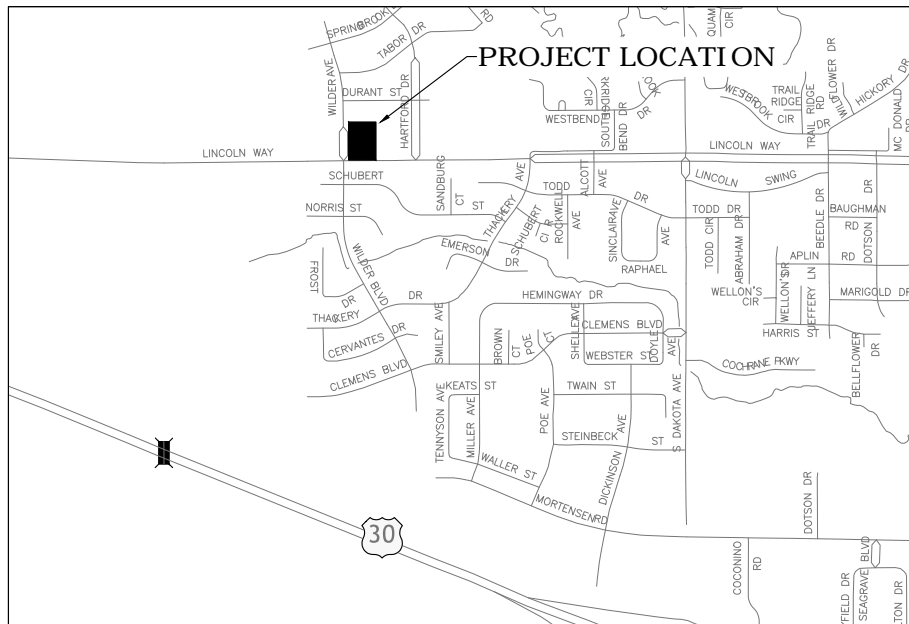
MAJOR SITE DEVELOPMENT PLAN

LOCATION MAP

SUNSET RIDGE SUBDIVISION 9TH ADDITION AMES, IA

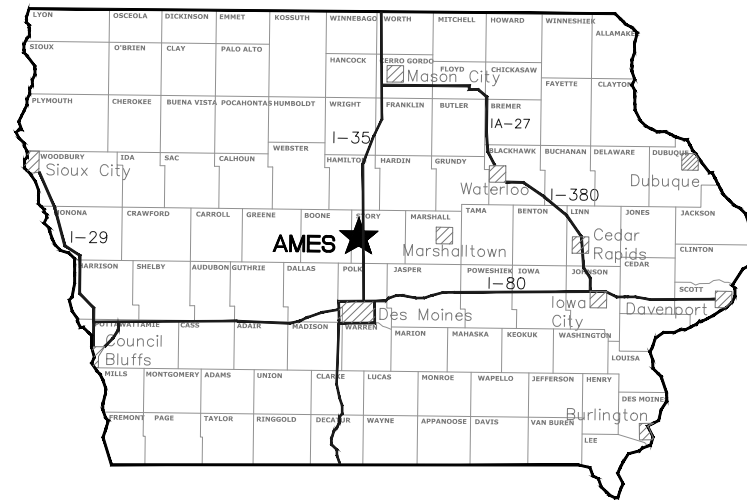
THIS PROJECT IS COVERED BY THE IOWA DEPARTMENT OF NATURAL RESOURCES NPDES GENERAL PERMIT NO. 2. THE CONTRACTOR SHALL CARRY OUT THE TERMS AND CONDITIONING OF GENERAL PERMIT NO. 2 AND STORM WATER POLLUTION PREVENTION PLAN WHICH IS PART OF THESE CONTRACT DOCUMENTS. REFER TO SECTION 2602 OF THE DOT STANDARD SPECIFICATION FOR ADDITIONAL INFORMATION.

THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS 2019) AND THE CURRENT CITY OF AMES SUPPLEMENTAL SPECIFICATIONS SHALL APPLY TO THE CONSTRUCTION WORK ON THIS PROJECT UNLESS NOTED ON THE PLANS OR IN THE CONTRACT.



No.	Description
G1.0	COVER SHEET/ LOCATION MAP/LEGEND
C1.0	EXISTING CONDITIONS AND REMOVALS
C2.0	PROPOSED LOT LAYOUT
C2.1	SITE LAYOUT AND DIMENSIONING PLAN
C3.0	SITE GRADING AND PAVING PLAN
C3.1	GRADING AND PAVING (ENTRANCE DETAIL)
C4.0	UTILITY PLAN (STORM SEWER)
C4.1	UTILITY PLAN (SANITARY & WATER)
C5.0	SITE LANDSCAPING PLAN
C6.0 - C6.1	STORM WATER POLLUTION PREVENTION PLAN (SWPPP)
C7.0	POROUS PAVEMENT DETAILS

PROPOSED		EXISTING	
	Concrete Paving		Beehive Intake
	Sidewalk		Ballard Building
	Building		Buried Power
	Hydrant		UGP
	Water Main		Bushes
	Water Service		Cable Pedestal
	Sanitary Manhole		Cleanout
	Sanitary Sewer		Culvert
	Storm Intakes		Curb Stop
	Storm Sewer		Electric Pedestal
	Storm Sewer Manhole		Fence
	Storm Sewer Service		Fiber Optic
	Water Line		Force Main
	Water Valve		Gas Line
			Gas Meter
			Gas Valve
			Hydrant
			Electric Junction Box
			Light Post
			Mailbox
			Manhole
			Overhead Communication
			Overhead Power
			Power Pole
			Property Pin
			Property/Right-Of-Way Line
			Railroad Tracks
			Sanitary Manhole
			Sanitary Sewer
			Sign
			Storm Intakes
			Storm Sewer
			Storm Sewer Manhole
			Stump
			Buried Communication
			Telephone Manhole
			Telephone Pedestal
			Telephone Pole
			Traffic Pole
			Treeline
			Trees
			Water Line
			Water Manhole
			Water Meter
			Water Valve
			Witness Post
			Yard Hydrant



SITE PLAN DATA:		PARKING CALCULATIONS:	
OWNER/ APPLICANT	HUNZIKER LAND DEVELOPMENT CO. LLC 105 S. 16TH ST, SUITE A AMES, IA 50010	REQUIRED	2 SPACES PER UNIT 30 SPACES
PREPARED BY	SCOTT WILLIAMS, P.E. FOX ENGINEERING 414 S 17TH STREET, SUITE 107 AMES, IA 50010 PH (515) 233-0000	PROVIDED	GARAGES 2 SPACES PER UNIT 30 SPACES DRIVEWAYS 4 SPACES PER UNIT 60 SPACES 90 SPACES
SITE ADDRESSES	130 WILDER AVE	AREA CALCULATIONS	
LEGAL DESCRIPTION	LOT 1 OF SUNSET RIDGE SUBDIVISION, 3RD ADDITION	PRIVATE LOTS	68,785 S.F. 42 %
LOT AREAS	3.73 ACRES (162,480.3 S.F.)	STREET LOT	27,365 S.F. 17 %
SITE ZONING	PLANNED RESIDENCE (F-PRD)	OPEN SPACE	66,330 S.F. 41 % 162,480 S.F. 100%
DENSITY	15 UNITS/1.4 ACRES = 10.1 UNITS/ ACRE	SETBACKS	
DATE OF PREPARATION	APRIL 23, 2019	FRONT	25'
REVISED	JUNE 3, 2019	REAR	20'
	JUNE 13, 2019	SIDE	6'
	JUNE 28, 2019	LOTS ABUTTING OUTLOT D	10'



SITE NOTE:
ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC RIGHT-OF-WAY.

I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

Scott A. Williams 7/10/19
SCOTT A. WILLIAMS DATE
License number 13310

My license renewal date is December 31, 2020.

Pages or sheets covered by this seal:
G1.0, C1.0 THROUGH C7.0

GENERAL NOTE: ALL UTILITIES ARE ONLY GENERALLY LOCATED. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND EXPOSING ALL UTILITIES THAT MAY INTERFERE WITH CONSTRUCTION BEFORE CONSTRUCTION BEGINS.

DATE	REVISION	BY	DATE
06/03/19	PER DRC COMMENTS DATED 5/13/19	SAW	
06/13/19	PER DRC COMMENTS DATED 6/10/19	SIS	
07/10/19	PER DRC COMMENTS DATED 7/2/19 & 7/24/19	SIS	
		CHECKED	
		LAST UPDATE:	07/10/19

COVER SHEET/ LOCATION MAP/LEGEND
MAJOR SITE DEVELOPMENT PLAN
SUNSET RIDGE SUBDIVISION
9TH ADDITION
AMES, IA

PROJECT NO.
5345-19A

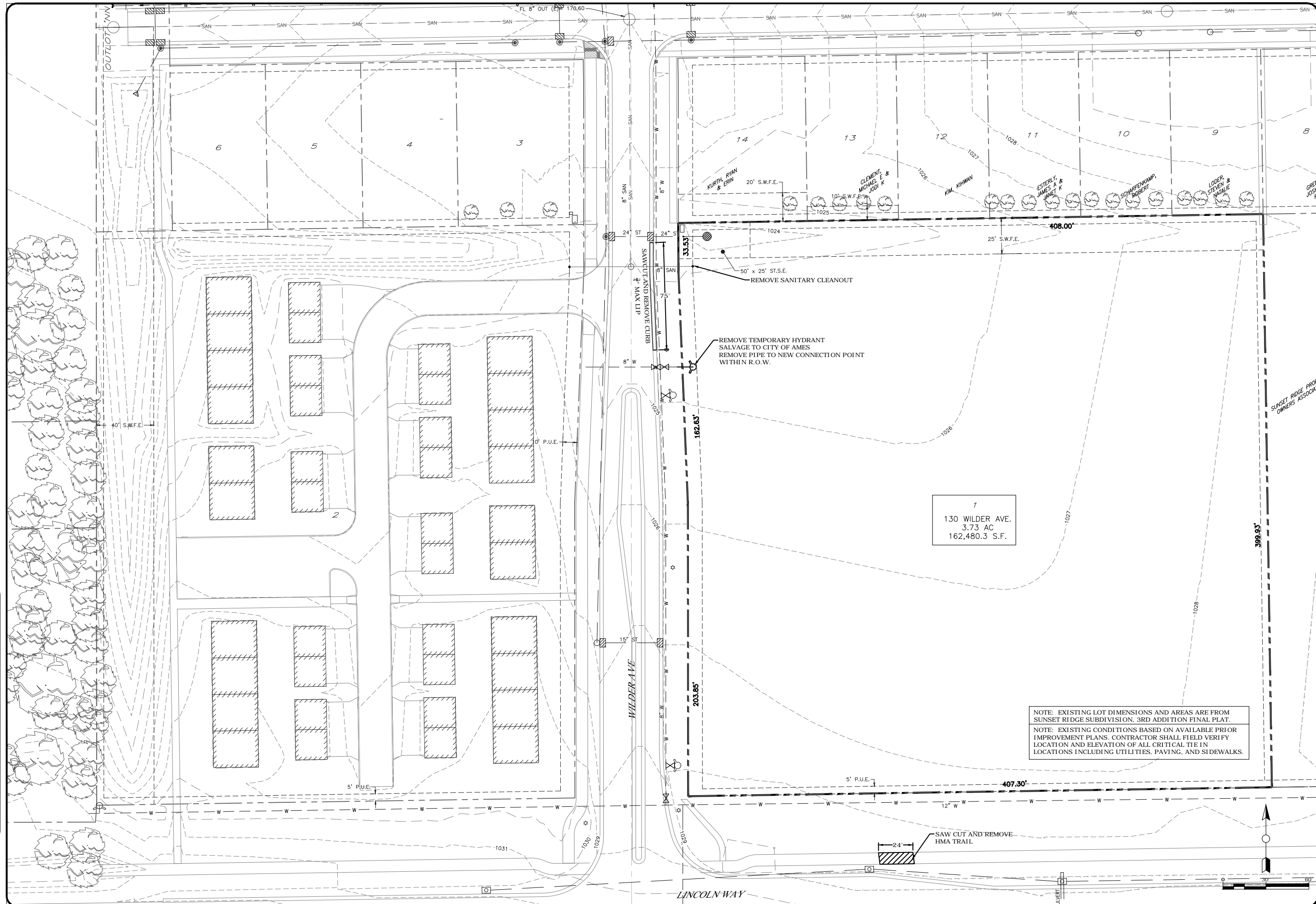
SHEET
G1.0

FOX Engineering Associates, Inc.
414 South 17th Street, Suite 107
Ames, Iowa 50010
Phone: (515) 233-0000
FAX: (515) 233-0103

MAJOR SITE DEVELOPMENT PLAN

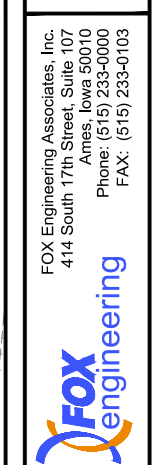
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LAYER: MNGR_NAME
LAYOUT NAME: G1.0

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PLOT STYLE TABLE
FoxGrayScale.ctb
LAYER MGR NAME
LAYOUT NAME
C1.0



DATE	REVISION	BY	DATE
06/05/19	ADDED EXAMINATIONS ON EX LOTS 13 & 14	SAW	07/19
06/13/19	FILED COMMENTS DATED 06/10/19	SAW	07/19
06/26/19	FILED COMMENTS DATED 06/20/19	SIS	07/19
		CHECKED:	LAST UPDATE: 07/10/19

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Phone: (515) 233-0000
FAX: (515) 233-0103

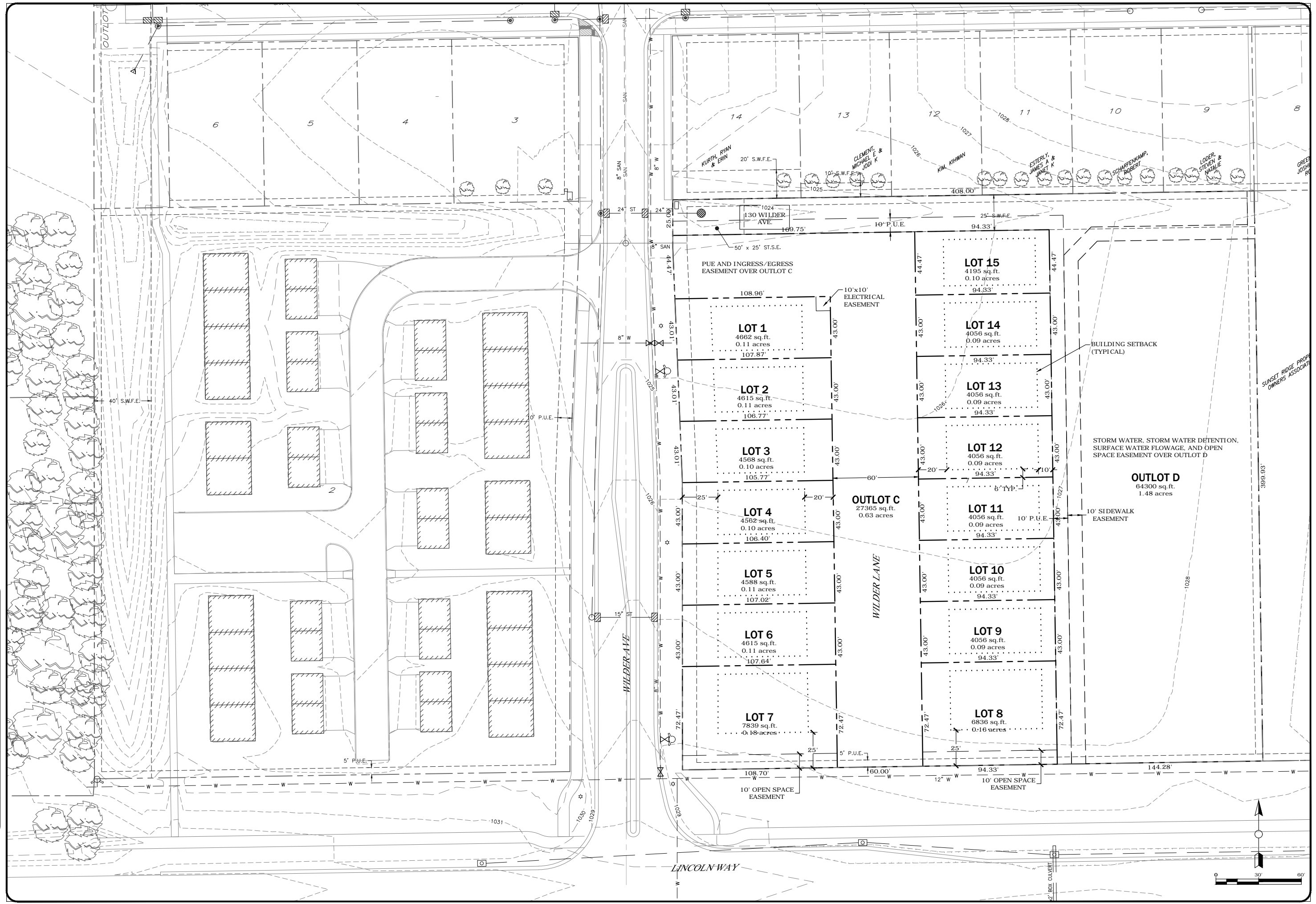


EXISTING CONDITIONS AND REMOVALS
MAJOR SITE DEVELOPMENT PLAN
SUNSET RIDGE SUBDIVISION
9TH ADDITION
AMES, IA

PROJECT NO.
5345-19A

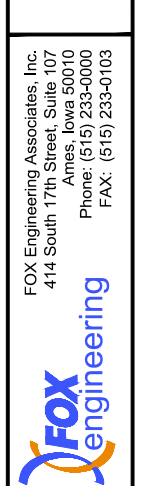
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C1.0

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PLOT STYLE TABLE
FoxGrayScale.ctb
LAYER MGR NAME
LAYOUT NAME
C2.0



DATE	REVISION	BY	DATE
06/13/19	PER DIR COMMENTS DATED 07/10/19	SAW	07/19
		SIS	07/19
		CHECKED	
		LAST UPDATE:	07/10/19

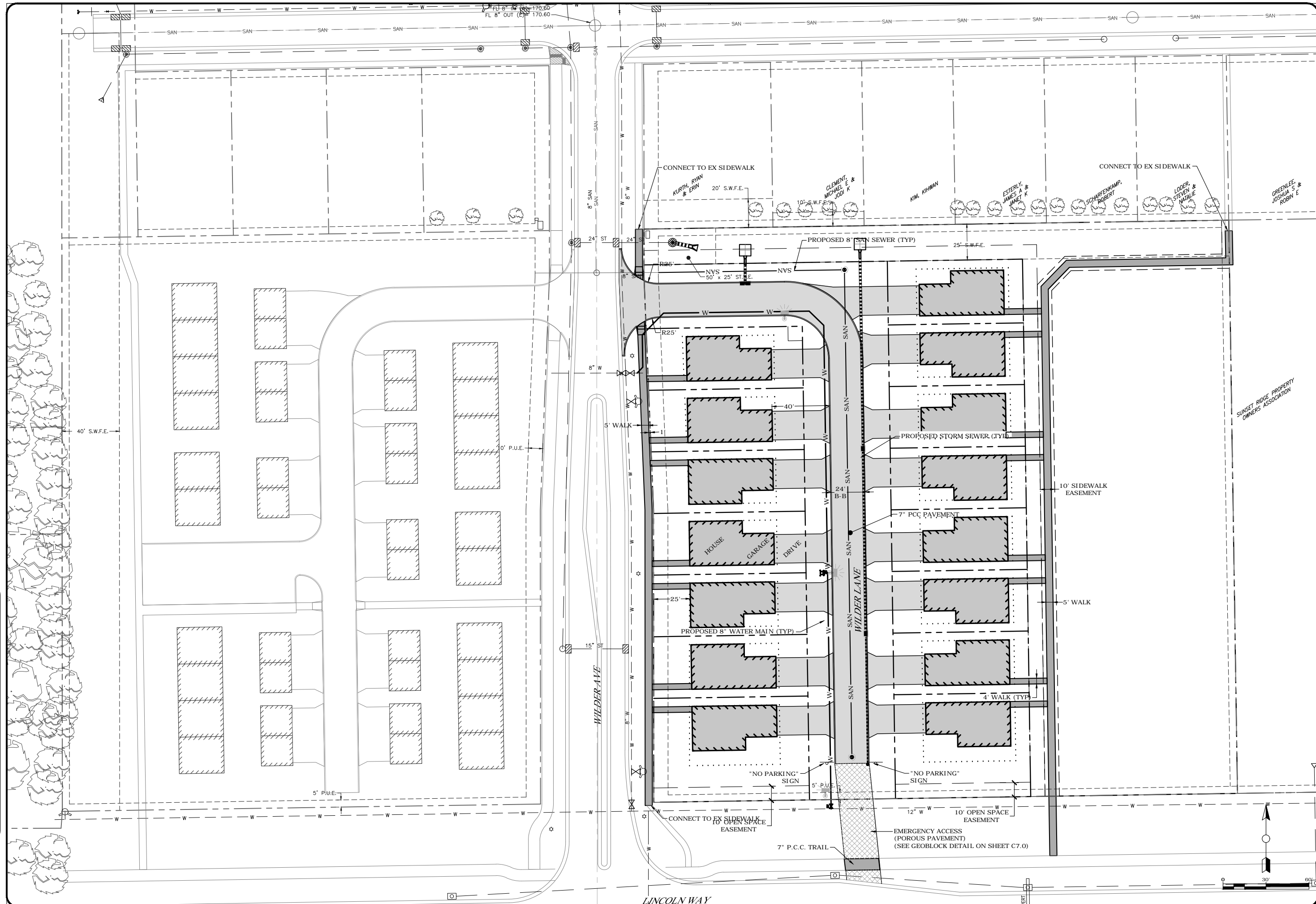
FOX Engineering Associates, Inc.
414 South 17th Street, Suite 107
Ames, Iowa 50010
Phone: (515) 233-0000
FAX: (515) 233-0103



PROPOSED LOT LAYOUT
MAJOR SITE DEVELOPMENT PLAN
SUNSET RIDGE SUBDIVISION
9TH ADDITION
AMES, IA

PROJECT NO.
5345-19A
SHEET
C2.0

DRAWING FILENAME
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PLOT STYLE TABLE
FoxGrayScale.ctb
LAYER MNGR NAME
LAYOUT NAME
C2.1



DATE	BY	REVISION
06/13/19	SAW	PRELIM COMMENTS DATED 07/10/19
06/29/19	SIS	PRELIM COMMENTS DATED 07/20/19
		CHECKED
		LAST UPDATE: 07/10/19

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414 South 17th Street, Suite 107
Ames, Iowa 50010
Phone: (515) 233-0000
FAX: (515) 233-0103

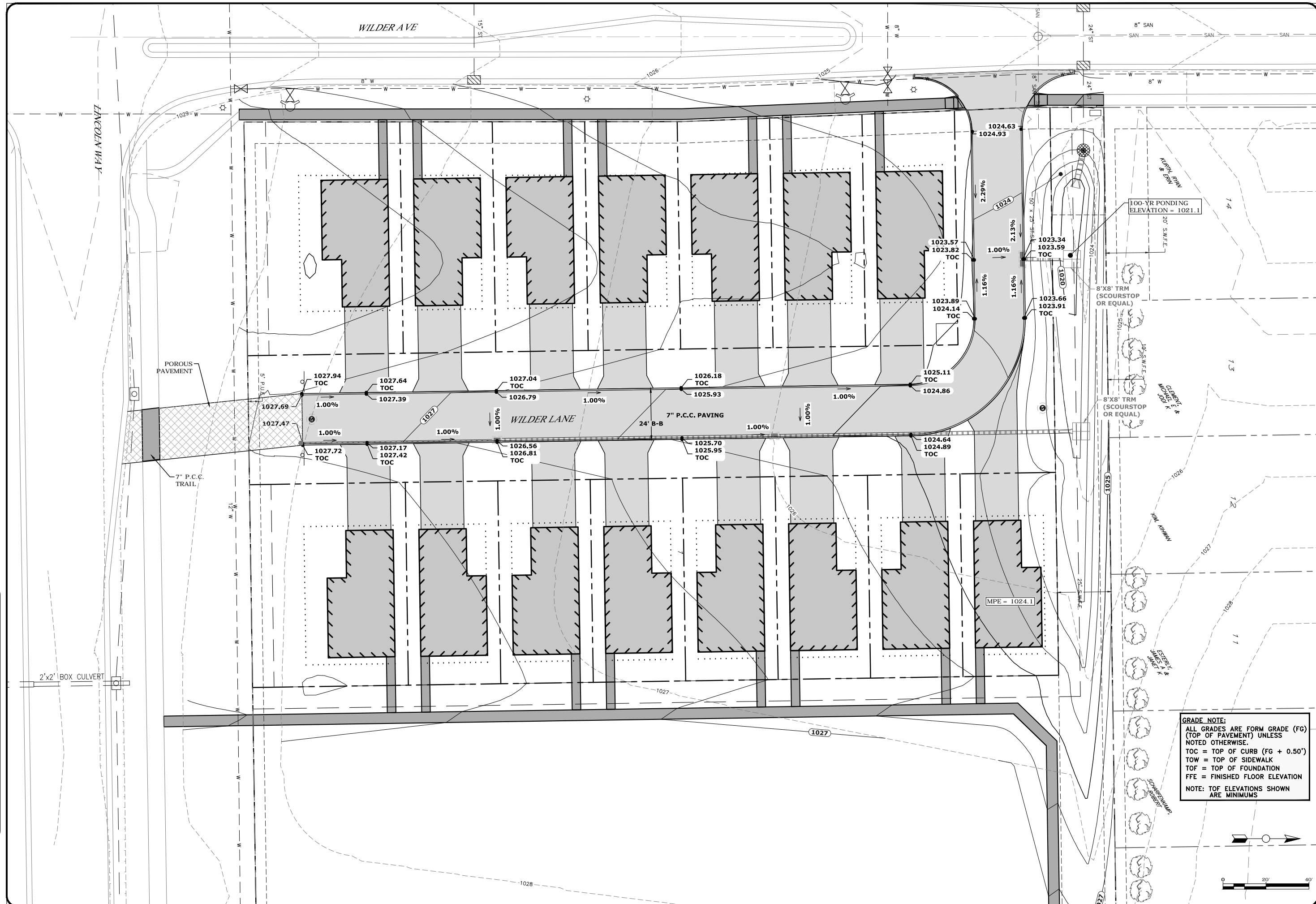
FOX Engineering

SITE LAYOUT AND DIMENSIONING PLAN
MAJOR SITE DEVELOPMENT PLAN
SUNSET RIDGE SUBDIVISION
9TH ADDITION
AMES, IA

PROJECT NO.
5345-19A

SHEET
C2.1

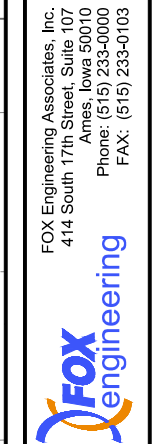
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PLOT STYLE TABLE
FoxGrayScale.ctb
LAYER MGR NAME
LAYOUT NAME
C3.0



GRADE NOTE:
ALL GRADES ARE FORM GRADE (FG)
(TOP OF PAVEMENT) UNLESS
NOTED OTHERWISE.
TOC = TOP OF CURB (FG + 0.50')
TOW = TOP OF SIDEWALK
TOF = TOP OF FOUNDATION
FFE = FINISHED FLOOR ELEVATION
NOTE: TOF ELEVATIONS SHOWN
ARE MINIMUMS

DATE	REVISION	BY	DATE
06/03/10	AWARD BIDDING AND FINISHING ELEVATIONS	SAW	07/10
06/13/10	PER DDC COMMENTS DATED 06/10/10	SIS	07/19
06/28/10	PER DDC COMMENTS DATED 06/25/10	SIS	07/19
		CHECKED	
		LAST UPDATE:	07/10/19

FOX Engineering Associates, Inc.
414 South 17th Street, Suite 107
Ames, Iowa 50010
Phone: (515) 233-0000
FAX: (515) 233-0103

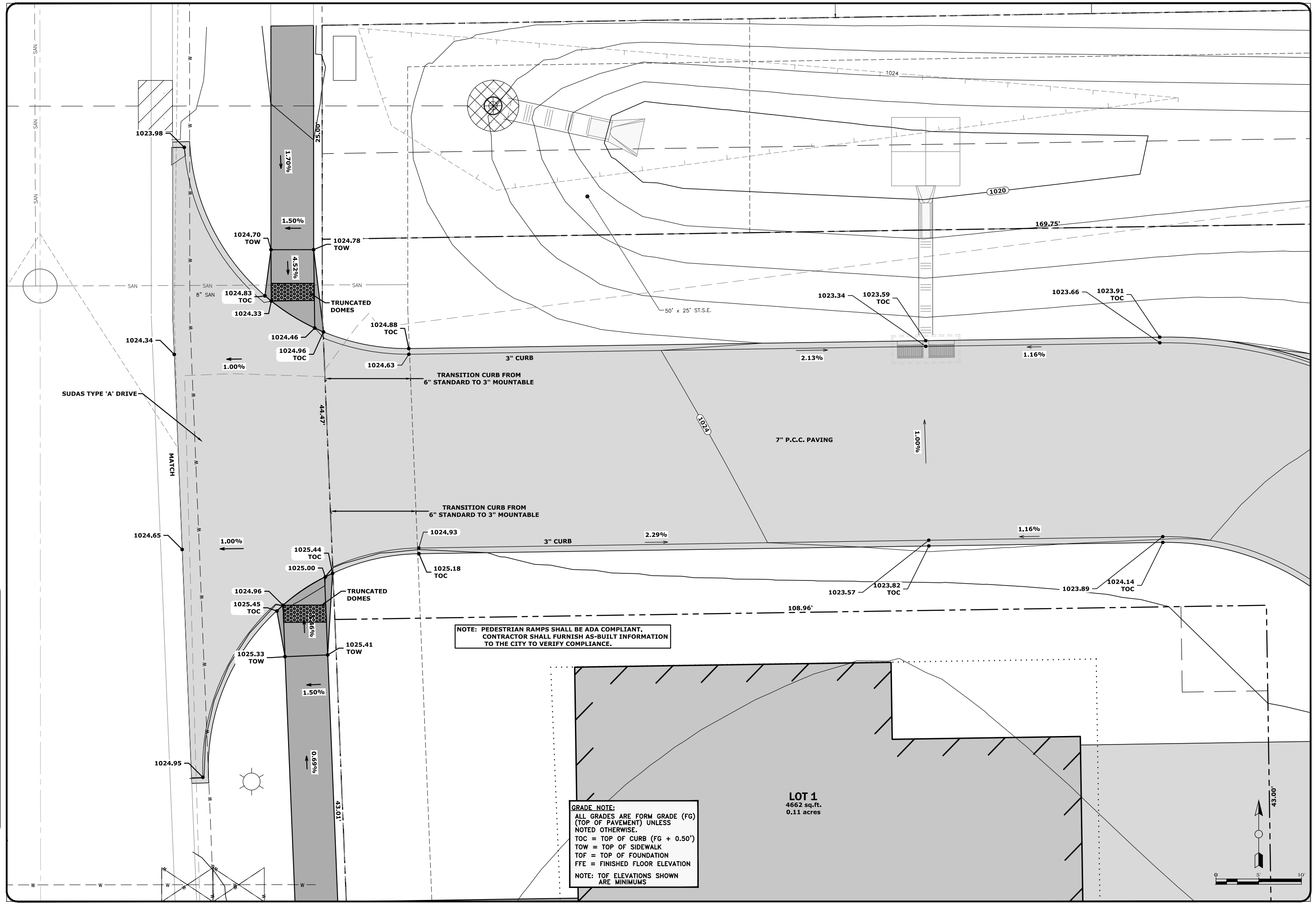


SITE GRADING AND PAVING PLAN
MAJOR SITE DEVELOPMENT PLAN
SUNSET RIDGE SUBDIVISION
9TH ADDITION
AMES, IA

PROJECT NO.
5345-19A

SHEET
C3.0

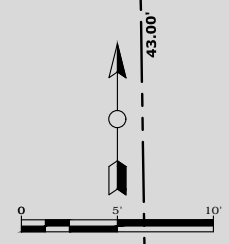
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PLOT STYLE TABLE
FoxGrayScale.ctb
LAYER MGR NAME
C3.1
LAYOUT NAME
C3.1



NOTE: PEDESTRIAN RAMPS SHALL BE ADA COMPLIANT.
CONTRACTOR SHALL FURNISH AS-BUILT INFORMATION
TO THE CITY TO VERIFY COMPLIANCE.

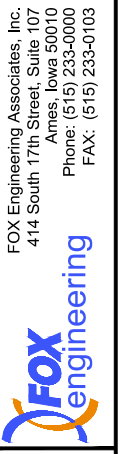
GRADE NOTE:
ALL GRADES ARE FORM GRADE (FG)
(TOP OF PAVEMENT) UNLESS
NOTED OTHERWISE.
TOC = TOP OF CURB (FG + 0.50')
TOW = TOP OF SIDEWALK
TOF = TOP OF FOUNDATION
FFE = FINISHED FLOOR ELEVATION
NOTE: TOF ELEVATIONS SHOWN
ARE MINIMUMS

LOT 1
4662 sq.ft.
0.11 acres



DATE	REVISION	BY	DATE
06/28/19	PER DIR COMMENTS DATED 6/20/19	SAW	07/19
		SBS	07/19
		CHECKED	
		LAST UPDATE:	07/10/19

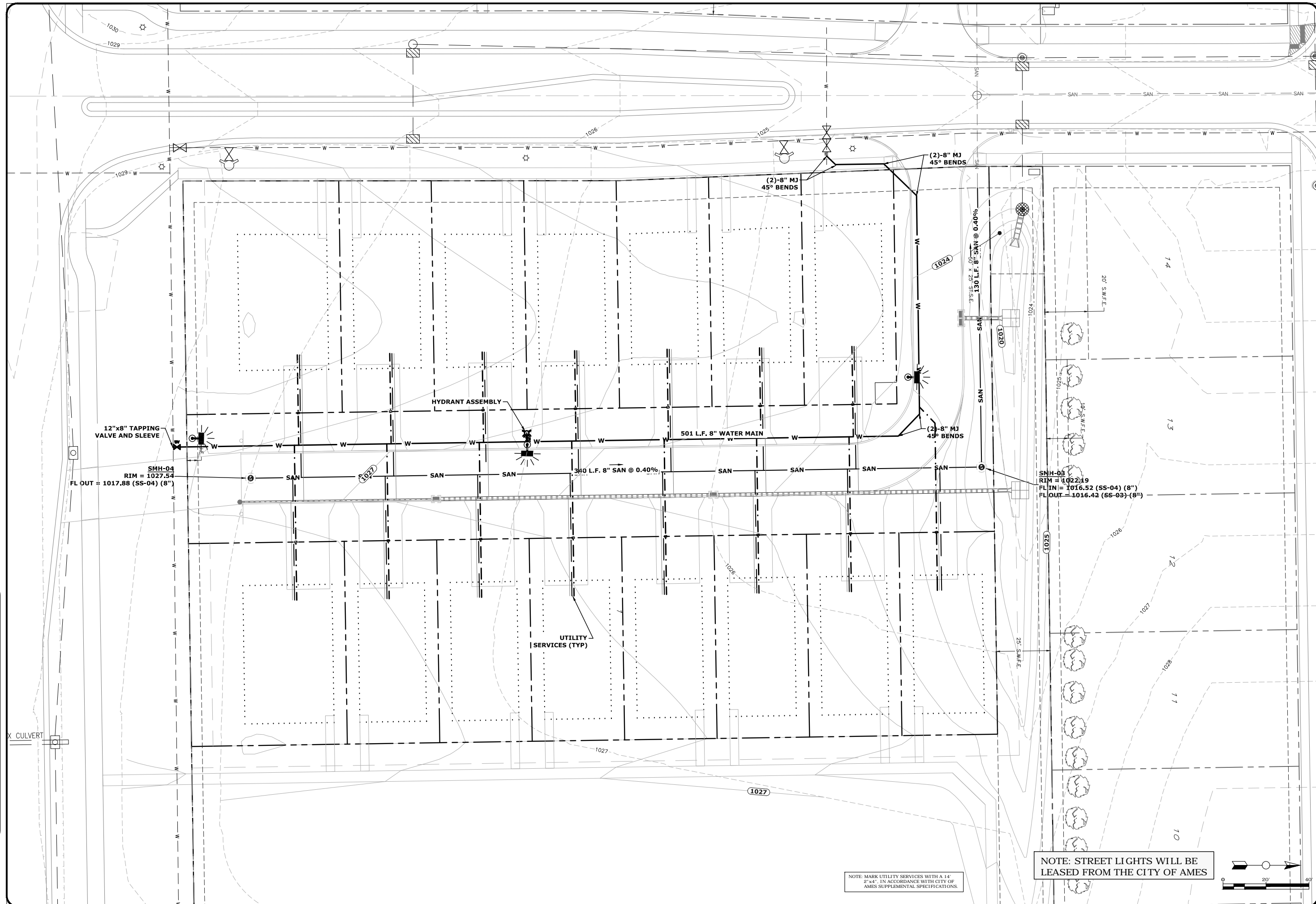
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414 South 17th Street, Suite 107
Ames, Iowa 50010
Phone: (515) 233-0000
FAX: (515) 233-0103



GRADING AND PAVING PLAN (ENTRANCE DETAIL)
MAJOR SITE DEVELOPMENT PLAN
SUNSET RIDGE SUBDIVISION
9TH ADDITION
AMES, IA

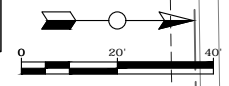
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5345-19A
SHEET
C3.1

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PLOT STYLE TABLE
FoxGrayScale.ctb
LAYER MGR NAME
LAYOUT NAME
C4.1



NOTE: MARK UTILITY SERVICES WITH A 14' 2"x4" IN ACCORDANCE WITH CITY OF AMES SUPPLEMENTAL SPECIFICATIONS.

NOTE: STREET LIGHTS WILL BE LEASED FROM THE CITY OF AMES



DATE	07/10/19
BY	SAW
DESIGNED	SBS
DRAWN	SBS
CHECKED	
LAST UPDATE	07/10/19

REVISION	DATE	DESCRIPTION

FOX Engineering Associates, Inc.
414 South 17th Street, Suite 107
Ames, Iowa 50010
Phone: (515) 233-0000
FAX: (515) 233-0103

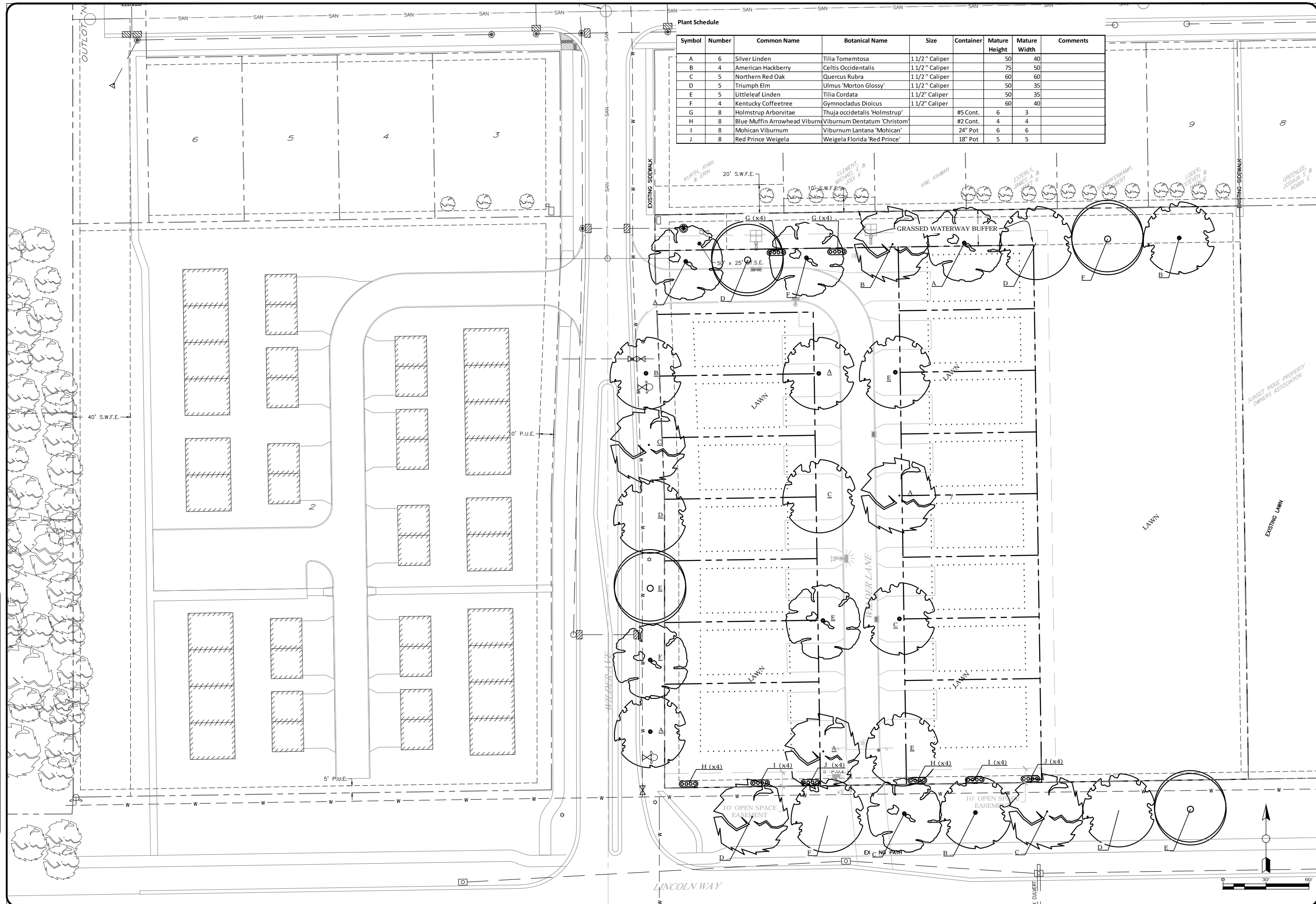
FOX Engineering

UTILITY PLAN (SANITARY & WATER)
MAJOR SITE DEVELOPMENT PLAN
SUNSET RIDGE SUBDIVISION
9TH ADDITION
AMES, IA

PROJECT NO.
5345-19A

SHEET
C4.1

DRAWING FILENAME
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PLOT STYLE TABLE
FoxGrayScale.ctb
LAYER MNGR NAME
LAYOUT NAME
C5.0



Plant Schedule

Symbol	Number	Common Name	Botanical Name	Size	Container	Mature Height	Mature Width	Comments
A	6	Silver Linden	Tilia Tomemosa	1 1/2" Caliper		50	40	
B	4	American Hackberry	Celtis Occidentalis	1 1/2" Caliper		75	50	
C	5	Northern Red Oak	Quercus Rubra	1 1/2" Caliper		60	60	
D	5	Triumph Elm	Ulmus 'Morton Glossy'	1 1/2" Caliper		50	35	
E	5	Littleleaf Linden	Tilia Cordata	1 1/2" Caliper		50	35	
F	4	Kentucky Coffeetree	Gymnocladus Dioicus	1 1/2" Caliper		60	40	
G	8	Holmstrup Arborvitae	Thuja occidentalis 'Holmstrup'		#5 Cont.	6	3	
H	8	Blue Muffin Arrowhead Viburnum	Viburnum Dentatum 'Christom'		#2 Cont.	4	4	
I	8	Mohican Viburnum	Viburnum Lantana 'Mohican'		24" Pot	6	6	
J	8	Red Prince Weigela	Weigela Florida 'Red Prince'		18" Pot	5	5	

DATE	BY	REVISION
07/19	SAW	
07/19	SIS	
07/19	SIS	
07/10/19		

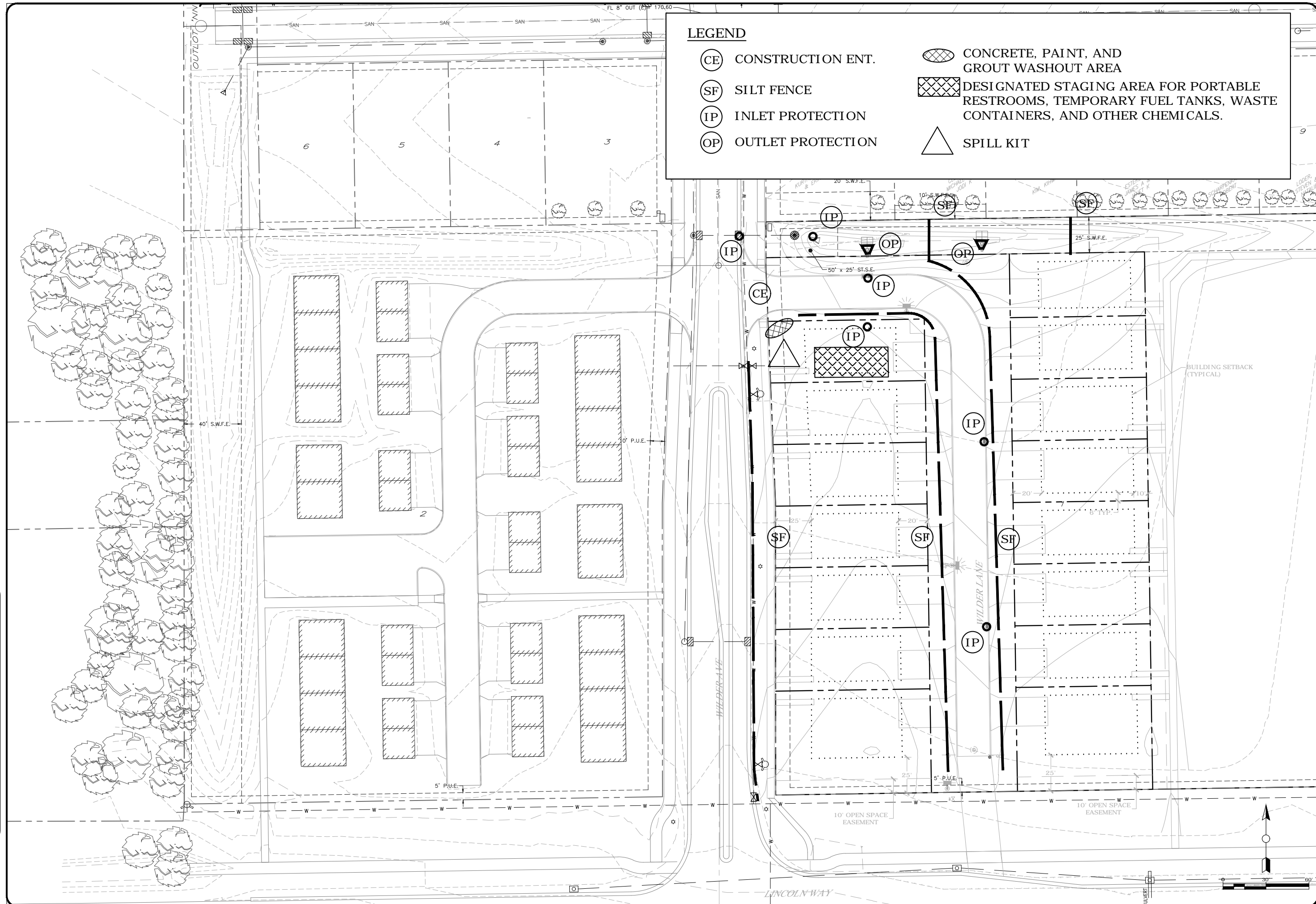
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 414 South 17th Street, Suite 107
 Ames, Iowa 50010
 Phone: (515) 233-0000
 FAX: (515) 233-0103

FOX Engineering

LANDSCAPING PLAN
 MAJOR SITE DEVELOPMENT PLAN
 SUNSET RIDGE SUBDIVISION
 9TH ADDITION
 AMES, IA

PROJECT NO.
 5345-19A
 SHEET
C5.0

DRAWING FILENAME
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PLOT STYLE TABLE
FoxGrayScale.ctb
LAYER MNGR NAME
LAYOUT NAME
CG.0



LEGEND

(CE)	CONSTRUCTION ENT.	(Hatched Circle)	CONCRETE, PAINT, AND GROUT WASHOUT AREA
(SF)	SILT FENCE	(Hatched Rectangle)	DESIGNATED STAGING AREA FOR PORTABLE RESTROOMS, TEMPORARY FUEL TANKS, WASTE CONTAINERS, AND OTHER CHEMICALS.
(IP)	INLET PROTECTION	(Triangle)	SPILL KIT
(OP)	OUTLET PROTECTION		

REVISION	DATE	BY	DATE
		DESIGNED: SAW	07/19
		DRAWN: SIS	07/19
		CHECKED:	
		LAST UPDATE:	07/10/19

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414 South 17th Street, Suite 107
Ames, Iowa 50010
Phone: (515) 233-0000
FAX: (515) 233-0103

FOX Engineering

STORM WATER POLLUTION PREVENTION PLAN
MAJOR SITE DEVELOPMENT PLAN
SUNSET RIDGE SUBDIVISION
9TH ADDITION
AMES, IA

PROJECT NO.
5345-19A

SHEET
C6.0

DATE	07/10
BY	SAW
DESIGNED	SIS
DRAWN	SIS
CHECKED	
LAST UPDATE	07/10/19

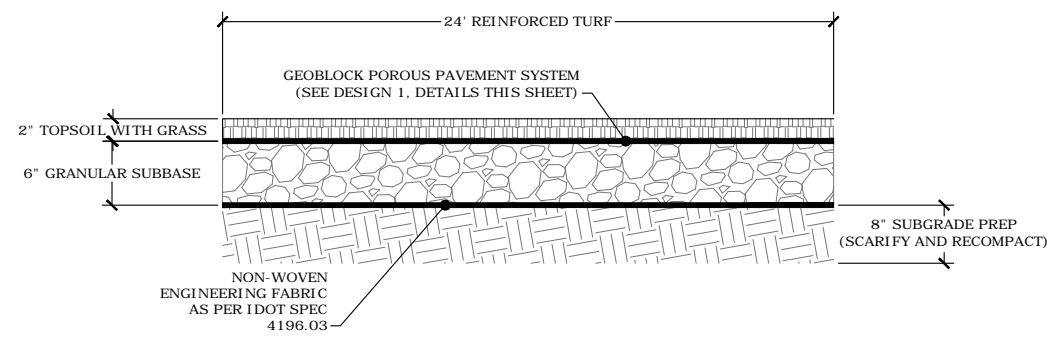
REVISION	
DATE	

FOX Engineering Associates, Inc.
 414 South 17th Street, Suite 107
 Ames, Iowa 50010
 Phone: (515) 233-0000
 FAX: (515) 233-0103

FOX Engineering

PROJECT NO.
5345-19A
 SHEET
C7.0

DRAWING FILENAME
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 LAYOUT NAME
C7.0
 PLOT STYLE TABLE
FoxGrayScale.ctb
 LAYER MGR NAME



1 SECONDARY EMERGENCY ACCESS CROSS SECTION
 NOT TO SCALE

TYPICAL LAYOUT - BRICKLAYER PATTERN

TYPICAL LAYOUT - HERRINGBONE PATTERN

GEOBLOCK 5150 MATERIAL SPECIFICATION	
MATERIAL	UP TO 97% RECYCLED POLYETHYLENE
COLOR	RANGES DARK SHADES GRAY TO BLACK
CHEMICAL RESISTANCE	SUPERIOR
CARBON BLACK FOR UV STABILIZATION, %	1.5 TO 2.0%
UNIT MIN CRUSH STRENGTH - EMPTY @ 70F (21C)	420 PSI (2,900 KPa)
UNIT MIN CRUSH STRENGTH - SAND FILLED @ 70F (21C)	7,058 PSI (48,734 KPa)
FLEXURAL MODULUS @ 73F (21C)	35,000 PSI (240,000 KPa)
NOMINAL DIMENSIONS - WIDTH X LENGTH	20 X 40 IN (0.5 X 1.0 M)
NOMINAL UNIT DEPTH	2 IN (50 MM)
NOMINAL AREA	5.3 SQFT (0.5 SOMTR)
CELLS PER UNIT	72
CELL SIZE	3.1 X 3.2 IN (79 X 81 MM)
TOP OPEN AREA PER UNIT	87%
BOTTOM OPEN AREA PER UNIT	41%
INTERLOCKING OFFSET SHEAR TRANSFER PINS	12 TABS PER 40 IN (PER 1 M)
NOMINAL WEIGHT PER UNIT	8.7 LBS (4.0 KG)
RUNOFF COEFFICIENT @ 2.5 IN/HR (64 MM) RAIN	0.15
UNITS PER PALLET	50

GEOBLOCK 5150 COMPONENTS

INTERLOCKING TABS (TYP)
 CELL WALL
 THE SUPPORT BASE

PRESTO PRODUCTS CO.
 670 NORTH PERKINS STREET
 APPLETON, WI 54914
 920-738-1342
 WWW.PRESTOGEO.COM

GEOBLOCK 5150 POROUS PAVEMENT SYSTEM

PRESTO, GEOSYSTEMS AND GEOBLOCK ARE REGISTERED TRADEMARKS OF PRESTO PRODUCTS.

DATE: NOVEMBER 2013 FILE NAME: GB5150A1.dwg
 SCALE: NTS SHEET: 1

DESIGN 1

DESIGN 2

DESIGN 3

DESIGN 4

DESIGN GUIDELINES		
LOAD DESCRIPTION	CBR 2 - 4%	CBR > 4%
Heavy Fire Truck Access & H/HS-20 loading. Typical 110 psi (758 kPa) tire pressure. Single axle loadings of 32 kips (145 kN), tandem axle loadings of 48 kips (220 kN). Gross vehicle weight of 80,000 lbs (36.3 MT). Infrequent passes.	Design 1 - 6" Base	Design 2 - 4" Base
Light Fire Truck Access & H/HS-15 loading. Typical 85 psi (586 kPa) tire pressure. Single axle loadings of 24 kips (110 kN). Gross vehicle loads of 60,000 lbs (27.2 MT). Infrequent passes.	Design 2 - 4" Base	Design 3 - 2" Base
Utility & Delivery Truck Access & H/HS-10 loading. Typical 60 psi (414 kPa) tire pressure. Single axle loadings of 16 kips (75 kN). Gross vehicle loads of 40,000 lbs (18.1 MT). Infrequent passes.	Design 3 - 2" Base	Design 3 - 2" Base
Cars & Pick-up Truck Access. Typical 45 psi (310 kPa) tire pressure. Single axle loadings of 4 kips (18 kN). Gross vehicle loads of 8,000 lbs (3.6 MT). Infrequent passes.	Design 4 - No Base	Design 4 - No Base
Traffic Use. Loading for pedestrian, wheelchair, equestrian, bicycle, motorcycle and ATV traffic.	Design 4 - No Base	Design 4 - No Base

Notes:

- CBR means California Bearing Ratio.
- Engineered base is a homogenous mixture consisting of crushed rock having an AASHTO # 5 or similar designation blended with pulverized topsoil and void component generally containing air and/or water. This homogenous mixture will promote vegetative growth and provide required structural support. The aggregate portion shall have a particle range from 9.5 mm to 25 mm (0.375 to 1.0 in) with a D50 of 13 mm (0.5 in). The percentage void-space of the aggregate portion when compacted shall be at least 30%. The pulverized topsoil portion shall equal 25% +/- of the total volume and be added and blended to produce a homogenous mixture prior to placement or washed into the in-place compacted aggregate. Once placed, the mixture shall be compacted to 95% Standard Proctor Density.
- Refer to the Geoblock 5150 Design and Construction Overview for a complete description of the design and construction methods.

PRESTO PRODUCTS CO.
 670 NORTH PERKINS STREET
 APPLETON, WI 54914
 920-738-1342
 WWW.PRESTOGEO.COM

GEOBLOCK 5150 POROUS PAVEMENT SYSTEM

PRESTO, GEOSYSTEMS AND GEOBLOCK ARE REGISTERED TRADEMARKS OF PRESTO PRODUCTS.

DATE: OCTOBER 2016 FILE NAME: GB5150B1.dwg
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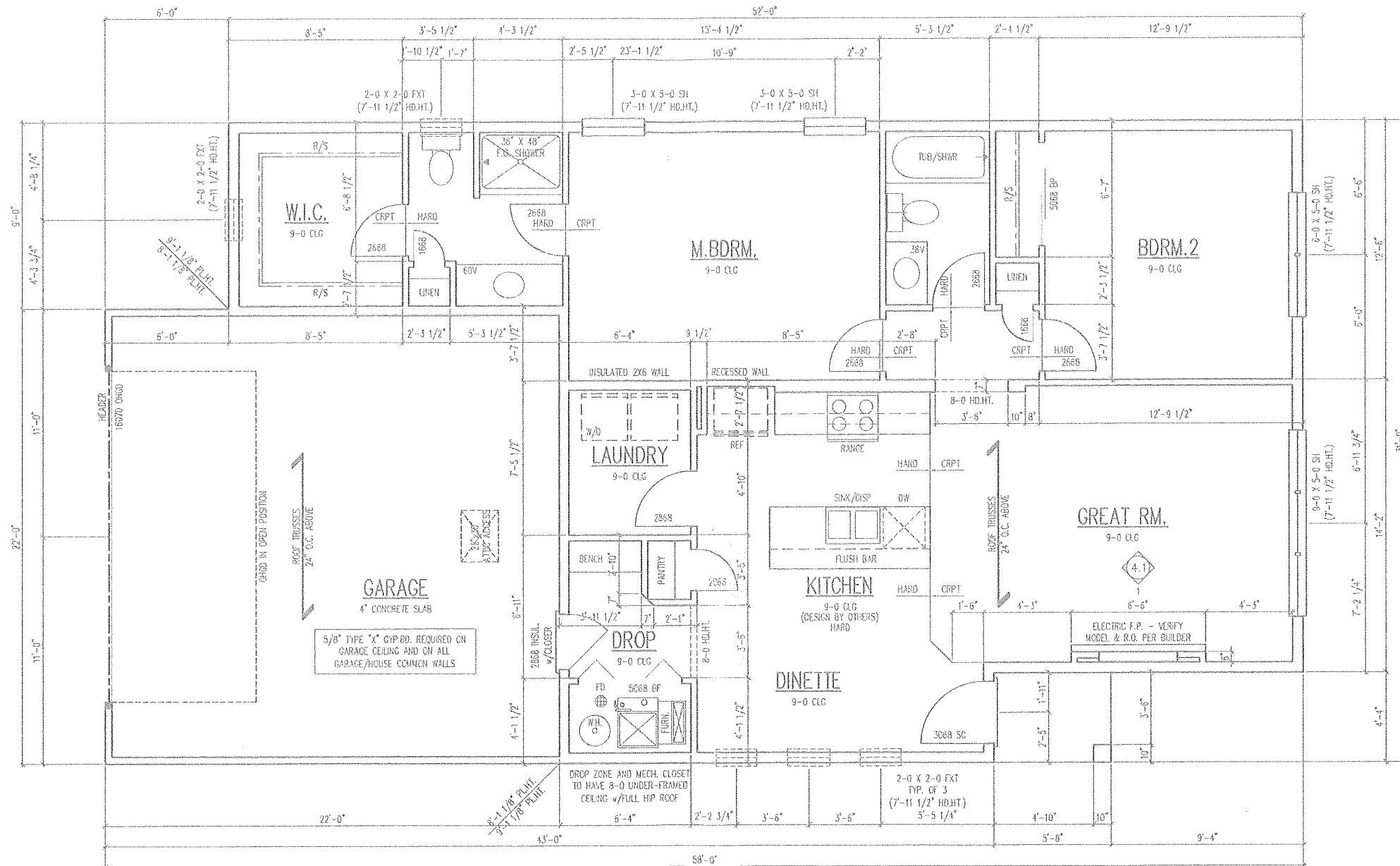
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JUL 11 2019

CITY OF AMES, IOWA
DEPT. OF PLANNING & HOUSING

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ALL STRUCTURE SHOWN IS SCHEMATIC ONLY AND TO BE DESIGNED AND ENGINEERED BY TRUSS MFGR. OR BY OTHERS
WINDOW SIZES SHOWN ON PLANS ARE NOMINAL SIZE - ACTUAL WINDOW ROUGH OPENING TO BE VERIFIED PER MFR.
ROUGH OPENINGS OF FIREPLACES SHOWN ON PLANS TO BE VERIFIED BY OTHERS AND ACUTE FLUES PER MFR.
CABINETS SHOWN ON PLANS TO BE DESIGNED BY OTHERS AND TO BE VERIFIED PER MFR.



THIS CERTIFICATE ISSUED UNDER THE SEAL OF THE COPYRIGHT OFFICE IN ACCORDANCE WITH TITLE 17, UNITED STATES CODE, ATTESTS THAT REGISTRATION HAS BEEN MADE FOR THE WORK IDENTIFIED BELOW. THE INFORMATION ON THIS CERTIFICATE HAS BEEN MADE A PART OF THE COPYRIGHT OFFICE RECORDS.
REGISTRATION NUMBER: ---



MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

AREA SCHEDULE	
1200 PLAN	
MAIN FLOOR FINISHED	1200
UPPER FLOOR FINISHED	N/A
TOTAL LIVING AREA	1200
MAIN FLOOR UNFINISHED	-
-	-
GARAGE	479
TOTAL ALL AREAS	1679

ALL EXTERIOR FRAME DIMENSIONS INCLUDE 1/2" THICK WALL SHEATHING
ADJUST PLACEMENT OF FRAMING MEMBERS AS REQUIRED TO PROVIDE REQUIRED CLEARANCE FOR PLUMBING AND MECHANICAL SYSTEMS
HOLD ALL DOOR AND WINDOW ROUGH OPENINGS 5" (MIN.) FROM INTERSECTING WALLS TO ALLOW FOR TRIM

ALL STRUCTURE AND BEAMS TO BE SIZED BY TRUSS MANUFACTURER OR OTHERS

THE OWNER AND/OR CONTRACTOR OF THIS PLAN RELEASES ALLER DESIGN GROUP LLC, ITS OFFICERS, EMPLOYEES AND EMPHILES FROM ANY CLAIMS OR DAMAGES (WHICH MAY ARISE DURING THE CONSTRUCTION OF THIS STRUCTURE OR ANY THEREAFTER, WHATSOEVER), ALLER DESIGN GROUP LLC, ITS OFFICERS, EMPHILES, AND EMPLOYEES DO NOT ACCEPT ANY LIABILITY FOR THE ACCURACY OR CORRECTNESS OF THESE DOCUMENTS. THEREFORE, THE OWNER AND/OR CONTRACTOR MUST CAREFULLY VERIFY ALL DIMENSIONS, STRUCTURE AND DETAILS IN THESE DOCUMENTS PRIOR TO CONSTRUCTION AND ASSUME RESPONSIBILITY FOR THE SAME.

ALLER design group

1840 NW 118th St. Suite 220
Clara, IA 50525
515.254.1161



1200 Plan A

SMART Series

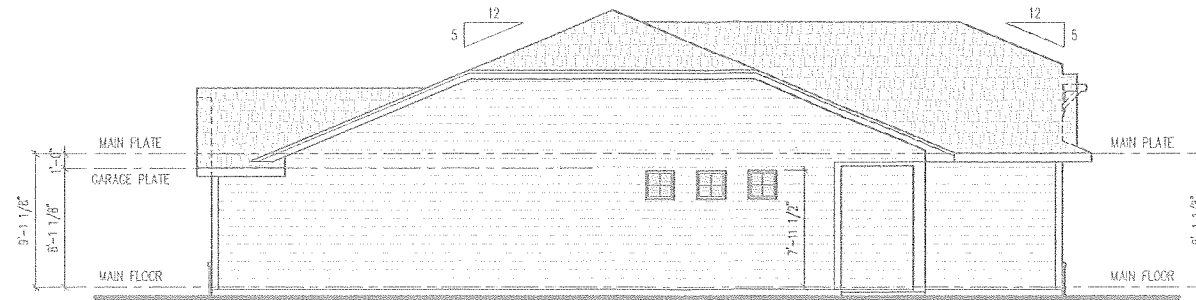
Address Required for Permit

Builder: Destiny Homes
(515) 216.1015

Project No.: 30200619
Date: 01.18.19
Drawn By: JA/SH
Revisions: 01.24.19
01.29.19

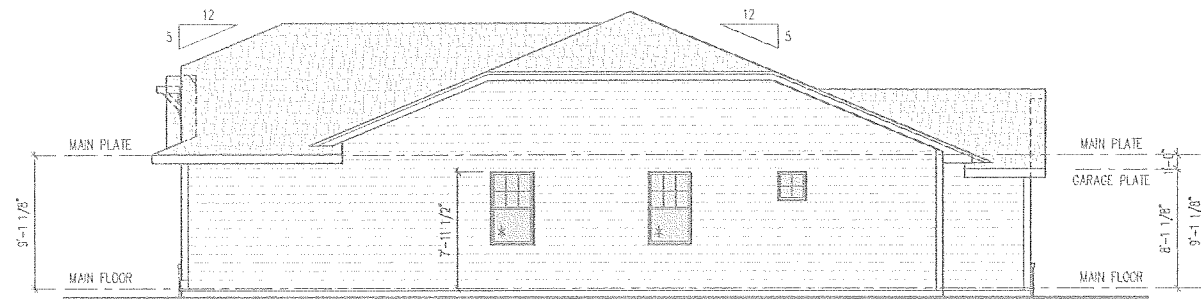
Sheet Title: MAIN FLOOR PLAN

Sheet No.: 2.1



LEFT ELEVATION

SCALE: 1/8"=1'-0"



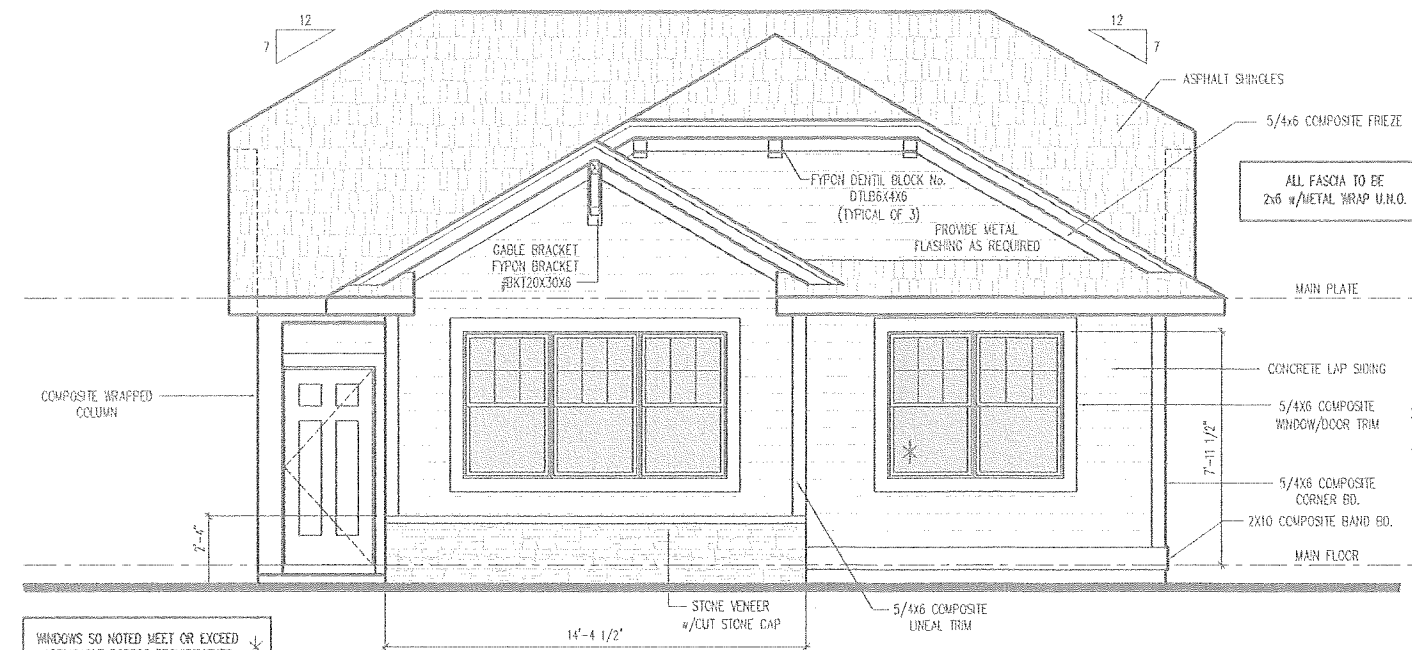
RIGHT ELEVATION

SCALE: 1/8"=1'-0"



REAR ELEVATION

SCALE: 1/8"=1'-0"



WINDOWS SO NOTED MEET OR EXCEED APPLICABLE EGRESS REQUIREMENTS *

WALL SHEATHING ON ALL ELEVATIONS SHALL BE 1/2" O.S.B., U.N.O.

FRONT ELEVATION

SCALE: 1/4"=1'-0"

TYPICAL NOTES:

- WIS-10A
1. TYPICAL CONSTRUCTION ASSEMBLIES:
 - A. ROOF CONSTRUCTION: COMPOSITION ROOF SHINGLES ON 30# FELT ON 1/2" OSB ROOF SHEATHING ON ROOF FRAMING MEMBERS AS NOTED ON FLOOR PLANS.
 - CEILING: FRAMED 16" O.C. = 1/2" GYPSUM BOARD. FRAMED 24" O.C. = 5/8" GYPSUM BOARD.
 - B. EXTERIOR SIDING WALL CONSTRUCTION: SIDING (AS NOTED ON ELEVATIONS) ON HOUSE WRAP ON EXTERIOR WALL SHEATHING AS NOTED BELOW: 1/2" OSB SHEATHING ON ALL ELEVATIONS, U.N.O. INTERIOR: 1/2" GYPSUM WALL BOARD.
 - C. EXTERIOR MASONRY WALL CONSTRUCTION: BRICK VENEER w/ MASONRY TIES 16" O.C. HORIZONTAL & VERTICAL OVER HOUSE WRAP ON 1/2" OSB WALL SHEATHING. INTERIOR: 1/2" GYPSUM BOARD.
 - D. BASEMENT AND GARAGE FLOOR CONSTRUCTION: 4" CONCRETE SLAB (MINIMUM) ON COMPACTED STRUCTURAL FILL.
 - E. FRAME FLOOR CONSTRUCTION: FINISH FLOORING (AS NOTED ON FLOOR PLANS) ON 3/4" FLOOR SHEATHING ON I-JOISTS ENGINEERED FLOOR SYSTEM, U.N.O. (SIZE AND SPACING AS NOTED ON FLOOR PLANS) MAIN FLOOR CEILING: 5/8" GYPSUM BOARD. FRAMED 24" O.C. = 5/8" GYPSUM BOARD. FRAMED 16" O.C. = 1/2" GYPSUM BOARD.
 2. WINDOWS
 - A. CASEMENT WINDOWS: WINDOW HINGE NOTED ON EXTERIOR ELEVATIONS NOTED ON PLANS AS CSMT.
 - B. SLIDING WINDOWS: NOTED ON PLANS AS SL.
 - C. SINGLE HUNG WINDOWS: NOTED ON PLANS AS SH.
 - D. DOUBLE HUNG WINDOWS: NOTED ON PLANS AS DH.
 3. DOORS
 - A. DOOR SIZES NOTED ON FLOOR PLANS IN FT./IN. TYPICAL HEAD HEIGHT FOR DOORS TO BE 6'-11"
 - A. WOOD JAMBS AND CASING: ROUGH OPENING FOR HINGED DOORS TO BE 2" WIDER THAN DOOR SIZE NOTED ON PLAN. BI-FOLDS DOORS TO BE 2 1/4" WIDER THAN DOOR SIZE NOTED ON PLANS. ROUGH OPENING FOR BI-PASS DOORS TO BE 1" WIDER THAN DOOR SIZE NOTED ON PLANS.
 - B. GYPSUM BOARD OPENING: ROUGH OPENING FOR BI-PASS DOORS TO BE SAME AS DOOR SIZE NOTED ON PLANS. ROUGH OPENING FOR BI-FOLD DOORS TO BE 1 1/4" WIDER THAN DOOR SIZE NOTED ON PLANS.

ALL EXTERIOR FRAME DIMENSIONS INCLUDE 1/2" TRICK WALL SHEATHING

ADJUST PLACEMENT OF FRAMING MEMBERS AS REQUIRED TO PROVIDE REQUIRED CLEARANCE FOR PLUMBING AND MECHANICAL SYSTEMS

HOLD ALL DOOR AND WINDOW ROUGH OPENINGS 5" (MIN.) FROM INTERSECTING WALLS TO ALLOW FOR TRIM

ALL STRUCTURE AND BEAMS TO BE SIZED BY TRUSS MANUFACTURER OR OTHERS

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ALLER design group

1840 NW 119th St, Suite 220
Circ. IA 50225
515.294.1191



1200 Plan A

SMART Series
Address Required for Permit

Builder: **Destiny Homes**
[515] 216.1015

Project No.: 30200619

Date: 01.18.19

Drawn By: JA/SH

Revisions: 01.24.19

01.29.19

Sheet Title: **EXTERIOR ELEVATIONS**

Sheet No.: **3.1**

S.M.A.R.T. Series of Row Homes



1200-A Plan

S.M.A.R.T. Series of Homes is a division of Destiny Homes LLC.
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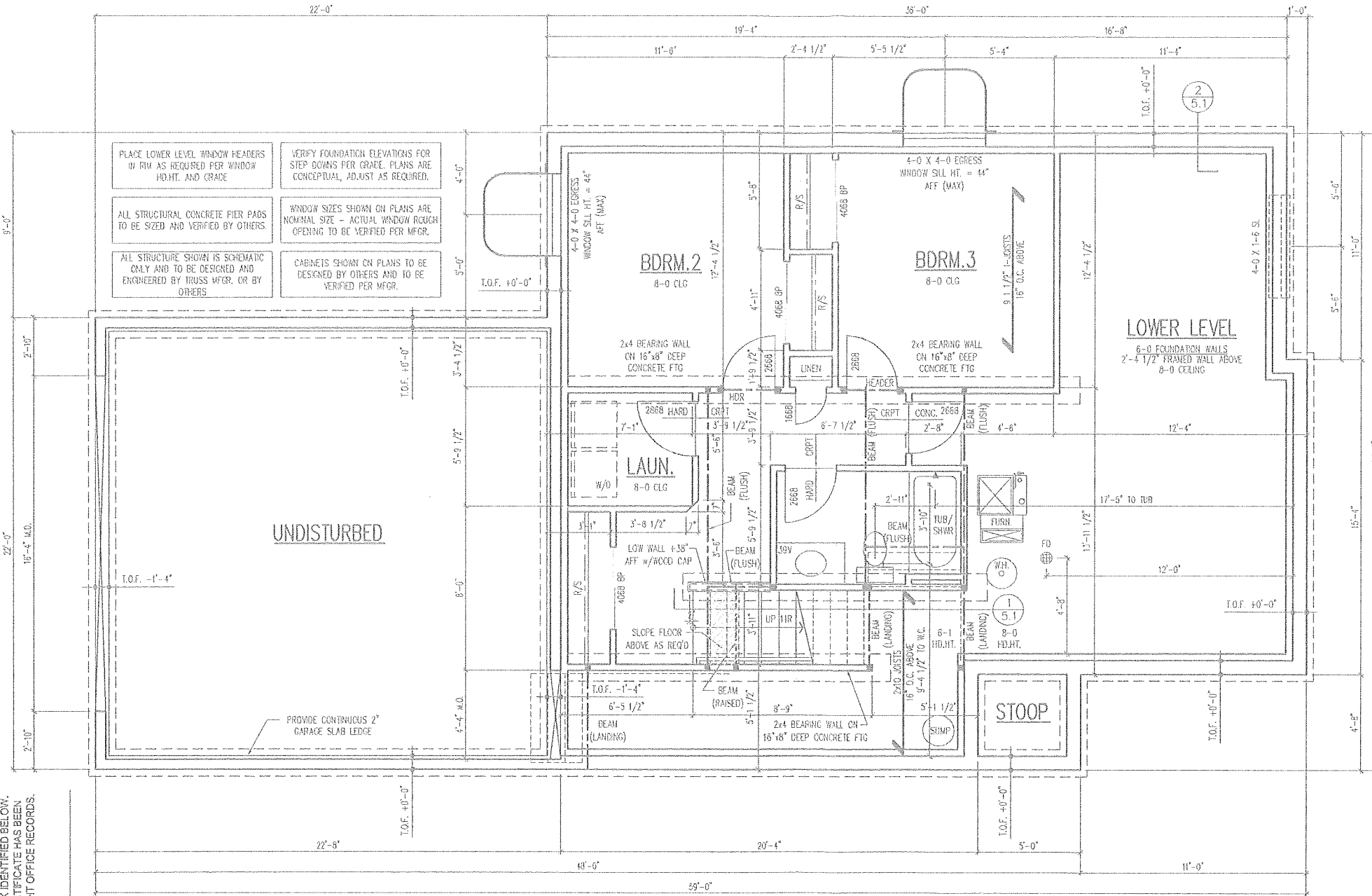
REGISTRATION NUMBER: --



NET FLATWORK AREA SCHEDULE	
1553 Plan	
BASEMENT AREA	972
GARAGE AREA	466
STOOP AREA	26
PATIO AREA	--
TOTAL NET AREA	1464

LOWER LEVEL PLAN

SCALE: 1/4"=1'-0"



TYPICAL NOTES:

- TYPICAL CONSTRUCTION ASSEMBLIES:
 - ROOF CONSTRUCTION: COMPOSITION ROOF SHINGLES ON 30# FELT ON 1/2" OSB ROOF SHEATHING ON ROOF FRAMING MEMBERS AS NOTED ON FLOOR PLANS.
 - CEILING: FRAMED 16" O.C. = 1/2" GYPSUM BOARD. FRAMED 24" O.C. = 5/8" GYPSUM BOARD.
 - EXTERIOR SIDING WALL CONSTRUCTION: SIDING (AS NOTED ON ELEVATIONS) ON HOUSE WRAP ON EXTERIOR WALL SHEATHING AS NOTED BELOW: 1/2" OSB SHEATHING ON ALL ELEVATIONS, U.N.D. INTERIOR: 1/2" GYPSUM WALL BOARD.
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 - BASEMENT AND GARAGE FLOOR CONSTRUCTION: 4" CONCRETE SLAB (MINIMUM) ON COMPACTED STRUCTURAL FILL.
 - FRAME FLOOR CONSTRUCTION: FINISH FLOORING (AS NOTED ON FLOOR PLANS) ON 3/4" FLOOR SHEATHING ON I-JOISTS ENGINEERED FLOOR SYSTEM, U.N.D. (SIZE AND SPACING AS NOTED ON FLOOR PLANS) MAIN FLOOR CEILING: 5/8" GYPSUM BOARD. FRAMED 24" O.C. : 5/8" GYPSUM BOARD. FRAMED 16" O.C. : 1/2" GYPSUM BOARD.
- WINDOWS:
 - ROUGH OPENING OF WINDOW TO BE NOTED IN FT./IN. ON FLOOR PLANS, U.N.D. TYPICAL HEAD HEIGHT FOR WINDOWS TO BE 6'-11 1/2" UNLESS NOTED OTHERWISE ON DRAWINGS.
 - CASEMENT WINDOWS: WINDOW HINGE NOTED ON EXTERIOR ELEVATIONS. NOTED ON PLANS AS CSMT.
 - SLIDING WINDOWS: NOTED ON PLANS AS SL.
 - SINGLE HUNG WINDOWS: NOTED ON PLANS AS SH.
 - DOUBLE HUNG WINDOWS: NOTED ON PLANS AS DH.
- DOORS:
 - DOOR SIZES NOTED ON FLOOR PLANS IN FT./IN. TYPICAL HEAD HEIGHT FOR DOORS TO BE 6'-11"
 - WOOD JAMBS AND CASING: ROUGH OPENING FOR HINGED DOORS TO BE 2" WIDER THAN DOOR SIZE NOTED ON PLAN. BI-FOLDS DOORS TO BE 2 1/4" WIDER THAN DOOR SIZE NOTED ON PLANS. ROUGH OPENING FOR BI-PASS DOORS TO BE 1" WIDER THAN DOOR SIZE NOTED ON PLANS.
 - GYPSUM BOARD OPENING: ROUGH OPENING FOR BI-PASS DOORS TO BE SAME AS DOOR SIZE NOTED ON PLANS. ROUGH OPENING FOR BI-FOLD DOORS TO BE 1 1/4" WIDER THAN DOOR SIZE NOTED ON PLANS.

AREA SCHEDULE	
1553 Plan - Row House	
LOWER LIVING AREA	535
UPPER LIVING AREA	1018
TOTAL LIVING AREA	1553
LOWER LEVEL UNFINISHED	512
TOTAL	2065
GARAGE	526
TOTAL ALL AREAS	2591

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- ALL EXTERIOR FRAME DIMENSIONS INCLUDE 1/2" THICK WALL SHEATHING
- ADJUST PLACEMENT OF FRAMING MEMBERS AS REQUIRED TO PROVIDE REQUIRED CLEARANCE FOR PLUMBING AND MECHANICAL SYSTEMS
- HOLD ALL DOOR AND WINDOW ROUGH OPENINGS 5" (MIN.) FROM INTERSECTING WALLS TO ALLOW FOR TRIM

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1553 Plan A

SMART Series

Address Required for Permit

Builder: **Destiny Homes**
(515) 216.1015

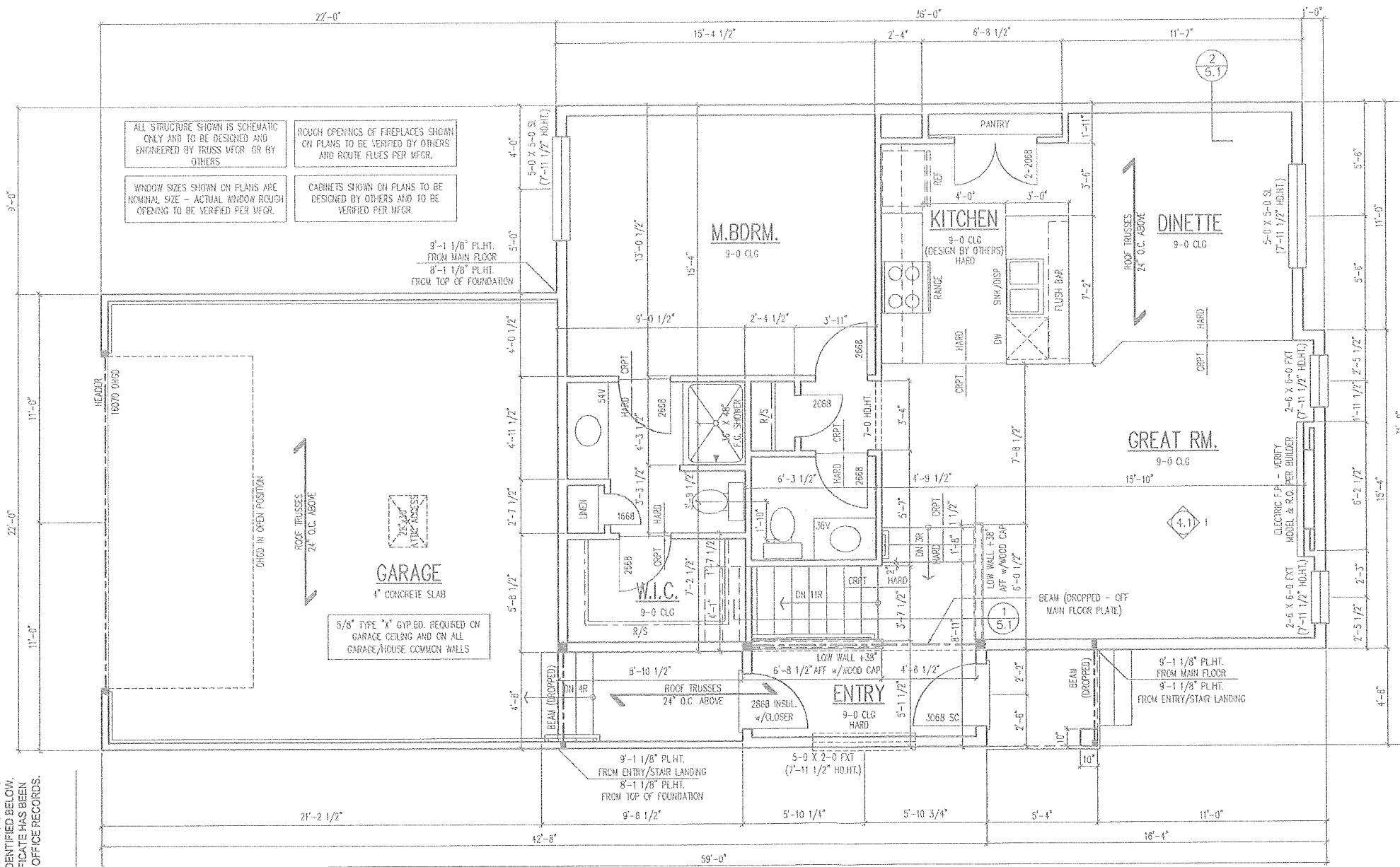
Project No.: 30209018
Date: 05.04.18
Drawn By: JA/SH
Revisions: 08.29.18

Sheet Title: LOWER LEVEL PLAN

Sheet No.: 1.1

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REGISTRATION NUMBER: ---



TYPICAL NOTES:

1. TYPICAL CONSTRUCTION ASSEMBLIES:
 - A. ROOF CONSTRUCTION: COMPOSITION ROOF SHINGLES ON 30# FELT ON 1/2" OSB ROOF SHEATHING ON ROOF FRAMING MEMBERS AS NOTED ON FLOOR PLANS.
 - CEILING: FRAMED 16" O.C. = 1/2" GYPSUM BOARD. FRAMED 24" O.C. = 5/8" GYPSUM BOARD.
 - B. EXTERIOR SIDING WALL CONSTRUCTION: SIDING (AS NOTED ON ELEVATIONS) ON HOUSE WRAP ON EXTERIOR WALL SHEATHING AS NOTED BELOW: 1/2" OSB SHEATHING ON ALL ELEVATIONS, U.N.O. INTERIOR: 1/2" GYPSUM WALL BOARD.
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 - E. FRAME FLOOR CONSTRUCTION: FINISH FLOORING (AS NOTED ON FLOOR PLANS) ON 3/4" FLOOR SHEATHING ON 1-2X6S ENGINEERED FLOOR SYSTEM, U.N.O. (SIZE AND SPACING AS NOTED ON FLOOR PLANS) MAIN FLOOR CEILING: 5/8" GYPSUM BOARD. FRAMED 24" O.C. = 5/8" GYPSUM BOARD. FRAMED 16" O.C. = 1/2" GYPSUM BOARD.
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3. DOORS:
 - A. WOOD JAMBS AND CASING: ROUGH OPENING FOR HINGED DOORS TO BE 2" WIDER THAN DOOR SIZE NOTED ON PLAN. BI-FOLDS DOORS TO BE 2 1/4" WIDER THAN DOOR SIZE NOTED ON PLANS. ROUGH OPENING FOR BI-PASS DOORS TO BE 1" WIDER THAN DOOR SIZE NOTED ON PLANS.
 - B. GYPSUM BOARD OPENING: ROUGH OPENING FOR BI-PASS DOORS TO BE SAME AS DOOR SIZE NOTED ON PLANS. ROUGH OPENING FOR BI-FOLD DOORS TO BE 1 1/4" WIDER THAN DOOR SIZE NOTED ON PLANS.

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1553 Plan A

SMART Series

Address Required for Permit

Builder: **Destiny Homes**
[515] 216.1015

Project No.: 30209018
Date: 05.04.18
Drawn By: JA/SH
Revisions: 08.29.18

Sheet Title:
UPPER LEVEL PLAN

Sheet No.:

2.1

- ALL EXTERIOR FRAME DIMENSIONS INCLUDE 1/2" THICK WALL SHEATHING
- ADJUST PLACEMENT OF FRAMING MEMBERS AS REQUIRED TO PROVIDE REQUIRED CLEARANCE FOR PLUMBING AND MECHANICAL SYSTEMS
- HOLD ALL DOOR AND WINDOW ROUGH OPENINGS 5" (MIN.) FROM INTERSECTING WALLS TO ALLOW FOR TRIM

AREA SCHEDULE	
1553 Plan - Row House	
LOWER LIVING AREA	535
UPPER LIVING AREA	1018
TOTAL LIVING AREA	1553
LOWER LEVEL UNFINISHED	512
TOTAL	2065
GARAGE	526
TOTAL ALL AREAS	2591

ALL STRUCTURE AND BEAMS TO BE SIZED BY TRUSS MANUFACTURER OR OTHERS

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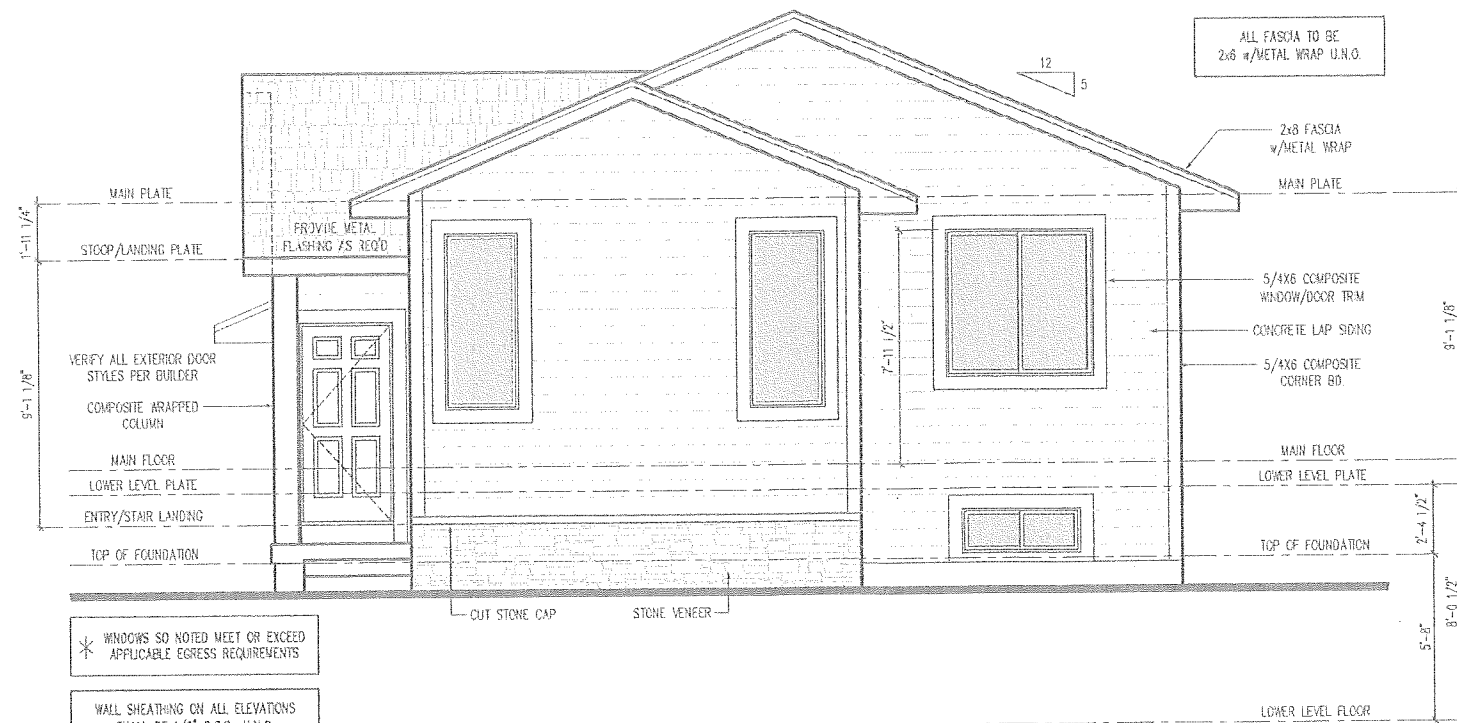
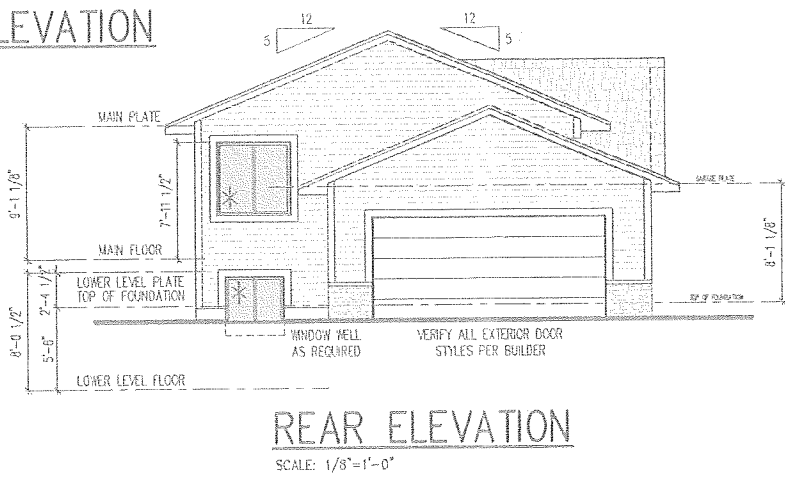
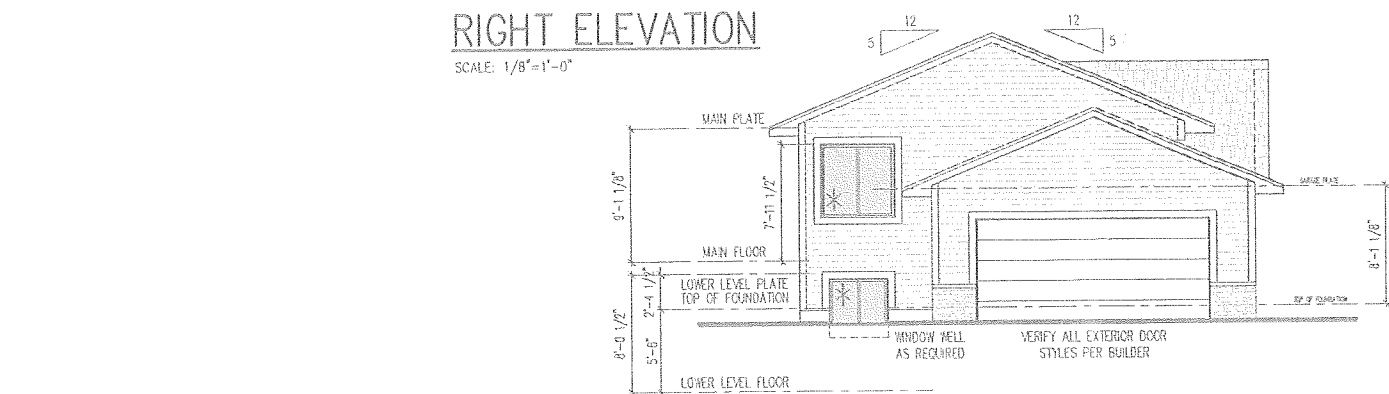
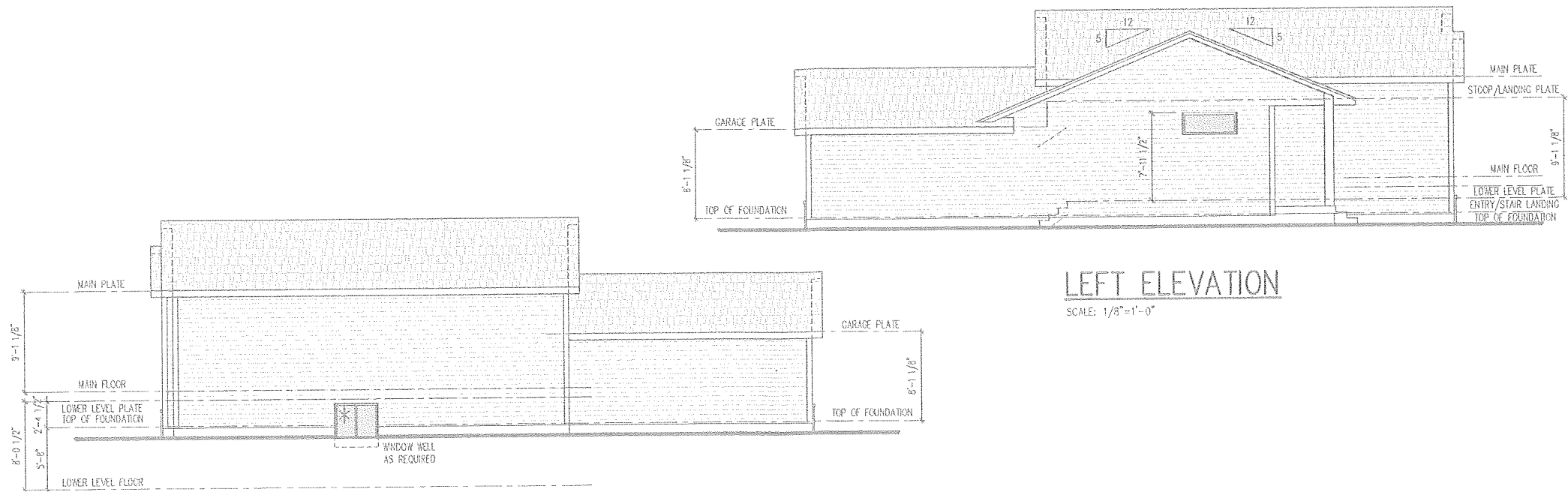
UPPER LEVEL PLAN

SCALE: 1/4"=1'-0"

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REGISTRATION NUMBER: ---



* WINDOWS SO NOTED MEET OR EXCEED APPLICABLE EGRESS REQUIREMENTS

WALL SHEATHING ON ALL ELEVATIONS SHALL BE 1/2" O.S.B., U.N.O.

ALL FASCIA TO BE 2x6 w/METAL WRAP U.N.O.

ALL EXTERIOR FRAME DIMENSIONS INCLUDE 1/2" THICK WALL SHEATHING

ADJUST PLACEMENT OF FRAMING MEMBERS AS REQUIRED TO PROVIDE REQUIRED CLEARANCE FOR PLUMBING AND MECHANICAL SYSTEMS

HOLD ALL DOOR AND WINDOW ROUGH OPENINGS 5" (MIN.) FROM INTERSECTING WALLS TO ALLOW FOR TRIM

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 Chicago, IL 60625
 515.254.1151



1553 Plan A

SMART Series
 Address Required for Permit

Builder:
Destiny Homes
 [515] 216.1015

Project No.: 30209018
 Date: 05.04.18
 Drawn By: JA/SH
 Revisions: 08.29.18

Sheet Title:
 EXTERIOR ELEVATIONS

Sheet No.:
 3.1

S.M.A.R.T. Series of Row Homes



S.M.A.R.T. Series of Row Homes



S.M.A.R.T. Series of Row Homes



1553-A Plan

S.M.A.R.T. Series of Homes is a division of Destiny Homes LLC.
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1553-B Plan

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1553-C Plan

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PLACE LOWER LEVEL WINDOW HEADERS IN RIM AS REQUIRED PER WINDOW HGT. AND GRADE

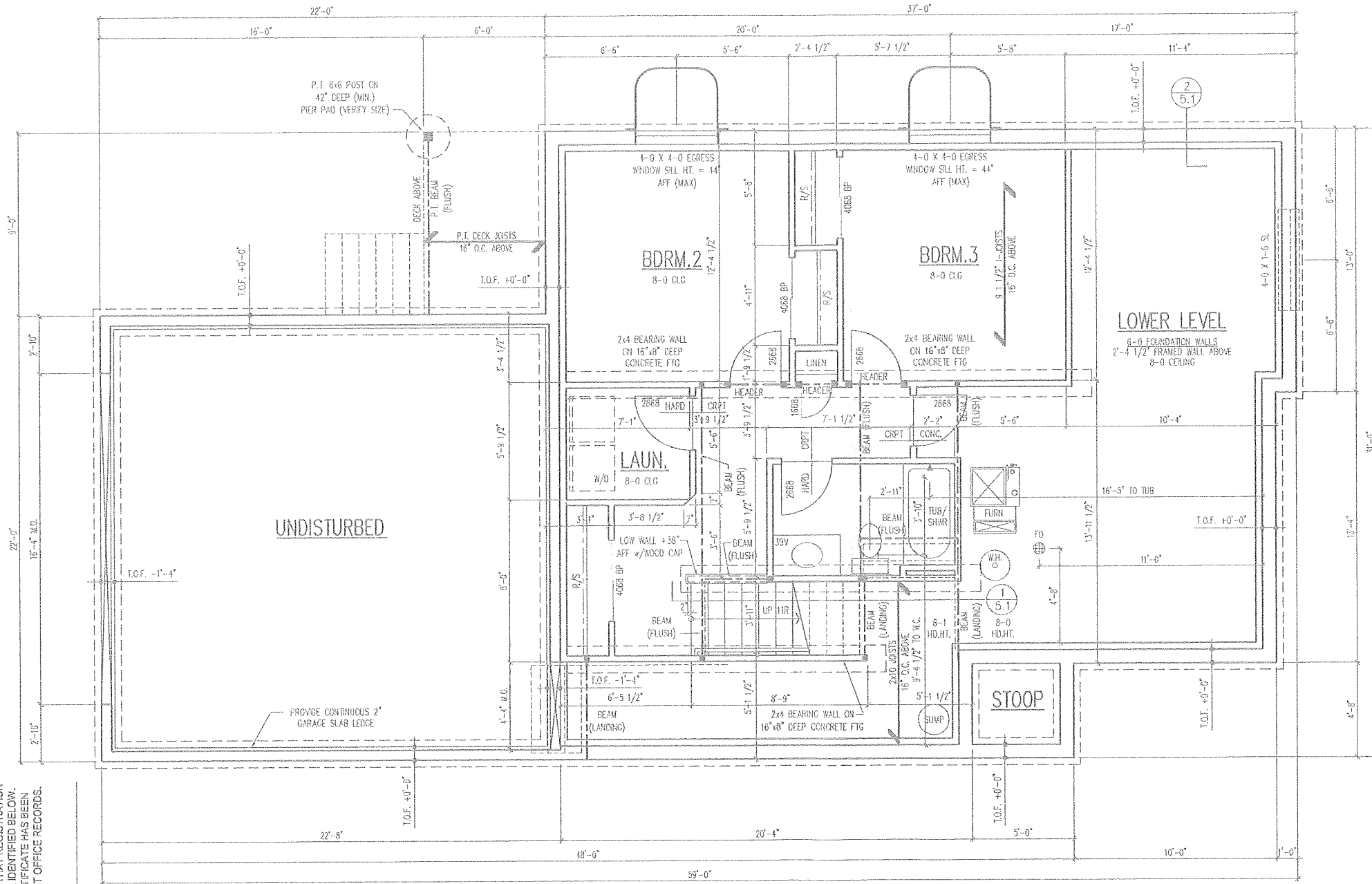
ALL STRUCTURE SHOWN IS SCHEMATIC ONLY AND TO BE DESIGNED AND ENGINEERED BY TRUSS MFR. OR BY OTHERS

WINDOW SIZES SHOWN ON PLANS ARE NOMINAL SIZE - ACTUAL WINDOW ROUGH OPENING TO BE VERIFIED PER MFR.

ALL STRUCTURAL CONCRETE PIER PADS TO BE SIZED AND VERIFIED BY OTHERS.

VERIFY FOUNDATION ELEVATIONS FOR STEP DOANS PER GRADE. PLANS ARE CONCEPTUAL, ADJUST AS REQUIRED.

CABINETS SHOWN ON PLANS TO BE DESIGNED BY OTHERS AND TO BE VERIFIED PER MFR.



TYPICAL NOTES:

1. TYPICAL CONSTRUCTION ASSEMBLIES:
 - A. ROOF CONSTRUCTION: COMPOSITION ROOF SHINGLES ON 30# FELT ON 1/2" OSB ROOF SHEATHING ON ROOF FRAMING MEMBERS AS NOTED ON FLOOR PLANS.
 - CEILING: FRAMED 16" O.C. = 1/2" GYPSUM BOARD. FRAMED 24" O.C. = 5/8" GYPSUM BOARD.
 - B. EXTERIOR SIDING WALL CONSTRUCTION: SIDING (AS NOTED ON ELEVATIONS) ON HOUSE WRAP ON EXTERIOR WALL SHEATHING AS NOTED BELOW: 1/2" OSB SHEATHING ON ALL ELEVATIONS, U.N.O. INTERIOR: 1/2" GYPSUM WALL BOARD.
 - C. EXTERIOR MASONRY WALL CONSTRUCTION: BRICK VENEER w/ MASONRY TIES 16" O.C. HORIZONTAL & VERTICAL OVER HOUSE WRAP ON 1/2" OSB WALL SHEATHING. INTERIOR: 1/2" GYPSUM BOARD.
 - D. BASEMENT AND GARAGE FLOOR CONSTRUCTION: 4" CONCRETE SLAB (MINIMUM) ON COMPACTED STRUCTURAL FILL.
 - E. FRAME FLOOR CONSTRUCTION: FINISH FLOORING (AS NOTED ON FLOOR PLANS) ON 3/4" FLOOR SHEATHING ON 1-AXIS ENGINEERED FLOOR SYSTEM, U.N.O. (SIZE AND SPACING AS NOTED ON FLOOR PLANS) MAIN FLOOR CEILING: 5/8" GYPSUM BOARD. FRAMED 24" O.C. : 5/8" GYPSUM BOARD. FRAMED 16" O.C. : 1/2" GYPSUM BOARD.
2. WINDOWS:
 - A. CASSEMENT WINDOWS: WINDOW HINGE NOTED ON EXTERIOR ELEVATIONS. NOTED ON PLANS AS CSMT
 - B. SLIDING WINDOWS: NOTED ON PLANS AS SL
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 - D. DOUBLE HUNG WINDOWS: NOTED ON PLANS AS DH
3. DOORS:
 - A. WOOD JAMBS AND CASING: ROUGH OPENING FOR HINGED DOORS TO BE 2" WIDER THAN DOOR SIZE NOTED ON PLAN, BI-FOLDS DOORS TO BE 2 1/4" WIDER THAN DOOR SIZE NOTED ON PLANS. ROUGH OPENING FOR BI-PASS DOORS TO BE 1" WIDER THAN DOOR SIZE NOTED ON PLANS.
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REGISTRATION NUMBER: --



LOWER LEVEL PLAN
SCALE: 1/4"=1'-0"

AREA SCHEDULE	
1558 Plan - Row House	
LOWER LIVING AREA	535
UPPER LIVING AREA	1023
TOTAL LIVING AREA	1558
LOWER LEVEL UNFINISHED	512
TOTAL	2070
GARAGE	526
TOTAL ALL AREAS	2596

ALL STRUCTURE AND BEAMS TO BE SIZED BY TRUSS MANUFACTURER OR OTHERS

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ALL EXTERIOR FRAME DIMENSIONS INCLUDE 1/2" THICK WALL SHEATHING

ADJUST PLACEMENT OF FRAMING MEMBERS AS REQUIRED TO PROVIDE REQUIRED CLEARANCE FOR PLUMBING AND MECHANICAL SYSTEMS

HOLD ALL DOOR AND WINDOW ROUGH OPENINGS 5" (MIN.) FROM INTERSECTING WALLS TO ALLOW FOR TRIM

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1558 Plan B

SMART Series

Address Required for Permit

Builder: **Destiny Homes**
[515] 216.1015

Project No.: 30209118
Date: 05.04.18
Drawn By: JA/SH
Revisions: 08.31.18

Sheet Title:
LOWER LEVEL PLAN

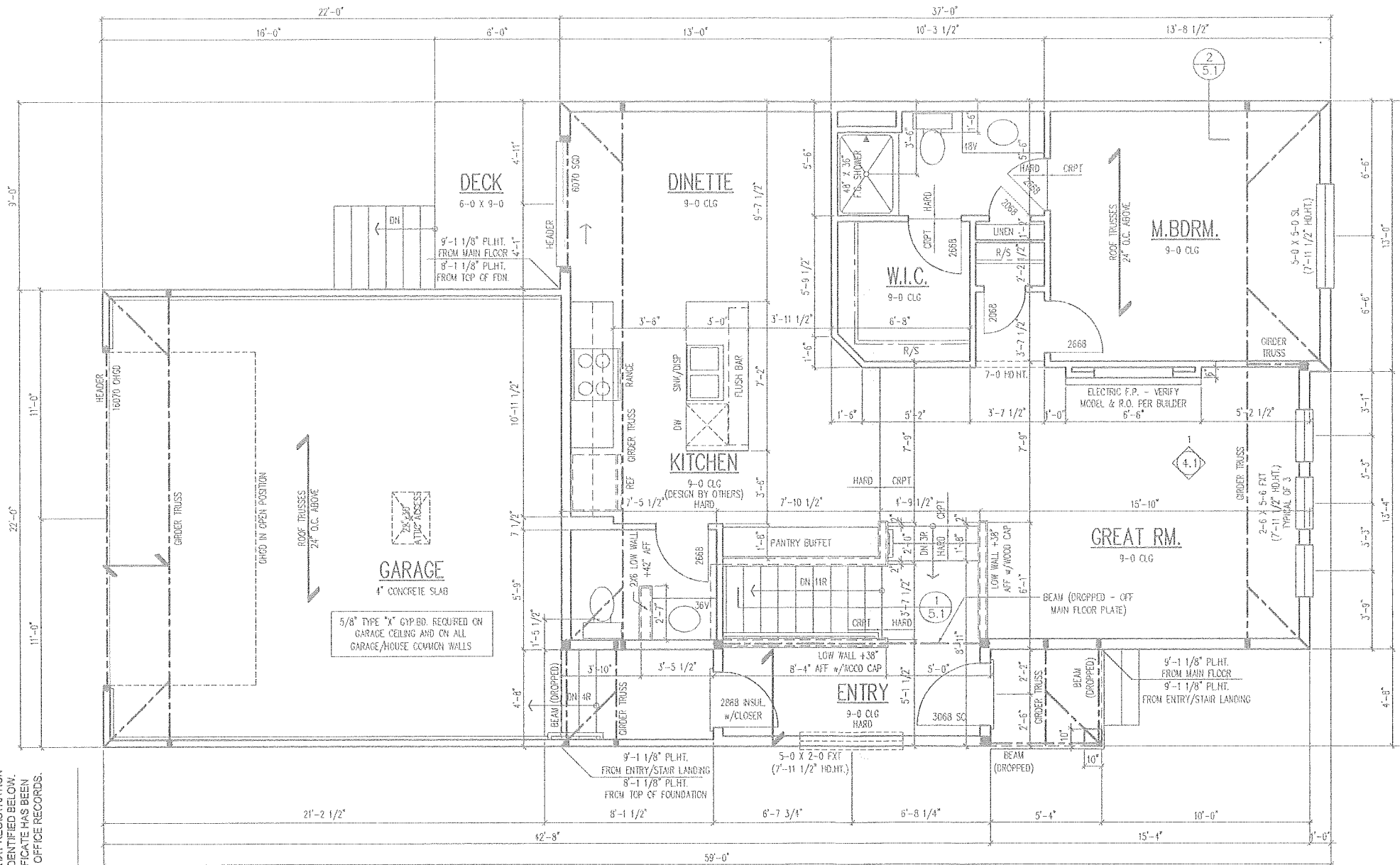
Sheet No.: 1.1

ROUGH OPENINGS OF FIREPLACES SHOWN ON PLANS TO BE VERIFIED BY OTHERS AND ROUTE FLUES PER MFGR.

ALL STRUCTURE SHOWN IS SCHEMATIC ONLY AND TO BE DESIGNED AND ENGINEERED BY TRUSS MFR. OR BY OTHERS.

CABINETS SHOWN ON PLANS TO BE DESIGNED BY OTHERS AND TO BE VERIFIED PER MFGR.

WINDOW SIZES SHOWN ON PLANS ARE NOMINAL SIZE - ACTUAL WINDOW ROUGH OPENING TO BE VERIFIED PER MFGR.



TYPICAL NOTES:

1. TYPICAL CONSTRUCTION ASSEMBLIES:
 - A. ROOF CONSTRUCTION: COMPOSITION ROOF SHINGLES ON 30# FELT ON 1/2" OSB ROOF SHEATHING ON ROOF FRAMING MEMBERS AS NOTED ON FLOOR PLANS.
 - CEILING: FRAMED 16" O.C. = 1/2" GYPSUM BOARD. FRAMED 24" O.C. = 5/8" GYPSUM BOARD.
 - B. EXTERIOR SIDING WALL CONSTRUCTION: SIDING (AS NOTED ON ELEVATIONS) ON HOUSE WRAP ON EXTERIOR WALL SHEATHING AS NOTED BELOW: 1/2" OSB SHEATHING ON ALL ELEVATIONS, U.N.O.
 - INTERIOR: 1/2" GYPSUM WALL BOARD.
 - C. EXTERIOR MASCHRY WALL CONSTRUCTION: BRICK VENEER w/ MASONRY RES 16" O.C. HORIZONTAL & VERTICAL OVER HOUSE WRAP ON 1/2" OSB WALL SHEATHING. INTERIOR: 1/2" GYPSUM BOARD.
 - D. BASEMENT AND GARAGE FLOOR CONSTRUCTION: 4" CONCRETE SLAB (MINIMUM) ON COMPACTED STRUCTURAL FILL.
 - E. FRAME FLOOR CONSTRUCTION: FINISH FLOORING (AS NOTED ON FLOOR PLANS) ON 3/4" FLOOR SHEATHING ON I-JOISTS ENGINEERED FLOOR SYSTEM, U.N.O. (SIZE AND SPACING AS NOTED ON FLOOR PLANS).
 - MAIN FLOOR CEILING: 5/8" GYPSUM BOARD. FRAMED 24" O.C. = 5/8" GYPSUM BOARD. FRAMED 16" O.C. = 1/2" GYPSUM BOARD.
2. WINDOWS
 - ROUGH OPENING OF WINDOW TO BE NOTED IN FT./IN. ON FLOOR PLANS, U.N.O.
 - TYPICAL HEAD HEIGHT FOR WINDOWS TO BE 6'-11 1/2" UNLESS NOTED OTHERWISE ON DRAWINGS.
 - A. CASEMENT WINDOWS: WINDOW HINGE NOTED ON EXTERIOR ELEVATIONS. NOTED ON PLANS AS CSMT.
 - B. SLIDING WINDOWS: NOTED ON PLANS AS SL.
 - C. SINGLE HUNG WINDOWS: NOTED ON PLANS AS SH.
 - D. DOUBLE HUNG WINDOWS: NOTED ON PLANS AS DH.
3. DOORS
 - DOOR SIZES NOTED ON FLOOR PLANS IN FT./IN. TYPICAL HEAD HEIGHT FOR DOORS TO BE 6'-11"
 - A. WOOD JAMBS AND CASING: ROUGH OPENING FOR HINGED DOORS TO BE 2" WIDER THAN DOOR SIZE NOTED ON PLAN. BI-FOLDS DOORS TO BE 2 1/4" WIDER THAN DOOR SIZE NOTED ON PLANS. ROUGH OPENING FOR BI-PASS DOORS TO BE 1" WIDER THAN DOOR SIZE NOTED ON PLANS.
 - B. GYPSUM BOARD OPENING: ROUGH OPENING FOR BI-PASS DOORS TO BE SAME AS DOOR SIZE NOTED ON PLANS. ROUGH OPENING FOR BI-FOLD DOORS TO BE 1 1/4" WIDER THAN DOOR SIZE NOTED ON PLANS.

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REGISTRATION NUMBER: ---



UPPER LEVEL PLAN

SCALE: 1/4"=1'-0"

AREA SCHEDULE	
1558 Plan - Row House	
LOWER LIVING AREA	535
UPPER LIVING AREA	1023
TOTAL LIVING AREA	1558
LOWER LEVEL UNFINISHED	512
TOTAL	2070
GARAGE	526
TOTAL ALL AREAS	2596

ALL STRUCTURE AND BEAMS TO BE SIZED BY TRUSS MANUFACTURER OR OTHERS

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1558 Plan B

SMART Series

Address Required for Permit

Builder: **Destiny Homes**
[515] 216.1015

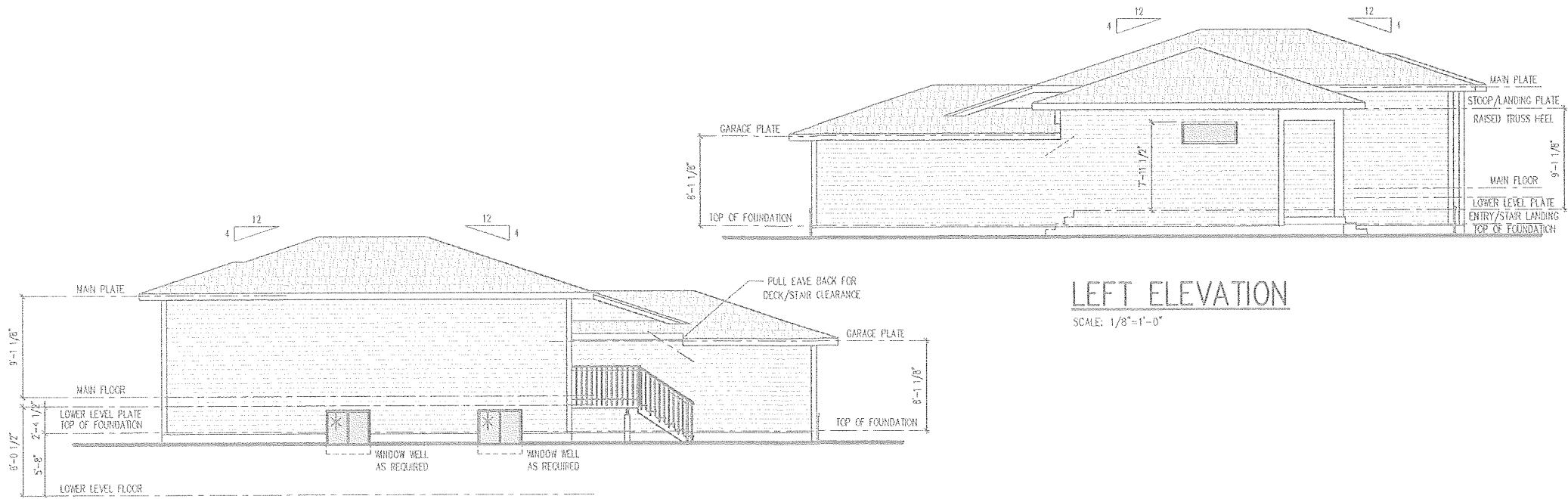
Project No.: 30209118
Date: 05.04.18
Drawn By: JA/SH
Revisions: 08.31.18

Sheet Title:
UPPER LEVEL PLAN

Sheet No.: 2.1

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REGISTRATION NUMBER: --

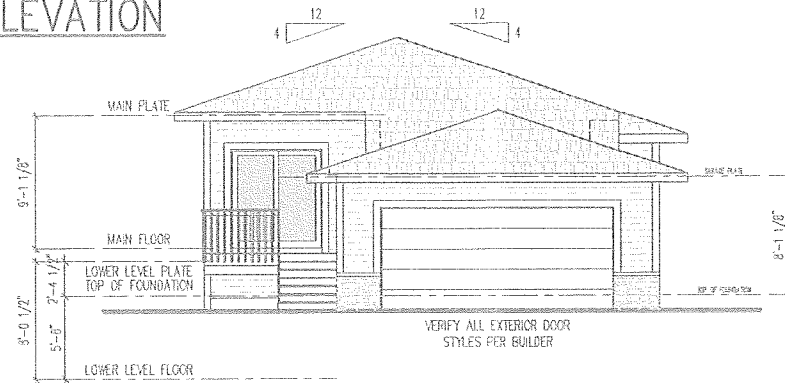


LEFT ELEVATION

SCALE: 1/8"=1'-0"

RIGHT ELEVATION

SCALE: 1/8"=1'-0"



REAR ELEVATION

SCALE: 1/8"=1'-0"



FRONT ELEVATION

SCALE: 1/4"=1'-0"

ALL FASCIA TO BE
2x8 w/METAL WRAP U.N.O.

ALL EXTERIOR FRAME
DIMENSIONS INCLUDE 1/2"
THICK WALL SHEATHING

ADJUST PLACEMENT OF FRAMING
MEMBERS AS REQUIRED TO PROVIDE
REQUIRED CLEARANCE FOR PLUMBING
AND MECHANICAL SYSTEMS

HOLD ALL DOOR AND WINDOW ROUGH
OPENINGS 5" (MIN.) FROM INTERSECTING
WALLS TO ALLOW FOR TRIM

ALL STRUCTURE AND BEAMS TO BE
SIZED BY TRUSS MANUFACTURER OR OTHERS

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1640 NW 119th St, Suite 220
Clond, IA 50225
515.254.1191



1558 Plan B

SMART Series

Address Required for Permit

Builder:

Destiny Homes

(515) 216.1015

Project No.: 30209118

Date: 05.04.18

Drawn By: JA/SH

Revisions: 08.31.18

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Sheet Title:

EXTERIOR ELEVATIONS

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Sheet No.:

3.1

S.M.A.R.T. Series of Row Homes



S.M.A.R.T. Series of Row Homes



S.M.A.R.T. Series of Row Homes



1558-A Plan

S.M.A.R.T. Series of Homes is a division of Destiny Homes LLC.
**All elevations and floorplans are for illustration purposes only. All representations, dimensions and specifications may vary from those depicted and are subject to revision, change and/or substitution without notice.

1558-B Plan

S.M.A.R.T. Series of Homes is a division of Destiny Homes LLC.
**All elevations and floorplans are for illustration purposes only. All representations, dimensions and specifications may vary from those depicted and are subject to revision, change and/or substitution without notice.

1558-C Plan

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PLACE LOWER LEVEL WINDOW HEADERS IN RIM AS REQUIRED PER WINDOW HD.HT. AND GRADE

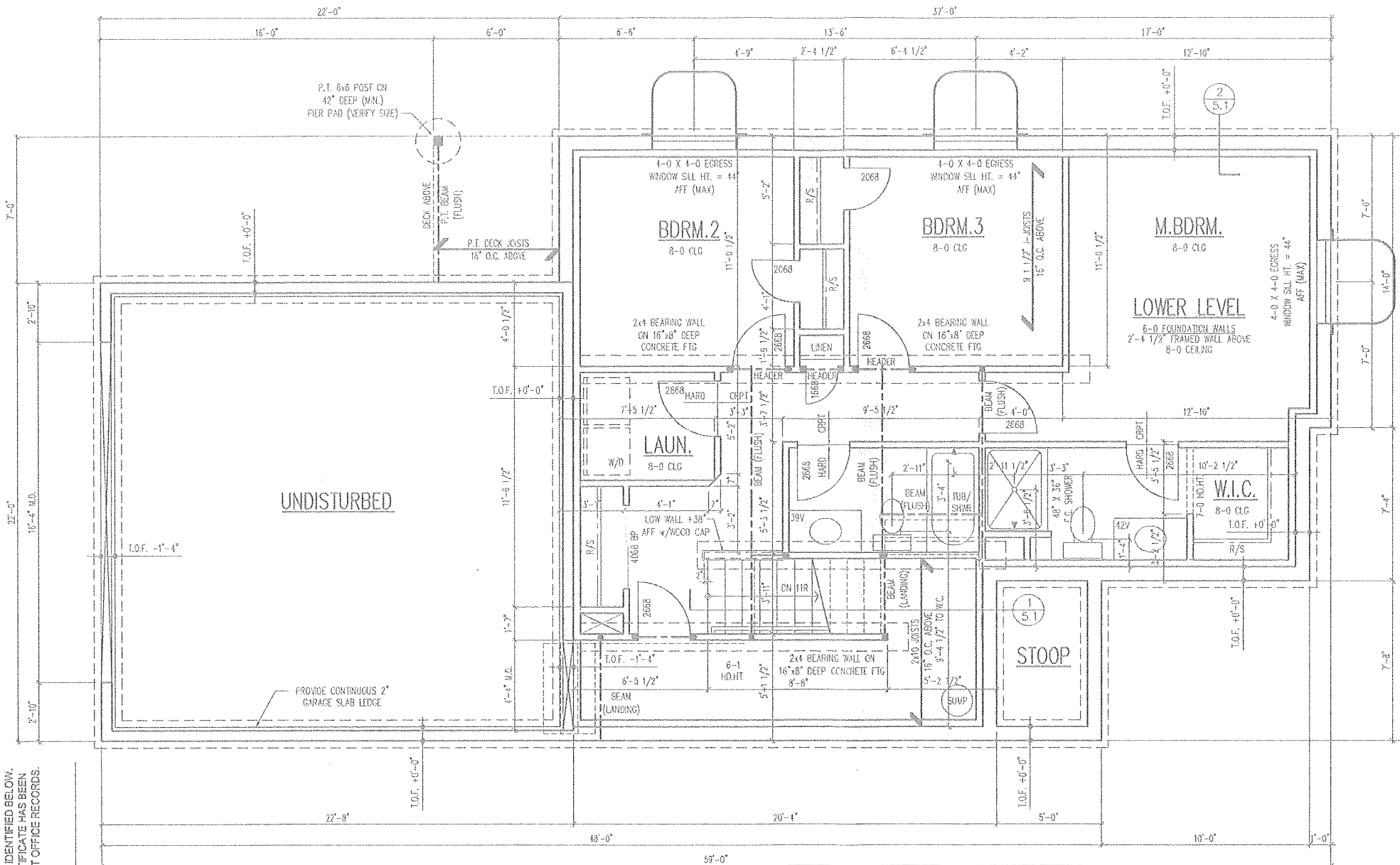
ALL STRUCTURE SHOWN IS SCHEMATIC ONLY AND TO BE DESIGNED AND ENGINEERED BY TRUSS MFR. OR BY OTHERS

WINDOW SIZES SHOWN ON PLANS ARE NOMINAL SIZE - ACTUAL WINDOW ROUGH OPENING TO BE VERIFIED PER MFR.

ALL STRUCTURAL CONCRETE PIER PADS TO BE SIZED AND VERIFIED BY OTHERS

VERIFY FOUNDATION ELEVATIONS FOR STEP DOWNS PER GRADE. PLANS ARE CONCEPTUAL, ADJUST AS REQUIRED.

CABINETS SHOWN ON PLANS TO BE DESIGNED BY OTHERS AND TO BE VERIFIED PER MFR.



TYPICAL NOTES:

- WTS-10A
- TYPICAL CONSTRUCTION ASSEMBLIES:**
 - ROOF CONSTRUCTION:** COMPOSITION ROOF SHINGLES ON 30# FELT ON 1/2" OSB ROOF SHEATHING ON ROOF FRAMING MEMBERS AS NOTED ON FLOOR PLANS.
 - CEILING:** FRAMED 16" O.C. = 1/2" GYPSUM BOARD. FRAMED 24" O.C. = 5/8" GYPSUM BOARD
 - EXTERIOR SIDING WALL CONSTRUCTION:** SIDING (AS NOTED ON ELEVATIONS) ON HOUSE WRAP ON EXTERIOR WALL SHEATHING AS NOTED BELOW. 1/2" OSB SHEATHING ON ALL ELEVATIONS, U.N.O. INTERIOR: 1/2" GYPSUM WALL BOARD.
 - EXTERIOR MASONRY WALL CONSTRUCTION:** BRICK VENEER w/ MASONRY RES 16" o.c. HORIZONTAL & VERTICAL OVER HOUSE WRAP ON 1/2" OSB WALL SHEATHING. INTERIOR: 1/2" GYPSUM BOARD.
 - BASEMENT AND GARAGE FLOOR CONSTRUCTION:** 4" CONCRETE SLAB (MINIMUM) ON COMPACTED STRUCTURAL FILL.
 - FRAME FLOOR CONSTRUCTION:** FINISH FLOORING (AS NOTED ON FLOOR PLANS) ON 3/4" FLOOR SHEATHING ON 1-XISTS ENGINEERED FLOOR SYSTEM, U.N.O. (SIZE AND SPACING AS NOTED ON FLOOR PLANS) MAIN FLOOR CEILING: 5/8" GYPSUM BOARD. FRAMED 24" O.C. = 5/8" GYPSUM BOARD. FRAMED 16" O.C. = 1/2" GYPSUM BOARD.
 - WINDOWS:**
 - ROUGH OPENING OF WINDOW TO BE NOTED IN FT./IN. ON FLOOR PLANS, U.N.O. TYPICAL HEAD HEIGHT FOR WINDOWS TO BE 6'-11 1/2" UNLESS NOTED OTHERWISE ON DRAWINGS.
 - CASEMENT WINDOWS:** WINDOW HINGE NOTED ON EXTERIOR ELEVATIONS. NOTED ON PLANS AS CSMT
 - SLIDING WINDOWS:** NOTED ON PLANS AS SL
 - SINGLE HUNG WINDOWS:** NOTED ON PLANS AS SH
 - DOUBLE HUNG WINDOWS:** NOTED ON PLANS AS DH
 - DOORS:**
 - DOOR SIZES NOTED ON FLOOR PLANS IN FT./IN. TYPICAL HEAD HEIGHT FOR DOORS TO BE 6'-11"
 - WOOD JAMBS AND CASING:**
 - ROUGH OPENING FOR HINGED DOORS TO BE 2" WIDER THAN DOOR SIZE NOTED ON PLAN.
 - BI-FOLDS DOORS TO BE 2 1/4" WIDER THAN DOOR SIZE NOTED ON PLANS.
 - ROUGH OPENING FOR BI-PASS DOORS TO BE 1" WIDER THAN DOOR SIZE NOTED ON PLANS.
 - GYPSUM BOARD OPENING:**
 - ROUGH OPENING FOR BI-PASS DOORS TO BE SAME AS DOOR SIZE NOTED ON PLANS.
 - ROUGH OPENING FOR BI-FOLD DOORS TO BE 1 1/4" WIDER THAN DOOR SIZE NOTED ON PLANS.

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REGISTRATION NUMBER:



LOWER LEVEL PLAN

SCALE: 1/4"=1'-0"

AREA SCHEDULE

1578 PLAN	
LOWER LIVING AREA	778
UPPER LIVING AREA	800
TOTAL LIVING AREA	1578
LOWER LEVEL UNFINISHED	149
UPPER LEVEL UNFINISHED	92
TOTAL	1819
GARAGE	526
TOTAL ALL AREAS	2345

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ALL EXTERIOR FRAME DIMENSIONS INCLUDE 1/2" THICK WALL SHEATHING

ADJUST PLACEMENT OF FRAMING MEMBERS AS REQUIRED TO PROVIDE REQUIRED CLEARANCE FOR PLUMBING AND MECHANICAL SYSTEMS

HOLD ALL DOOR AND WINDOW ROUGH OPENINGS 5" (MIN.) FROM INTERSECTING WALLS TO ALLOW FOR TRIM

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1578 Plan - C

SMART Series

Address Required for Permit

Builder: **Destiny Homes**
[515] 216.1015

Project No.: 30209218
Date: 05.04.18
Drawn By: JA/SH
Revisions: 08.31.18

Sheet Title:
LOWER LEVEL PLAN

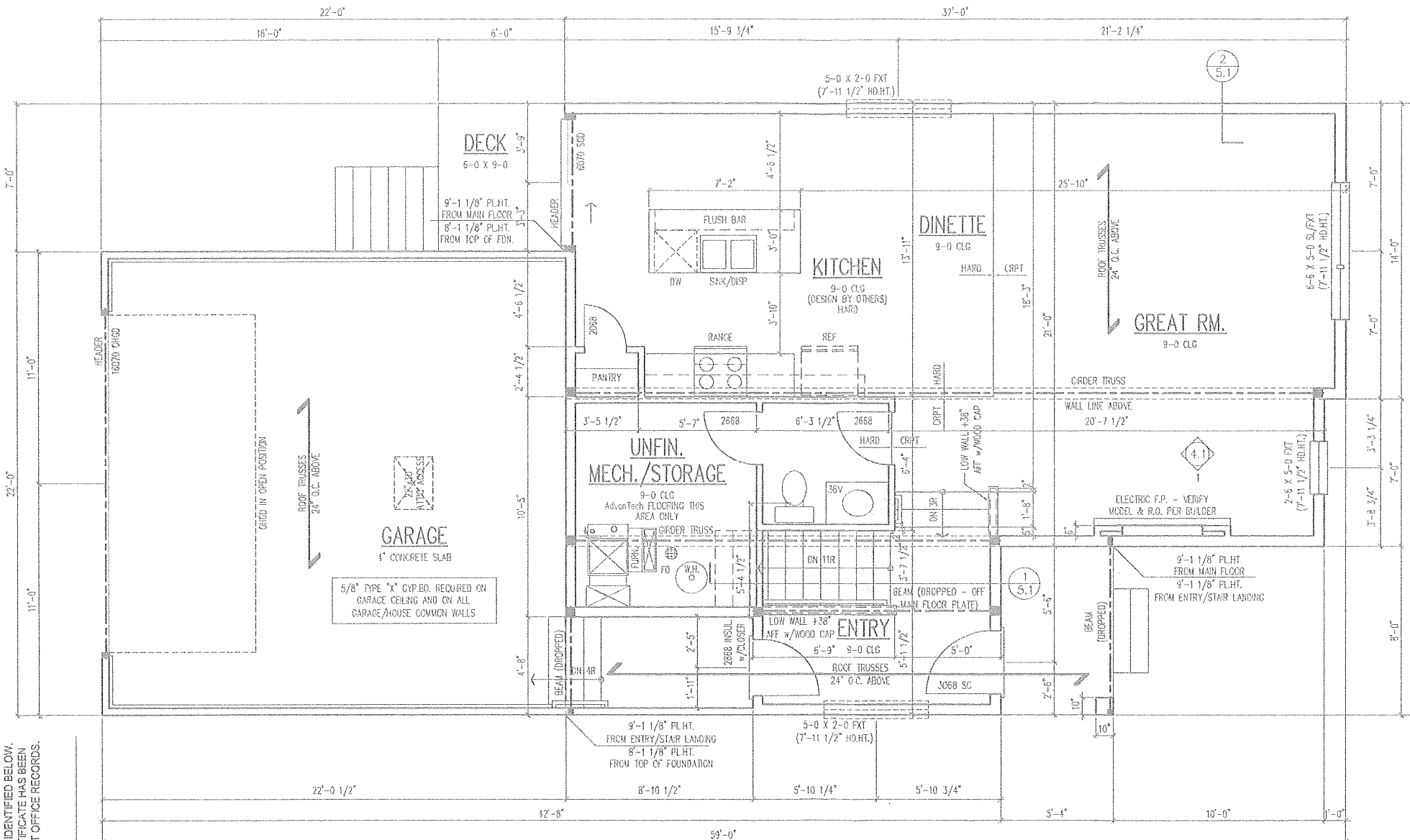
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ROUGH OPENINGS OF FIREPLACES SHOWN ON PLANS TO BE VERIFIED BY OTHERS AND ROUTE FLUES PER MFR.

WINDOW SIZES SHOWN ON PLANS ARE NOMINAL SIZE - ACTUAL WINDOW ROUGH OPENING TO BE VERIFIED PER MFR.

CABINETS SHOWN ON PLANS TO BE DESIGNED BY OTHERS AND TO BE VERIFIED PER MFR.



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REGISTRATION NUMBER:



UPPER LEVEL PLAN

SCALE: 1/4"=1'-0"

AREA SCHEDULE

1578 PLAN	
LOWER LIVING AREA	778
UPPER LIVING AREA	800
TOTAL LIVING AREA	1578
LOWER LEVEL UNFINISHED	149
UPPER LEVEL UNFINISHED	92
TOTAL	1819
GARAGE	526
TOTAL ALL AREAS	2345

(0991)

ALL STRUCTURE AND BEAMS TO BE SIZED BY TRUSS MANUFACTURER OR OTHERS

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TYPICAL NOTES:

1. TYPICAL CONSTRUCTION ASSEMBLIES:
- A. ROOF CONSTRUCTION:
COMPOSITION ROOF SHINGLES ON 30# FELT ON 1/2" OSB ROOF SHEATHING ON ROOF FRAMING MEMBERS AS NOTED ON FLOOR PLANS.
 - CEILING:
FRAMED 16" O.C. = 1/2" GYPSUM BOARD.
FRAMED 24" O.C. = 5/8" GYPSUM BOARD.
 - B. EXTERIOR SIDING WALL CONSTRUCTION:
SIDING (AS NOTED ON ELEVATIONS) ON HOUSE WRAP ON EXTERIOR WALL SHEATHING AS NOTED BELOW.
1/2" OSB SHEATHING ON ALL ELEVATIONS, U.N.O.
INTERIOR: 1/2" GYPSUM WALL BOARD.
 - C. EXTERIOR MASONRY WALL CONSTRUCTION:
BRICK VENEER w/ MASONRY TIES 16" O.C. HORIZONTAL & VERTICAL OVER HOUSE WRAP ON 1/2" OSB WALL SHEATHING.
INTERIOR: 1/2" GYPSUM BOARD.
 - D. BASEMENT AND GARAGE FLOOR CONSTRUCTION:
4" CONCRETE SLAB (MINIMUM) ON COMPACTED STRUCTURAL FILL.
 - E. FRAME FLOOR CONSTRUCTION:
FINISH FLOORING (AS NOTED ON FLOOR PLANS) ON 3/4" FLOOR SHEATHING ON 1-JOISTS ENGINEERED FLOOR SYSTEM, U.N.O. (SIZE AND SPACING AS NOTED ON FLOOR PLANS).
MAIN FLOOR CEILING: 5/8" GYPSUM BOARD.
FRAMED 24" O.C. = 5/8" GYPSUM BOARD.
FRAMED 16" O.C. = 1/2" GYPSUM BOARD.
2. WINDOWS
- ROUGH OPENING OF WINDOW TO BE NOTED IN FT./IN. ON FLOOR PLANS, U.N.O.
 - TYPICAL HEAD HEIGHT FOR WINDOWS TO BE 6'-11 1/2" UNLESS NOTED OTHERWISE ON DRAWINGS.
 - A. CASEMENT WINDOWS
WINDOW HINGE NOTED ON EXTERIOR ELEVATIONS.
NOTED ON PLANS AS CSMT.
 - B. SLIDING WINDOWS
NOTED ON PLANS AS SL.
 - C. SINGLE HUNG WINDOWS
NOTED ON PLANS AS SH.
 - D. DOUBLE HUNG WINDOWS
NOTED ON PLANS AS DH.
3. DOORS
- DOOR SIZES NOTED ON FLOOR PLANS IN FT./IN.
 - TYPICAL HEAD HEIGHT FOR DOORS TO BE 6'-11"
 - A. WOOD JAMBS AND CASING
ROUGH OPENING FOR HINGED DOORS TO BE 2" WIDER THAN DOOR SIZE NOTED ON PLAN.
BI-FOLDS DOORS TO BE 2 1/4" WIDER THAN DOOR SIZE NOTED ON PLANS.
ROUGH OPENING FOR BI-PASS DOORS TO BE 1" WIDER THAN DOOR SIZE NOTED ON PLANS.
 - B. GYPSUM BOARD OPENING
ROUGH OPENING FOR BI-PASS DOORS TO BE SAME AS DOOR SIZE NOTED ON PLANS.
ROUGH OPENING FOR BI-FOLD DOORS TO BE 1 1/4" WIDER THAN DOOR SIZE NOTED ON PLANS.

ALL EXTERIOR FRAME DIMENSIONS INCLUDE 1/2" THICK WALL SHEATHING

ADJUST PLACEMENT OF FRAMING MEMBERS AS REQUIRED TO PROVIDE REQUIRED CLEARANCE FOR PLUMBING AND MECHANICAL SYSTEMS

HOLD ALL DOOR AND WINDOW ROUGH OPENINGS 5" (MIN.) FROM INTERSECTING WALLS TO ALLOW FOR TRIM

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1840 NW 116th St, Suite 220
Clermont, IA 50325
515.254.1191

1578 Plan - C

SMART Series

Address Required for Permit

Builder:
Destiny Homes
[515] 216.1015

Project No.: 30209218
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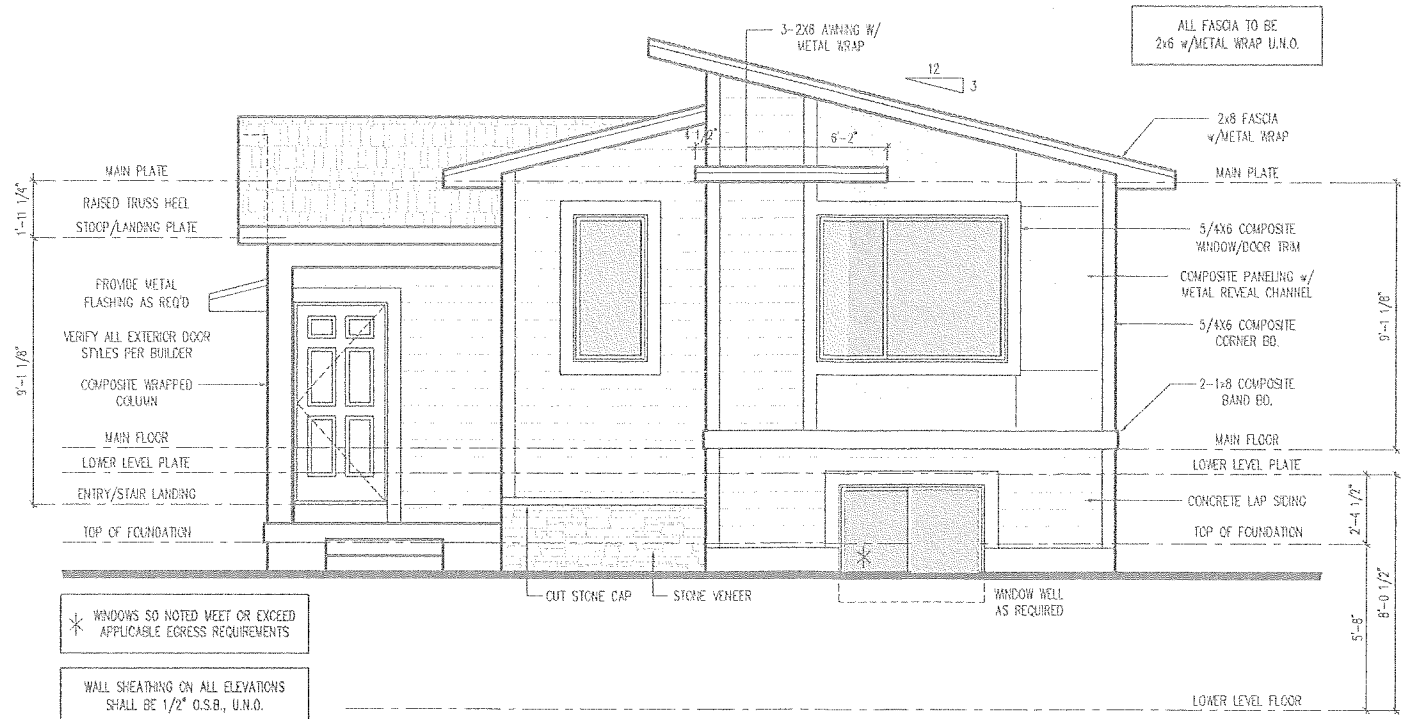
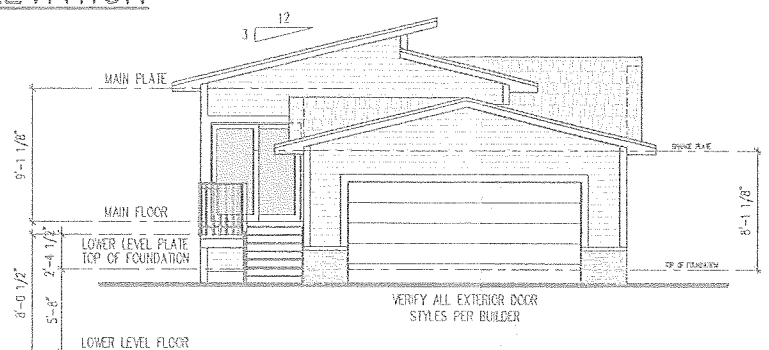
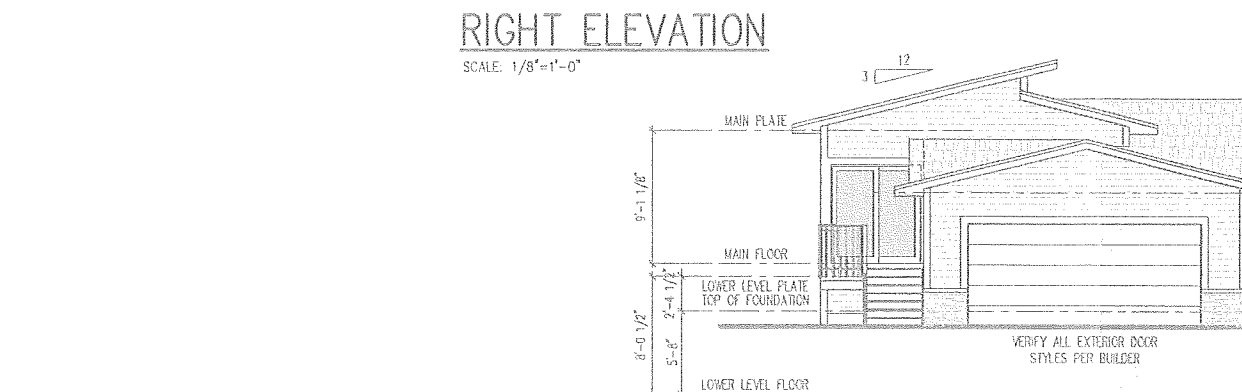
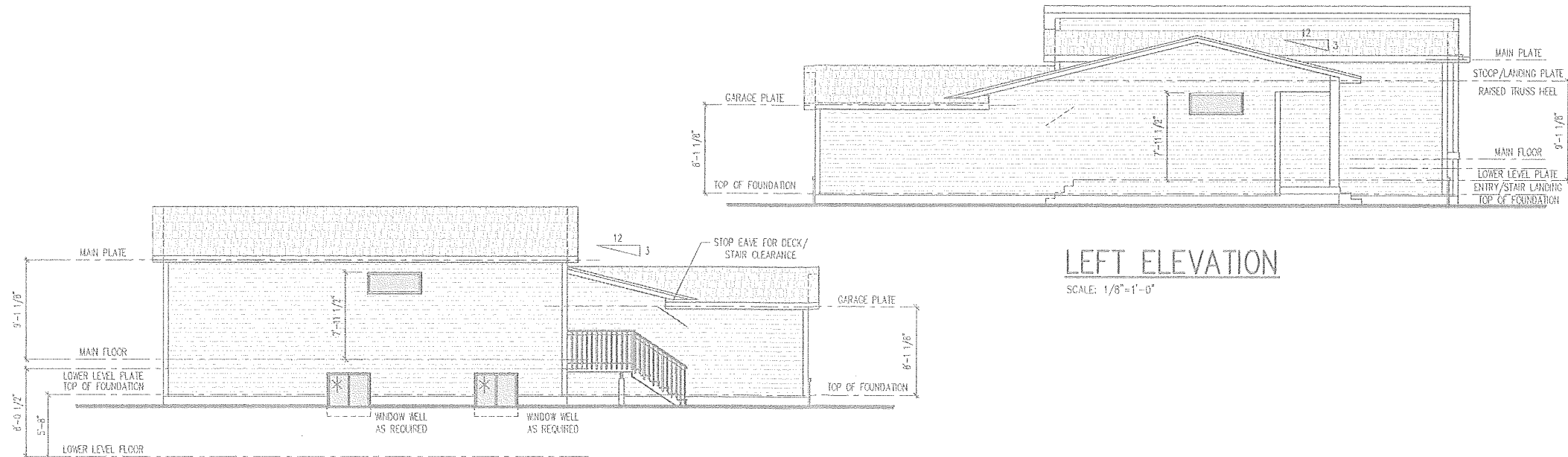
Sheet Title:
UPPER LEVEL PLAN

Sheet No.:

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REGISTRATION NUMBER:



* WINDOWS SO NOTED MEET OR EXCEED APPLICABLE EGRESS REQUIREMENTS

WALL SHEATHING ON ALL ELEVATIONS SHALL BE 1/2" O.S.B., U.N.O.

ALL EXTERIOR FRAME DIMENSIONS INCLUDE 1/2" BACK WALL SHEATHING

ADJUST PLACEMENT OF FRAMING MEMBERS AS REQUIRED TO PROVIDE REQUIRED CLEARANCE FOR PLUMBING AND MECHANICAL SYSTEMS

HOLD ALL DOOR AND WINDOW ROUGH OPENINGS 5" (MIN.) FROM INTERSECTING WALLS TO ALLOW FOR TRIM

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1140 NW 11th St. Suite 220
Clerk, IA 50325
515.254.1161



1578 Plan - C

SMART Series

Address Required for Permit

Builder: **Destiny Homes**
[515] 216.1015

Project No.: 30209218
Date: 05.04.18
Drawn By: JA/SH
Revisions: 08.31.18

Sheet Title:
EXTERIOR ELEVATIONS

Sheet No.: **3.1**

S.M.A.R.T. Series of Row Homes



S.M.A.R.T. Series of Row Homes



S.M.A.R.T. Series of Row Homes



1578-A Plan

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1578-B Plan

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1578-C Plan

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