

COUNCIL ACTION FORM

REQUEST: REZONING FROM RESIDENTIAL HIGH DENSITY (RH) TO PLANNED RESIDENCE DISTRICT (F-PRD) AND MAJOR SITE DEVELOPMENT PLAN FOR NORTHCREST COMMUNITY AT 1801 20TH STREET AND 2008 24TH STREET

BACKGROUND:

The property owners, Northcrest Inc. (d/b/a Northcrest Community), request rezoning of two parcels comprising a total of 25.90 gross acres. The parcels are addressed as 1801 24th Street and 2008 24th Street. Both parcels are currently zoned High Density Residential (RH) with a contract rezoning restriction on the 2008 24th Street property. The applicant is requesting rezoning to Planned Residence District (F-PRD) with a Medium Density Residential (RM) base zone to allow for expansion of their campus. *See Attachment 'A' for Location and Existing Zoning Map and Attachment 'C' for Proposed Zoning Map.* The expansion would allow for construction of 48 senior independent living apartments, 32 assisted living units, skilled nursing 24 unit, and 3 guest service rooms for a total of 231 units combined with the existing 124 units. The proposed plan also includes relocation of maintenance facilities and expansion of administration and amenity space. A rendered layout plan is included as Attachment H.

The Northcrest Community currently caters to active retirees looking for maintenance-free living and a diverse offering of services and amenities designed for their abilities and interests. As it currently exists, the Northcrest Community is a unique mix of 1 and 2 story townhomes, multi-family apartment buildings, group living uses (assisted living) and a health center. The F-PRD is the appropriate zoning to support Northcrest's plans for continuing and expanding these living arrangements. **The Major Site Development Plan (MSDP) that accompanies the PRD request will be the controlling plan for development of the site and its specific uses upon approval of the PRD.**

In 2015, Northcrest Community LLC purchased the adjacent 5-acre parcel at 2008 24th Street, which was a former church site. Contract zoning of the parcel occurred in 2013 to Residential High Density (RH) with a development agreement limiting its use. **The agreement restricts future development on the parcel to group living and community facilities, and restricts the maximum height to 4 stories or 50 feet. The limits of the contract rezoning do not allow for additional apartments. Any change to the restrictions associated with the prior rezoning are treated as a new rezoning application.**

Both the applicant and City staff agree that a mutual release agreement is required with the rezoning request in order to allow Northcrest to include additional independent senior living units, which are not defined as a group living or community facility use in the Zoning Ordinance. (See Attachment D for

Development Agreement and Mutual Release Agreement.)

The applicant requests a rezoning of the parcels from Residential High Density (RH) to Planned Residential District (F-PRD) a base zone of Residential Medium Density (RM) to facilitate the development of the property with multiple buildings on an individual lot and for use of private streets. The Major Site Development plan (MSDP) includes the site design, including placement of the buildings, pedestrian and vehicular circulation, parking, stormwater area, open space and amenities, and landscaping.

Approval of a F-PRD sets a base density standard for the development, but allows for more flexible application of most development standards through the approval of the MSDP. Approval of F-PRD zoning and site development plan requires findings of consistency with design principles relating to the housing variety, efficiency of layout, quality of design, open space, and landscaping that in combination exceeds what can be accomplished with standard zoning. The proposed MSDP accounts for all building configurations and features of the site layout.

The expansion plan includes two-bedroom apartments, assisted living apartments, a new central kitchen and dining area, a new Health Center, and a new commons building with offices, meeting rooms, Wellness Center, Cafe, as well as ample green space and a maintenance garage. The overall project includes a total of 231 units with an overall density of the entire campus at 8.91 DU/Acre.

Internally, a series of internal private drives flanked by parking, provide access and connection to the entire campus. The new expansion area is served from 24th Street. The two existing drive cuts for the former church site onto 24th Street will be consolidated into one entrance/exit access point for the new expansion area. This driveway connects to the existing campus at the south end of the site.

The applicant has provided a total of 362 parking spaces dispersed throughout the development, which exceeds the 236 spaces required. *See Addendum as well as Attachment H, Site Development Plan Package, Sheet L02.01.*

The City's F-PRD zoning is based upon the concept of providing substantial open space and while providing housing options that would not be available within a conventional subdivision. The proposed plan supports senior housing and group living with building facades that replicate the style reflected in other buildings within the existing campus and which create architectural interest, with the use of high quality building materials. The project proposal provides passive and active open space that will be available to residents within the development and meets the overall open space standards. The site exceeds the required 40% open space. Walking trails and sidewalks will connect throughout the development.

The largest building within the campus will be the 4-story independent living building located at the southwest corner of the expansion area. The building will have a height of 53'-7" to the midpoint of the roof. In order to minimize the impact to the adjacent low density residential neighborhood, the building has been sited with increased setbacks beyond the minimum 20 feet required in the base RM zone. The setback from this

building to the west is 64'-6 3/4" and 85'-1/4" to the south. A new stormwater detention facility is also located within this area of setback. An additional 15 large trees spaced at 50 feet apart are also planned in this area to assist in buffering of the project. These trees are in addition to any of the required landscaping.

The majority of existing vegetation on the former church site will be removed. The removal is necessary to accommodate the grading of the site and new building layout; however, many of these existing trees are ash and are not likely to survive the imminent ash borer infestation expected in this area.

High screen landscaping is included, as required, along the western perimeter of the site to buffer parking from the adjacent residential neighborhood. Front yard landscaping is included along the 24th Street frontage and parking lot landscaping in excess of the requirements is included throughout the expansion area along new drive aisles and adjacent to parking spaces.

In total, within a 6.5 acre area, 150 trees will be added as well as 468 shrubs and 2886 perennials and grasses.

In addition to the rezoning and site development plan review, the overall development plan includes a Plat of Survey boundary line adjustment to consolidate the two parcels into one. City Council will review the Plat of Survey when it reviews the PRD rezoning and Major Site Development Plan.

A complete analysis of the development with the F-PRD Development principles, supplemental development standards, and Major Site Development Plan criteria and other zoning standards is included in the Attachments. *See Attachment E, Findings Regarding Planned Residence District (F-PRD) Development Principles; Attachment F, Findings Regarding Planned Residence District (F-PRD) Supplemental Development Standards; and Attachment G, Findings Regarding Major Site Development Plan Criteria.*

PLANNING AND ZONING COMMISSION RECOMMENDATION:

At the meeting of August 1, 2018, the Planning and Zoning Commission reviewed the proposed project and discussed elements of the design and proposed rezoning. Included was a presentation from the applicant with a short summary of the project and color renderings of the proposed 1-story, 2-story, and 4-story buildings. No one from the public addressed the Commission.

The Planning and Zoning Commission then voted 6-0 to recommend approval of the rezoning, mutual release agreement, and Major Site Development Plan, subject to recording the plat of survey

ALTERNATIVES:

1. The City Council can approve the follow requests for the properties at 1801 20th Street and 2008 24th Street:

- A. Rezoning of the properties from Residential High Density (RH) to Planned Residential District (F-PRD) with a base zone of Residential Medium Density (RM);
 - B. Acceptance of Mutual Release Agreement from prior contract rezoning; and
 - C. Approval of the Major Site Development Plan, subject to the following conditions (*City Council will review the following materials at its August 28th meeting*):
 - i. City Council approval of vacating easements;
 - ii. City Council approval and recording of the Plat of Survey boundary line adjustment to consolidate the two parcels into one; and
 - iii. City Council approval and recording of right-of-way acquisition along 24th Street by Warranty Deed.
2. The City Council can approve with modified conditions the request for Rezoning, Mutual Release Agreement, and Approval of the Major Site Development Plan for the properties at 1801 20th Street and 2008 24th Street.
 3. The City Council can deny the request for Rezoning, Mutual Release Agreement, and approval of the Major Site Development Plan for the properties at 1801 20th Street and 2008 24th Street, if the Council finds that the City's regulations and policies are not met.
 4. The City Council can defer action on this request and refer it back to City staff and/or the applicant for additional information.

CITY MANAGER'S RECOMMENDED ACTION:

The proposed Planned Residence District (F-PRD) rezoning is consistent with Land Use Policy Plan (LUPP) as a specialized zoning tool for encouraging innovate and mixed housing types. The proposed density of development in the expansion area exceeds high density residential minimum density standards of 11 units per acre, even though the overall site density is only 8.46 dwelling units per acre. Accommodating the proposed mix of housing types at a medium density in the context of expanding an existing facility adjacent to low density residential is also appropriate for rezoning to F-PRD rather than developing under the current Residential High Density (RH) zoning of the site.

The applicant has chosen the F-PRD process due to the proposed mix of housing types and the flexible layout options for the campus. The change to F-PRD from the current RH does allow for the applicant to develop apartments on the site, rather than just assisted living, skilled nursing, and amenity space.

In a F-PRD, the Major Site Development Plan (MSDP) establishes zoning requirements, including building height, maximum number of units, bedrooms and density, site layout, and landscape design. It is critical to consider the design principles that rely upon site planning and landscaping to ensure adequate transition and compatibility to adjacent properties. The proposed plan addresses compatibility through use of larger setback distances for taller buildings and landscaping within the front yard and perimeter of the

site. The architectural design is similar to the existing development within the maximum 4-story height expectation of the prior contract rezoning. The site design also addresses site circulation needs and stormwater management requirements of the City

The proposed change from RH zoning to PRD is appropriate to allow for review of project specific plans as part of the PRD. Development under the RH zoning had some restrictions on use and height as part of the contact rezoning, but did not allow for individual project review. **With the conditions of approval, staff finds that the proposed project meets the design principles of the F-PRD and complies with the standards of the MSDP and is a higher quality development plan that would result under RH zoning. Therefore, it is the recommendation of the City Manager that the City Council approve Alternative #1 as described above.**

ADDENDUM

PROJECT DESCRIPTION:

The Northcrest Community is a Life-Care Community that provides a caring and nurturing environment that promotes the physical, emotional, social, and spiritual well-being of each resident. The development of the Northcrest Community campus over the years has resulted in a physical manifestation of the mission, vision, and values of the community. Since its non-profit, tax-exempt founding in the 1960's, Northcrest has undergone numerous construction stages to form the present 21-acre site, located at 1801 20th Street.

In 2015, Northcrest purchased the adjacent 5-acre site at 2008 24th Street (to the west) which was a former church site. Prior to purchase, the land was contract rezoned from Residential Low Density (RL) to Residential High Density (RH) with a development agreement in support of an expansion by Northcrest. The entire campus site is now 25.90 acres.

Northcrest now wishes to develop this parcel as well as to do some remodeling and construction on the portion of their existing site to create a cohesive campus. The development area totals about 6.5 acres and is proposed to include 48 independent living apartments, 32 assisted living units, 24 skilled nursing units, and new and remodeled administration wing with a multi-purpose addition. None of the units contain more than 2 bedrooms.

There will be a total of 231 units within the Northcrest campus upon completion of the expansion, with an overall density of 8.91 DU/Acre. The expansion is intended to preserve the existing community and culture of Northcrest, while adding life-enhancing services and amenities.

Staff has directed the applicant that the mix of residential uses and integrated design desired for the campus expansion can best be accommodated through a rezone from Residential High Density (RH) to Planned Residence District (F-PRD) with a Base Zone of Residential Medium Density (RM).

Development in a F-PRD looks to include a mix of housing types, integrated design, open space, site amenities, and landscaping that exceeds the requirements that exist in other residential zone development standards.

Building Design

Building facades will be constructed of high quality durable materials including face brick and formed metal wall panels. Each building will incorporate a substantial amount of brick.

Roof material will be asphalt shingles. Building designs replicate features included within the existing campus. The new buildings attempt to build unity throughout the campus through the repetition of forms, quality materials, textures, and earth tone colors

trees required). In addition to the new parking lot landscaping, the project also includes front residential landscaping based upon the 350' of street frontage along 24th Street (7 trees required) and high screen buffer along the western 440' property line between the parking area and the low density residential neighborhood to the west (9 trees required).

The enhanced landscape plan well exceeds the requirements of Section 29.403 and of the F-PRD. *See Attachment H, Site Development Plan Package, Sheet L04.01-L04.03*

Open Space

The open space improvements and amenities have been designed with the residents of the community in mind. As a Life-Care community, there are a variety of users and range of abilities/limitations to be considered. The open space and amenities are intended to provide both an active (i.e. walking, running) and passive (i.e. sitting, viewing, listening) experience. A minimum landscaped open space requirement of 40% is required for the F-PRD zone. The site includes 47.4% open space.

Amenities include a community green with a future gazebo and pergola, walking/running circuits, and a community garden. Pedestrian linkages are well connected within the campus and to adjacent properties. Upon completion, there will be a total of 1.68 miles of hard surfaced walks and trails. Walking paths are designed with a mix of different plant material to create a varied experience along each circuit.

- Walks- 6287 LF (1 .19 Miles)
- Trails – (over 5' wide) 2584 LF (.49 Miles)
- Total- 8871 LF (1.68 Miles)

Indoor Recreation-

- Multi-purpose space for gathering, celebrating, and other community purposes.
- Therapy Gym for residents.
- Community Pub for gathering.

Outdoor Recreation-

- The Community Green is the place for all Northcrest Community residents and their friends and greater community to come together. A flexible lawn with great pedestrian connectivity to the greater campus will allow for many different types of uses (e.g. performance, fair/festival, lawn games) throughout the year. It includes walks, benches and a future pergola and future gazebo. Power and water will be available in this space to aid in promoting a variety of different activities and to improve the ability of Northcrest Community to maintain it.
- Walking/running Circuits- A series of walking or running circuits are designed within the campus for use by all. Each circuit is unique based on the its length and topography, as well as its landscaping:
 - North Campus Loop- .5 Mile; Minimum grade changes.
 - South Campus Loop- .5 Mile; Moderate grade changes.
 - Central and South Campus Loop- .66 Mile; Maximum grade changes.
 - All Campus Loop- 1.0 Mile; Maximum grade changes.
- Community Gardens- Raised bed gardens are proposed to provide residents with the ability to grow flowers, vegetables, and herbs.

Neighborhood Compatibility

Through initial discussions with the developer about the subject site and evaluation of the proposed PRD design, the primary issue was compatibility with the adjacent low density residential neighborhood (Prairie View Subdivision), located to the west and south of the expansion area.

- Building Height Compatibility
- Building Siting/Setbacks
- Buffering

Properties abutting the expansion site include a mix of duplexes and single family homes zoned Residential Low Density (RL). Compatibility of the proposed development with the adjacent neighborhood was a primary concern. Given this, the applicant held a neighborhood meeting with the adjacent residents prior to the development of the final plan to discuss and receive feedback on the draft design and placement of structures. The applicant described the meeting as positive with no concerns voiced related to the design (form, scale, materials) of the proposed buildings.

The existing campus buildings are 3 stories or less. The buildings have a unique design (e.g. clerestory windows to enhance daylighting) which causes the roof peak to rise above what would otherwise be the roofline, based on number of stories alone. All but one structure in the expansion area is 2 stories or less. The design team met with City staff early in the design process to discuss the inclusion of a structure that was taller than the existing structures on the campus. It was discussed that placement of the building to minimize the effect of its scale related to the existing single family neighborhood would be critical.

The new independent living building is a 4-story structure with 48 dwelling units and underground parking for all units. The building height reaches 53'-7". Building height for buildings with sloped roofs is measured at mid-point between the eaves and the ridge. This building's design is in-keeping with its campus context and is inspired, as the other buildings, by the existing unique architectural style. This structure has been placed to minimize its stature in relation to the existing single family homes that are adjacent to the campus both west and south.

A 4-story structure was contemplated when the contact zoning to RH was approved. RH allows building heights to 100' or 9 stories, whichever is lower. The development agreement limited this height to 50' or 4 stories, whichever is lower. Height limitations in the F-PRD zone require, "Structures proposed to be developed in areas zoned PRD shall be compatible with the predominant height of structures in adjacent neighborhoods. There is no absolute height limitation in the PRD district."

The compatibility of the height has been addressed through two means: setbacks and buffering. Setbacks in the PRD Zone require compliance with the underlying base zone setbacks. Setbacks in the RM base zone require a side setback of 20' for a 4-story building. The site layout shows the building pulled back substantially from the side property line with a setback of 64'-6-3/4", thereby exceeding the requirement by 3.2 times. Setbacks in the RM base zone require a rear setback of

25'. The site layout shows the building pulled back substantially from the rear property line with a setback of 85'-1/4", thereby exceeding the requirement by 3.4 times.

Additionally, the increased setback allows for greater buffering with landscaping, and particularly the inclusion of overstory trees. Fifteen overstory trees are included to the side and rear of the 4 -story independent living building. Ultimately, these trees can reach a height of 40-60' at maturity. Trees will not only buffer the height of the building from the neighbors but will additionally provide a feeling of greater privacy for the residents.

There is also a 1-story maintenance garage that is also near the center of the site where the property line changes from an east/west orientation to a north/south orientation. This location abuts the rear yard of a single family home. One story structures are only required to have a 6' setback under the RM base zone. The garage at its nearest point is 6 feet, but its setback averages over 13' from the side property line and is also screened with shrubbery.

APPLICABLE REGULATIONS

Land Use Policy Plan (LUPP) Related Goals and Objectives.

GOAL 4. It is the goal of Ames to create a greater sense of place and connectivity, physically and psychologically, in building a neighborhood and overall community identity and spirit. It is the further goal of the community to assure a healthier, safe, and attractive environment.

Objectives. In achieving an integrated community and more desirable environment, Ames seeks the following objectives.

4.A. Ames seeks to establish more integrated and compact living/activity areas (i.e. neighborhoods, villages) wherein daily living requirements and amenities are provided in a readily identifiable and accessible area. Greater emphasis is placed on the pedestrian and related activities.

GOAL 6. It is the goal of Ames to increase the supply of housing and to provide a wider range of housing choices.

Objectives. In increasing housing opportunities, Ames seeks the following objectives.

6.C. Ames seeks to establish higher densities in existing areas where residential intensification is designated with the further objective that there shall be use and appearance compatibility among existing and new development.

Future Land Use Map. The Land Use Policy Plan Future Land Use Map designates the property as High-Density Residential reflecting the historic use of the site, although the site is developed as a lower density than permitted by high density residential. See *Attachment B, LUPP Future Land Use Map*. A F-PRD zoning district is allowed in association with any residential land use designation and does not require strict

conformance to the Land Use Policy Plan Future Land Use Map for approval of a rezoning and setting a new base zone as part of the PRD, in this case medium density.

Existing Zoning. The existing zoning of the property is Residential High Density (RH). *See Attachment A, Location and Existing Zoning Map.*

Development Agreement. The site is currently subject to a development agreement. The intent of the development agreement was to include conditions that would mirror the existing uses at the Northcrest Community. However, the agreement restricts uses on the expansion site to “group living” and “community facilities.” It does not provide an allowance for independent living. Additionally, the maximum building height included in the development agreement is 4 stories or 50’, whichever is lower. However, the proposed height of the 4-story independent living building is 53’-7”. The increased height is primarily due to the architecture which replicates the roofline of existing buildings at Northcrest. Therefore, the development agreement is an impediment to the expansion of the site as proposed and will be unnecessary once the Planned Residence District zoning is approved with site development plans that provide architectural details for development of the site. *See Attachment D, Existing Development Agreement and Proposed Mutual Release Agreement.*

Proposed Zoning. Ames *Municipal Code* Chapter 29, Section 1507, Zoning Text and Map Amendments, includes requirements for owners of land to submit a petition for amendment, a provision to allow the City Council to impose conditions on map amendments, provisions for notice to the public, and time limits for the processing of rezoning proposals.

The proposed zoning is Planned Residence District (F-PRD) which is permissible with any underlying LUPP Future Land Use Map designation for residential. *See Attachment C, Proposed Zoning Map.*

Ames *Municipal Code* Chapter 29, Section 1203, Planned Residence District, includes development principles, uses that are permitted, and supplemental development standards that apply to properties in this zone. *See Attachment E, Findings Regarding F-PRD Development Principles, and Attachment F, Findings Regarding F-PRD Supplemental Development Standards.*

Property developed according to the F-PRD requirements allows for innovative housing types and creates a development pattern that is more aesthetic in design and sensitive to the natural features of the site and to surrounding uses of land than would customarily result from the application of the requirements of other residential zoning districts. Development is to include a mix of housing types, integrated design, open space, site amenities, and landscaping that exceeds the requirements that exist in other residential zone development standards.

Planned Residential Development (F-PRD) Development Principles.

Property that is zoned F-PRD must adhere to the development principles in Ames Municipal Code Section 29.1203(2). See *Attachment E, Findings Regarding F-PRD Development Principles*.

Planned Residential Development (F-PRD) Supplemental Development Standards.

Property that is zoned F-PRD must also be developed according to the supplemental development standards in Ames Municipal Code Section 29.1203(5). See *Attachment F, Findings Regarding F-PRD Supplemental Development Standards*.

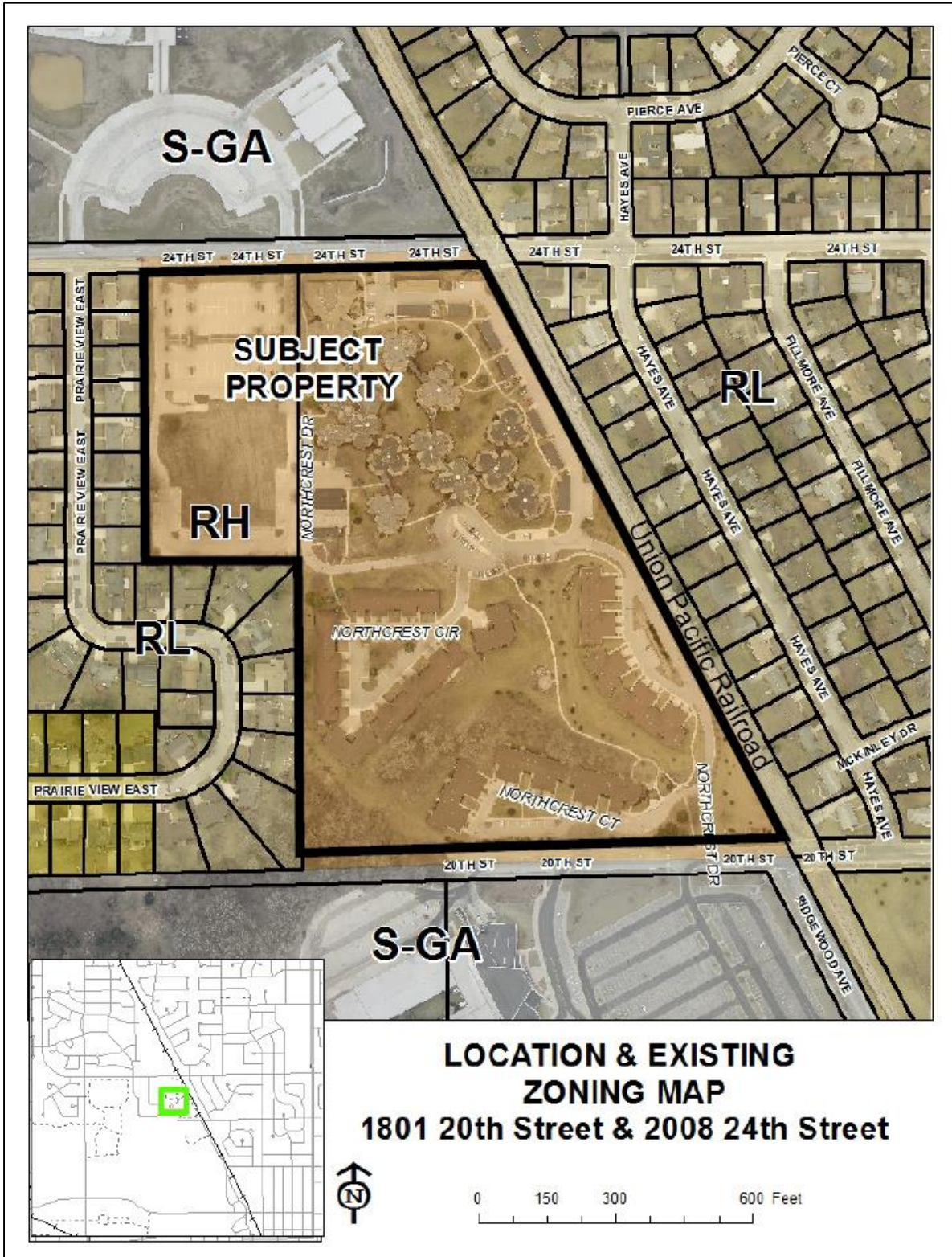
Major Site Development Plan Design Standards.

The F-PRD rezoning requires an accompanying major site development plan. This plan describes all aspects of the site including building floor plans and elevation drawings. See *Attachment H, Site Development Plan Package*. Additional criteria and standards for review of all Major Site Development Plans are found in Ames *Municipal Code* Section 29.1502(4)(d). See *Attachment G, Findings Regarding Major Site Development Plan Design Standards*.

Public Notice. Noticing requirements are included in Ames *Municipal Code* Chapter 29, Section 1500(2)(d). Notice was mailed to property owners within 200 feet of the subject site and a sign was posted on the subject property. As of this writing, no comments have been received.

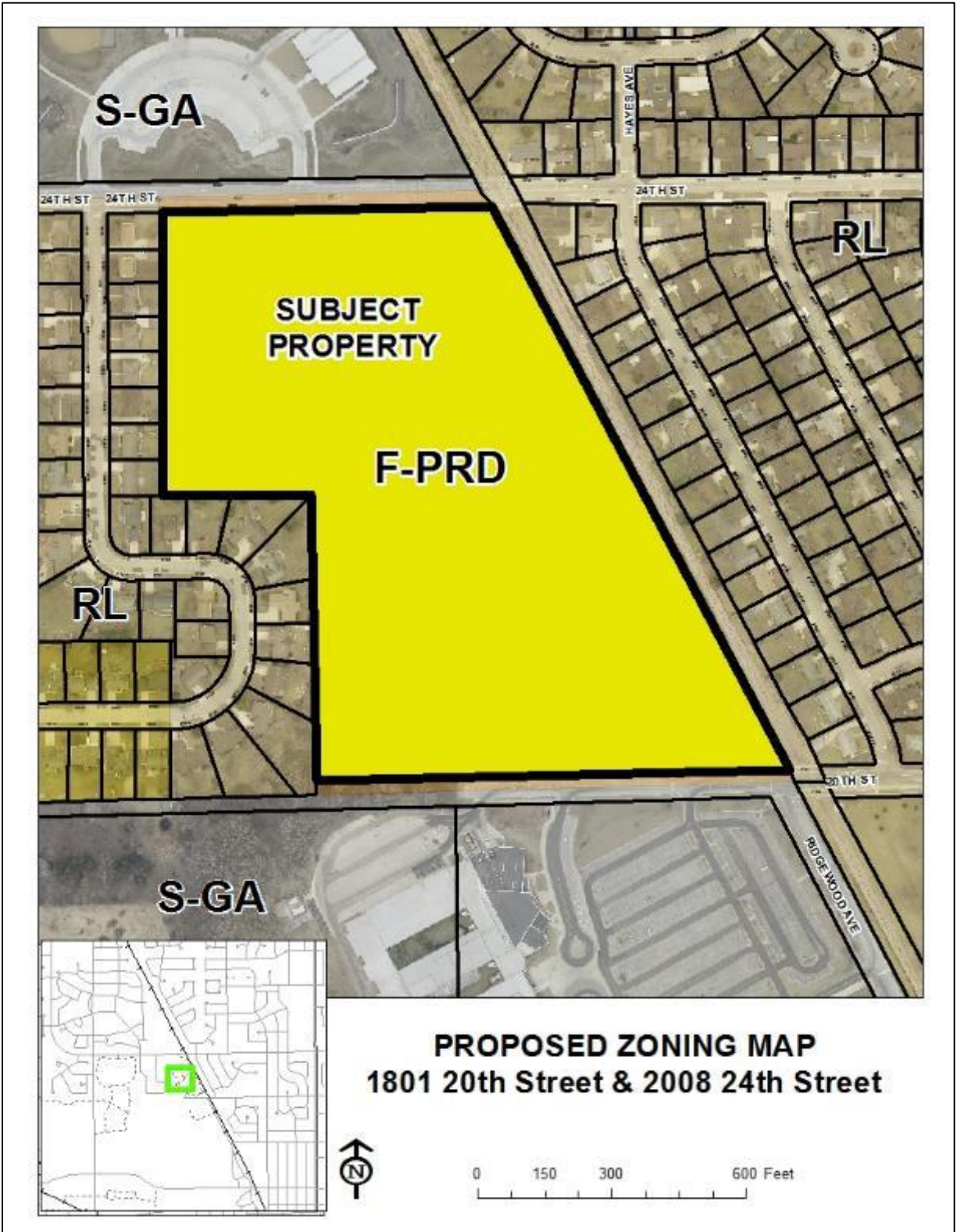
Attachment A

Location and Existing Zoning Map



The existing zoning of the property is Residential High Density (RH).

Attachment C
Proposed Zoning Map



The proposed zoning for the subject property is Planned Residence District (F-PRD).

Attachment D

Existing Development Agreement and Proposed Mutual Release Agreement

A ✓
M ✓
D ✓
G ✓
R ✓

Instrument: 2013-00000611
Date: Jan 16, 2013 10:57:55A
Rec Fee: 25.00 E-Com Fee:
Aud Fee: .00 Trans tax:
Rec Management Fee: 1.00
Non-Standard Page Fee: .00
Filed for record in Story County, Iowa
Susan L. Vande Kamp, County Recorder

DO NOT WRITE IN THE SPACE ABOVE THIS LINE, RESERVED FOR RECORDER

Prepared by: Judy K. Parks, City of Ames Legal Department, 515 Clark Ave., Ames, IA 50010; 515-239-5146
Return recorded document to: City Clerk, City of Ames, 515 Clark Ave., P.O. Box 811, Ames, IA 50010

(enw)

DEVELOPMENT AGREEMENT PERTAINING TO NORTHCREST EXPANSION SITE LOCATED AT 2008 24th STREET

THIS AGREEMENT, made and entered into this 7th day of January, 2013, by and between the City of Ames, Iowa (hereinafter called "City") and Northcrest, Inc. (hereinafter called "Developer"), their successors and assigns.

WITNESSETH THAT:

WHEREAS, First Evangelical Free Church owns property located at 2008 24th Street on which they have their main church structure and accessory uses, and Northcrest, Inc., is the owner of the property immediately to the south and abutting that of the church; and

WHEREAS, Northcrest, Inc., operates a continuing care retirement facility on the property immediately east of First Evangelical's property, but Northcrest, Inc., finds that it needs additional land onto which it can expand its facilities; and

WHEREAS, the two entities have reached agreement whereby First Evangelical Free Church would sell its church building and land to Northcrest, Inc., contingent on a rezoning of the church parcel to allow for expansion of Northcrest's facilities; and

WHEREAS, this proposal has been considered in open public meeting by the Ames City Council and conceptually approved with the first step being a Land Use Policy Plan map change; and

WHEREAS, the next step in furthering this would be a rezoning of the property, which the City has determined is appropriate if certain conditions are met; and

WHEREAS, this Agreement is to memorialize the conditions under which a rezoning is appropriate.

NOW, THEREFORE, the City and Northcrest, Inc., have agreed and do agree as follows:

I.
PURPOSE

- A. It is the purpose of this agreement to:
1. Document, record and give notice of a certain plan of development with specific allowed uses and development conditions binding upon Developer as the prospective purchaser of this property, pursuant to which the City of Ames will rezone the property located at 2008 24th Street from RL (Low Density Residential) to RH (High Density Residential).
 2. Provide remedies to the City in the event the said plan of development is not adhered to or achieved by Developer.
- B. This agreement does not create or vest in any person, entity or organization, other than the City, any rights or cause of action with respect to any performance, obligation, plan, schedule or undertaking stated in this agreement with respect to the Developer. This agreement does not prevent the City from amending, modifying or releasing the Developer from some or all of the provisions of this agreement. No person shall have any cause of action or recourse against the City or Developer by reason of any such amendment, modification or release.

II.
CITY'S REMEDIES

- A. In that the Developer seeks to persuade and induce the City to approve a rezoning of the property for the development and improvement based on specific uses and intensities of development, the City shall not approve a Minor Site Development plan nor shall it issue a demolition permit, building permit, occupancy permit or any other approval or permit of the City with respect razing, excavation, construction, reconstruction, remodeling or use on the site unless said work and use are undertaken in accordance with the provisions of this agreement. No occupancy permit shall be granted for any use on the site which is not in conformance with the provisions of this agreement.
- B. All ordinances, regulations and policies of the City now existing, or as may hereafter be enacted, shall apply to the site.

III.
USE RESTRICTIONS

A. Uses Restricted to Group Living and Community Facilities.

1. The Developer agrees that it shall restrict its uses on this site to either Group Living or Community Facilities, as follows:

Group Living is defined as “Residential occupancy of a structure by a group of people who do not meet the Household Living definition under the City of Ames Zoning ordinance. Size is larger than the average household size. Average length of stay is 60 days or longer. Structures generally have a common eating area for residents. Residents may receive any combination of care, training or treatment, or none of these, as long as they also reside at the site.”

Uses that the City will allow under “Group Living” that fit within the Developer’s intent are Assisted Living Facilities, Congregate Housing primarily dedicated to senior facilities, Hospices, Nursing and Convalescent Homes. Recreational facilities are the only permitted accessory use, defined as any building, structure, portions thereof, land or water designed and used for exercise, relaxation or enjoyment. These facilities shall be primarily dedicated to senior users.

Community Facilities are defined as “Uses generally providing a local service to people of the community. Services are generally provided on the site or employees are at the site on a regular basis. The service is ongoing, not just for special events. Community centers or facilities that have membership provisions are open to the general public to join at any time (e.g. any senior citizen could join a senior center). The use may also provide special counseling, education or training of a public, nonprofit or charitable nature. Alternative incarceration centers are not included in this definition.”

Uses that the City will allow under Community Facilities that fit within the Developer’s intent are Community Centers and Senior Centers. Accessory uses can include offices, meeting rooms, food preparation areas, health and therapy areas, day care uses primarily dedicated to senior care, and athletic facilities primarily dedicated to senior users.

IV.
BUILDING HEIGHT RESTRICTION

A. Height restriction

The Developer agrees that it shall restrict the height of structures at or on this site to a maximum building height that does not exceed the existing building height of the current Northcrest, Inc., property, or fifty (50) feet, or four (4) stories, whichever is lower, for all buildings on this site.

V.
COVENANT WITH THE LAND

This agreement is binding on the premises legally described as follows:

The west one-half of the Northeast Quarter of the Southwest Quarter of the Northwest Quarter of Section 34, Township 84 North, Range 24 west of the 5th P.M., Ames, Story County, Iowa.

It is expressly understood that the terms and obligations of this agreement shall survive and remain in effect for the above-described premises regardless of whether these premises are consolidated or replatted with other land at a future time.

The obligations created by this agreement shall run with the land and shall be binding upon the Developer, its successors and assigns.

IN WITNESS WHEREOF, the parties hereto have caused this instrument to be executed effective as of the date first above written.

CITY OF AMES, IOWA, GRANTEE

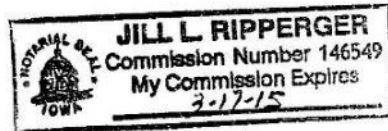
By: Ann H. Campbell
Ann H. Campbell, Mayor

Attest by: Diane R. Voss
Diane R. Voss, City Clerk

STATE OF IOWA, COUNTY OF STORY, ss:

On this 8 day of January, 2013, before me, the undersigned, a Notary Public in and for said State, personally appeared Ann H. Campbell, Mayor, and Diane R. Voss, City Clerk, to me known to be the identical persons named in and who executed the foregoing instrument, and acknowledged that they executed the same as their voluntary act and deed.

Jill L. Ripperger
Notary Public in and for the State of Iowa



NORTHCREST, INC., GRANTOR

By: David J. Miller, Jr.
David Miller, President

By: Harris Seidel
Harris Seidel, Secretary

STATE OF IOWA, COUNTY OF STORY, ss:

This instrument was acknowledged before me on January 7, 2013, by David Miller and Harris Seidel, as President and Secretary, respectively, of Northcrest, Inc.

Stacy G. Trytek
Notary Public in and for the State of Iowa



MUTUAL RELEASE OF DEVELOPMENT AGREEMENT

THIS MUTUAL RELEASE, made and entered into this 9 day of July, 2018, by and between the City of Ames, (hereinafter called “City”) and Northcrest, Inc., an Iowa non-profit corporation, (hereinafter called “Northcrest”), their successors and assigns,

WITNESSETH THAT:

WHEREAS, The City and Northcrest entered into a *Development Agreement* (the “Agreement”) *Pertaining to Northcrest Expansion Site Located at 2008 24th Street*, dated January 7, 2013, filed in the office of the Story County Recorder on January 7, 2013, as Instrument 13-00611, wherein specific allowed uses and development conditions were agreed upon by the parties to provide for the rezoning of certain property located at 2008 24th Street and legally described as set forth in Exhibit ‘A’ attached hereto.

WHEREAS, the Agreement contemplated a rezoning of the property from RL (Low Density Residential) to RH (High Density Residential) and the parties now intend to rezone the property to F-PRD (Planned Residence District);

WHEREAS, the Agreement contained certain covenants, including but not limited to, Use Restrictions and Building Height Restrictions, running with the land that both the City and Northcrest seek to release as part of the rezoning of said property to F-PRD;

NOW, THEREFORE, the parties hereto have agreed and do agree as follows:

The Development Agreement filed January 7, 2013, as Instrument No. 13-00611, including any re-recorded versions, or assignments thereof, if any, is released and forever discharged. Northcrest, Inc., acting through the undersigned, has good and lawful authority to execute and deliver this instrument.

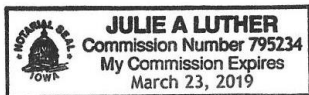
IN WITNESS WHEREOF, the parties hereto have caused this instrument to be executed effective as of the date first above written.

NORTHCREST, INC.

By: Joseph D. Traylor Attest: Harris Seidel
Joe Traylor, President Harris Seidel, Secretary

STATE OF IOWA, COUNTY OF STORY, SS.:

This instrument was acknowledged before me on July 9, 2018, by Joe Traylor and Harris Seidel, as President and Secretary, respectively, of Northcrest, Inc.



Julie A. Luther
NOTARY PUBLIC

CITY OF AMES, IOWA

By: John A. Haila Attest: Diane R. Voss
John A. Haila, Mayor Diane R. Voss, City Clerk

STATE OF IOWA, COUNTY OF STORY, SS.:

This instrument was acknowledged before me on _____, 2018, by John A. Haila and Diane R. Voss, as Mayor and City Clerk, respectively, of the City of Ames, Iowa.

NOTARY PUBLIC

LEGAL DESCRIPTION – EXHIBIT ‘A’

The West Half (W1/2) of the Northeast Quarter (NE1/4) of the Southwest Quarter (SW1/4) of the Northwest Quarter (NW1/4) of Section Thirty-four (34) Township Eighty-four (84) North, Range Twenty-four (24) West of the 5th P.M., Story County, Iowa.

Attachment E

Findings Regarding Planned Residence District (F-PRD) Development Principles

Property that is zoned F-PRD shall be developed in accordance with the Zone Development Principles listed in Section 29.1203(2). Each principle is addressed below.

1. *Provide for innovative and imaginative approaches to residential development that would not occur as a result of the underlying zoning regulations.*

The Northcrest Community caters to active retirees looking for maintenance-free living and a diverse offering of services and amenities designed for their abilities and interests. Northcrest offers a lifestyle with maximum independence. As it currently exists, the Northcrest Community is a unique mix of 1 and 2 story townhomes, multi-family apartment buildings, group living uses (assisted living) and a health center.

The Northcrest Community is a Life-Care Community that provides a caring and nurturing environment that promotes the physical, emotional, social, and spiritual well-being of each resident. The development of the Northcrest Community campus over the years has resulted in a physical manifestation of the mission, vision, and values of the community. The F-PRD is the appropriate zoning to support this vision.

The expansion will include 48 two-bedroom apartments, 32 assisted living apartments, a new central kitchen and dining area, a new 24-bed skilled nursing health center, and a new commons building with offices, meeting rooms, wellness center, cafe, as well as generous open space and connected pedestrian walkways. The expansion will preserve the community and culture of Northcrest, while adding life-enhancing services and amenities.

2. *Result in a more efficient, aesthetic, desirable and economic use of land and other resources while maintaining density of use, as provided for in the Land Use Policy Plan and the underlying zoning.*

The Land Use Policy Plan (LUPP) states in the first paragraph of the Foreword that the plan is "about connections " and "creating a sense of place". The Northcrest Community campus is a complete place. Unique architecture, pedestrian connectedness, a virtual arboretum of plant materials, and a broad community of caring people all contribute to the sense of this place.

More Efficient- The new additions to the campus raise the overall density from the existing 7.78 DU/Acre to 8.91 DU/Acre while providing 47.4% of open space. This is above the required 40% open space required of the underlying Residential Medium Density (RM) base zone.

Economical- Life-Care is a unique concept that provides a crucial level of financial protection to safeguard Northcrest residents against future medical expenses. Residents that come to Northcrest through independent living are guaranteed a home for the rest of their lives. If and when a resident moves to the Health Center on a permanent basis, the monthly fee remains the same except for an

additional meal charge.

Aesthetic- The existing campus is described by many residents and visitors as beautiful. While this is a subjective term, the current open space, planting design, and architecture with earth tone colors create a unique and peaceful environment.

The proposed expansion will add to and enhance Northcrest's ability to serve residents efficiently with a continuum of care, while doing so in a desirable, aesthetically pleasing place.

3. *Promote innovative housing development that emphasizes efficient and affordable home ownership and occupancy.*

The Northcrest Community is a Life-Care Community. The procession of a resident through the different residential use types within the campus is unique when compared to the context of a typical residential development of its scale. The current Northcrest community has 42 townhomes, 68 apartments, a licensed health center, and a state-of-the-art 14-bed Alzheimer's and dementia unit called Heartwood House.

The expansion will include 48 two-bedroom apartments, 32 assisted living apartments, a new central kitchen and dining area, a new 24-bed skilled nursing health center, and a new commons building with offices, meeting rooms, wellness center, cafe, as well as plenty of green space. The expansion will preserve the community and culture of Northcrest, while adding life-enhancing services and amenities.

4. *Provide for flexibility in the design, height, and placement of buildings that are compatible with and integrate with existing, developed neighborhoods and the natural environment.*

Design- New architecture is inspired by existing structures and seeks to build unity throughout the campus through the repetition of forms, materials, textures, and colors found in the earlier development phases.

Placement- Earlier structures were grouped to create small enclaves for residents of a particular building group. The Community Green is inspired by this idea, but instead of being a private place for those living nearby, it is the place for all Northcrest Community residents and their friends and greater community to gather together.

Height- The existing campus buildings are 3 stories or less. The buildings have a unique design (e.g. clerestory windows to enhance daylighting) which causes the roof peak to rise above what would otherwise be the roofline, based on number of stories alone. All but one structure in the expansion area is 2 stories or less. The new independent living building is a 4 story structure with 48 dwelling units and underground parking for all units. This structure has been placed to minimize its stature in relation to the existing single family homes that are adjacent to the campus both west and south. This building's design is in-keeping with its campus context and is inspired, as the other buildings, by the existing unique architectural style.

Compatibility- The design team met with City staff early in the design process to discuss the inclusion of a structure that was taller than the existing structures on the campus. It was discussed that

placement of the building to minimize the effect of its scale related to the existing single family neighborhood would be critical. City staff also suggested that representatives from Northcrest meet with the adjacent residents to determine how residents would perceive the construction of a 4 story building. A meeting was held in March 2018 and six neighbors attended. Plans, architectural elevations, 3D models, site sections illustrating the single family home/4 story independent living building relationship, and 3D animations were presented. Those in attendance are reported to have been overwhelming positive about the design and placement of the buildings on the campus as well as the 4 story independent living building. Concerns expressed were related to the construction period and the potential for noise, dust, and safety issues during construction rather than the site plan or architectural design of the buildings.

5. *Promote aesthetic building architecture, significant availability of open space, well designed and landscaped off-street parking facilities that meet or exceed the underlying zone development standards, more recreation facilities than would result from conventional development, and pedestrian and vehicular linkages within and adjacent to the property.*

Aesthetics- New architectural design is inspired by the unique existing structures and seeks to build unity throughout the campus through the repetition of forms, quality materials, textures, and earth tone colors found in the earlier areas of campus. New Landscape design is inspired by the picturesque planting design found within the existing campus while working to meet the City of Ames' current landscape ordinance.

Underlying Base Zone Development Standards-
Open Space %- RM requires 40% Open Space
Overall (after proposed construction): 47.4% Open Space.

Indoor Recreation-

- Multi-purpose space for gathering, celebrating, and other community purposes.
- Therapy Gym for residents.
- Community Pub for gathering.

Outdoor Recreation-

- The Community Green is the place for all Northcrest Community residents and their friends and greater community to come together. It includes walks, benches and a future pergola and future gazebo.
- Walking/running Circuits- A series of walking or running circuits are designed within the campus for use by all:
 - North Campus Loop- .5 Mile; Minimum grade changes.
 - South Campus Loop- .5 Mile; Moderate grade changes.
 - Central and South Campus Loop- .66 Mile; Maximum grade changes.
 - All Campus Loop- 1.0 Mile; Maximum grade changes.
- Community Gardens- Raised bed gardens are proposed to provide residents with the ability to grow flowers, vegetables, and herbs.

Pedestrian linkages within Northcrest Community Property provide great connectivity within the campus and to the adjacent properties:

- Walks- 6287 LF (1 .19 Miles)

- Trails – (over 5' wide) 2584 LF (.49 Miles)
- Total- 8871 LF (1.68 Miles)

Off-street parking facilities- Areas for off-street parking are typically 90-degree parking immediately off of internal roadways. The off-street parking facilities within the Northcrest community will exceed the requirements of the existing code. (See Attachment H, Site Development Plan Package, Sheet L02.01.)

6. Provide for the preservation of identified natural, geologic, historic and cultural resources, drainage ways, floodplains, water bodies, and other unique site features through the careful placement of buildings and site improvements.

Proposed site grading considers existing building finished floor elevations and surrounding existing conditions and the elevations of adjacent properties while managing stormwater collection.

The effect of the proposed design on the existing natural assets of the Northcrest Community is extremely minimal. Care has been taken to place structures to limit the impact to existing mature plant materials, where possible.

The ratio of impervious to pervious area is greatly improved. The expansion is located on the site of a former church and parking lot. The new design increases the amount of pervious area from approximately 32% of the site to more than 44%, resulting in an additional .79 Acres of pervious area.

7. Provide for a development design that can be more efficiently served by existing and proposed infrastructure, including: street, water, sewer, and storm water infrastructure, than would be otherwise required as a result of conventional development.

The design of the overall campus infrastructure will connect efficiently with the surrounding infrastructure.

Public Street Access- Ingress and Egress to the overall area from 24th Street is improved by consolidating two curb cuts into one.

Utilities Connections- All utilities will be able to be extended in order to serve the Northcrest Community campus in an efficient manner.

Stormwater- Stormwater is captured on impervious surfaces and directed by surface or pipe drainage to a stormwater detention area that has been designed to be an aesthetic amenity to campus.

Attachment F

Findings Regarding Planned Residence District (F-PRD) Supplemental Development Standards

Property that is zoned F-PRD shall be developed in accordance with the Zone Development Standards listed in Table 29.1203(5). Each standard is addressed below.

- 1. Area Requirement. A minimum of two (2) acres shall be required for all areas developed as F-PRD.**

The subject site includes 25.90 acres.

- 2. Density. Densities shall comply with the densities provided for in the Land Use Policy Plan and the underlying base zone regulations. In the case of more than one base zone designation, each area of the PRD project shall comply with the density limitation that is established for the base zone of that area. Density transfer from one area of a PRD project to another area of the same project with a lower base zone density is not permitted.**

Underlying Base Zone: Residential Medium Density

Existing Campus- DU/Acre: 7.78

Proposed Expansion- DU/Acre: 13.63

Overall Campus when Construction is Completed- DU/Acre: 8.91

The proposed density of the overall campus when construction is complete will be 8.46 units per acre. This density is consistent with the RM base zone which allows for a density range of 7.26 to 22.31 units per acre. The total number of units will be 231.

- 3. Height Limitations. Structures proposed to be developed in areas zoned PRD shall be compatible with the predominant height of the structures in adjacent neighborhoods.**

The proposed architecture has been designed to fit within the existing Northcrest Community. The architecture of the expansion area is inspired by the earlier phases of development and is intended to build unity within the campus through the repetition of these forms, materials, textures, and colors. The height of the tallest existing structure is 39'-7". New buildings will all be less than the existing campus buildings, except for the independent living (apartments) building, which is proposed at four stories with roof peaks rising to 60'. The existing Development Agreement limits the height to 50' or 4-stories, whichever is less. (See Attachment D, Existing Development Agreement and Proposed Mutual Release Agreement). There is no height restriction within the F-PRD Zone, except structures are required to be compatible with the predominant height of structures in adjacent neighborhoods.

Given the scale of this building, setbacks have been maximized as much as possible at the building's western and southern facades to minimize impact on adjacent single-family homes. The larger setbacks (over 64' to the west and 85' to the south) also allow for the installation of landscape buffers and plant material that will soften views of the building from the adjacent neighborhood.

- 4. *Minimum Yard and Setback Requirements. There are no specified yard and setback requirements in areas zoned PRD, except that structures constructed adjacent to public right-of-way and adjacent to the exterior boundary of an area zoned PRD shall comply with setback standards of the underlying base zoning regulations, unless there are physical features on the site that would justify a different setback than provided for in the base zone.***

The proposed site plan meets, and at times greatly exceeds, the setback requirements of the underlying Residential Medium Density (RM) base zone. Additional landscaping with large trees has been include in most areas adjacent to single family homes.

- 5. *Parking Requirements. Parking for uses permitted in areas zoned PRD shall comply with the parking standards in Section 29.406.***

The proposed parking exceeds the requirement of Section 29.406. Please refer to the Parking Table included within the Site Development Plan. (See Attachment H, Site Development Plan Package, Sheet L02.01.)

- 6. *Open Space Design Requirements. Open Space shall be designed as a significant and integrated feature of the entire area to be developed as a PRD project.***

Open Space is the framework for community. It has been designed with the residents of the community in mind and their range of abilities/limitations. The open space has been designed for both an active (i.e. walking, running) and a passive (i.e. sitting, viewing, listening) experience for the resident.

- 7. *Open Space Area Requirement. The area devoted to open space in a PRD project shall meet the landscape and open space requirements as set forth in the base zone standards.***

A minimum landscaped open space requirement of 40% is required for the F-PRD zone, given its base zone of Residential Medium Density (RM)- Overall Site- 47.4% Achieved

- 8. *Open Space Improvements and Amenities.***

The open space improvements and amenities have been designed with the residents of the community in mind. As a Life-Care community, there are a variety of users and range of abilities/limitations to be considered. The open space and amenities are intended to provide both an active (i.e. walking, running) and passive (i.e. sitting, viewing, listening) experience.

The Community Green:

While not the geographic center of the campus, the Community Green is intended to be known as a cultural center of the Community. It is the place for all Northcrest Community residents and their friends and greater community to come together. A flexible lawn with great pedestrian

connectivity to the greater campus will allow for many different types of uses (e.g. performance, fair/festival, lawn games) throughout the year. Power and water will be available in this space to aid in promoting a variety of different activities and to improve the ability of Northcrest Community to maintain it.

Walking/running Circuits:

A series of walking or running circuits are designed within the campus for use by all. Each circuit is unique based on the its length and topography, as well as its landscaping:

Circuit 1 - North Campus Loop- .5 Mile; Minimum grade changes.

Circuit 2 - South Campus Loop- .5 Mile; Moderate grade changes.

Circuit 3 - Central and South Campus Loo- .66 Mile; Maximum grade changes.

Circuit 4 - All Campus Loop- 1.0 Mile; Maximum grade changes.

Community Gardens:

Raised bed gardens are proposed immediately adjacent to the new maintenance facility to provide community residents with the ability to tend to a piece earth of their own. Residents may grow flowers, vegetables, herbs, or other items that feed their urge to nurture, raise, and harvest.

Picturesque Landscape:

The landscape design throughout the community has been designed to create a wonderful verdant experience whether actively walking or passively viewing. The landscape plantings provide 4 seasons of interest and will play host and habitat to several native insects and animals.

9. *Maintenance of Open Space and Site Amenities.*

All maintenance of Open Space and Site Amenities will be provided by Northcrest Community. Northcrest Community currently maintains the existing campus and will do continue to do so.

Attachment G

Findings Regarding Major Site Development Plan Criteria

Additional criteria and standards for review of all Major Site Development Plans are found in Ames *Municipal Code* Section 29.1502(4)(d) and include the following requirements.

- 1. The design of the proposed development shall make adequate provisions for surface and subsurface drainage to limit the rate of increased runoff of surface water to adjacent and downstream property.***

The proposed expansion includes development of new storm water detention facilities to meet the City's *Municipal Code* requirements to capture specified quantities of water and treat it for water quality before releasing it from the site. The primary treatment facility is located south of the new apartment building along the south property line.

- 2. The design of the proposed development shall make adequate provision for connection to water, sanitary sewer, electrical, and other utility lines within the capacity limits of those utility lines.***

The existing utilities were reviewed and found adequate to support the anticipated load of the proposed development.

- 3. The design of the proposed development shall make adequate provision for fire protection through building placement, acceptable location of flammable materials, and other measures to ensure fire safety.***

The fire inspector has reviewed access and fire truck circulation and found that the needs of the fire department are met. The main access to the site is 24th Street. The connecting private street network has been reviewed and found to meet the needs of the fire department and fire truck circulation.

- 4. The design of the proposed development shall not increase the danger of erosion, flooding, landslide, or other endangerment to adjoining and surrounding property.***

The proposed development is not anticipated to be a danger, due to its location on the site. A stormwater detention area is included at the southwest corner of the site.

- 5. Natural topographic and landscape features of the site shall be incorporated into the development design.***

There are no notable topographic features of the site. The existing landscaping is primarily existing trees planted with the development of the site as a church previously, which will be removed as part of the redevelopment.

- 6. The design of the interior vehicle and pedestrian circulation shall provide for convenient flow of vehicles and movement of pedestrians and shall prevent***

hazards to adjacent streets or property.

The expansion site is accessed off of 24th Street. The former church had two driveway cuts onto 24th Street. These will be consolidated into one. The existing on-site network of sidewalks is expanded to provide connectivity to the entire campus.

- 7. The design of outdoor parking areas, storage yards, trash and dumpster areas, and other exterior features shall be adequately landscaped or screened to minimize potential nuisance and impairment to the use of adjoining property.***

Extensive landscape screening is included of parking areas, the maintenance garage and dumpster enclosures. The general development standards of the zoning ordinance have been met.

- 8. The proposed development shall limit entrances and exits upon adjacent streets in order to prevent congestion on adjacent and surrounding streets and in order to provide for safe and orderly vehicle movement.***

The expansion site (former church) had two driveway cuts onto 24th Street. These will be consolidated into one.

- 9. Exterior lighting shall relate to the scale and location of the development in order to maintain adequate security, while preventing a nuisance or hardship to adjacent property or streets.***

A lighting plan is included in the site plan set. Lighting is appropriately located and sized to not be a nuisance or hardship to adjacent properties or streets. The lighting plan meets the City's standards for "dark sky" protection.

- 10. The proposed development shall ensure that dust and other forms of air pollution, noise disturbances, odor, glare, and other nuisances will be limited to acceptable levels as prescribed in other applicable State and City regulations.***

The proposed development is not expected to generate any nuisances as a residential development.

- 11. Site coverage, building scale, setbacks, and open spaces shall be in proportion with the development property and with existing and planned development and structures, in adjacent and surrounding property.***

The building layout complies with the development standards of the F-PRD zone for site coverage and open space requirements. The individual buildings comply with the RM base zone supplemental developmental standards. The architecture of the expansion area is compatible with the character and scale of the existing senior living retirement community. Large setbacks are planted with trees and shrubs to visually buffer the adjacent single family neighborhood. Open space areas and amenities are included for the residents of the community and exceed the standards of the code.

Attachment H- Site Plan Application Materials

Rendering of the Expansion Area within the Neighborhood Context



ORDINANCE NO. _____

AN ORDINANCE AMENDING THE OFFICIAL ZONING MAP OF THE CITY OF AMES, IOWA, AS PROVIDED FOR IN SECTION 29.301 OF THE MUNICIPAL CODE OF THE CITY OF AMES, IOWA, BY CHANGING THE BOUNDARIES OF THE DISTRICTS ESTABLISHED AND SHOWN ON SAID MAP AS PROVIDED IN SECTION 29.1507 OF THE MUNICIPAL CODE OF THE CITY OF AMES, IOWA; REPEALING ALL ORDINANCES AND PARTS OF ORDINANCES IN CONFLICT HEREWITH AND ESTABLISHING AN EFFECTIVE DATE

BE IT HEREBY ORDAINED by the City Council of the City of Ames, Iowa;

Section 1: The Official Zoning Map of the City of Ames, Iowa, as provided for in Section 29.301 of the *Municipal Code* of the City of Ames, Iowa, is amended by changing the boundaries of the districts established and shown on said Map in the manner authorized by Section 29.1507 of the *Municipal Code* of the City of Ames, Iowa, as follows: That the real estate, generally located at 1801-20th Street and 2008-24th Street, is rezoned from High-Density Residential (RH) to Planned Residence District (F-PRD).

Real Estate Description: LOT 1, NORTHCREST SUBDIVISION, AN OFFICIAL PLAT IN THE CITY OF AMES, STORY COUNTY, IOWA AND THE WEST HALF (W1/2) OF THE NORTHEAST QUARTER (NE1/4) OF THE SOUTHWEST QUARTER (SW1/4) OF THE NORTHWEST QUARTER (NW1/4) OF SECTION THIRTY-FOUR (34), TOWNSHIP EIGHTY-FOUR (84) NORTH, RANGE TWENTY-FOUR (24) WEST OF THE 5TH P.M., STORY COUNTY, IOWA EXCEPT THE NORTH 35.00 FEET THEREOF.

Section 2: All other ordinances and parts of ordinances in conflict herewith are hereby repealed to the extent of such conflict.

Section 3: This ordinance is in full force and effect from and after its adoption and publication as provided by law.

ADOPTED THIS _____ day of _____, 2018.

Diane R. Voss, City Clerk

John A. Haila, Mayor

SITE PLAN SUBMITTAL

PROJECT NUMBER: 3001566.91

DATE: JUNE 22, 2018, REVISED JULY 18, 2018

DRAWING INDEX: CIVIL ENGINEERING
 C1.0 EXISTING SITE SURVEY
 C1.1 EXISTING SITE SURVEY - ENLARGEMENT
 C2.0 SITE UTILITY DEMOLITION PLAN
 C3.0 GRADING PLAN
 C3.1 EROSION CONTROL, INFORMATION AND DETAILS
 C4.0 STORM SEWER PLAN
 C5.0 UTILITY PLAN - WATER MAIN
 C6.0 UTILITY PLAN - SANITARY SEWER
 C6.1 SANITARY SEWER PLAN AND PROFILE

LANDSCAPE ARCHITECTURAL
 L02.01 SITE LAYOUT NOTES
 L02.02 NORTH LAYOUT PLAN
 L02.03 SOUTH LAYOUT PLAN
 L04.01 SITE PLANTING NOTES
 L04.02 SITE PLANTING NOTES
 L04.03 SITE PLANTING PLAN

ELECTRICAL
 E0.0 ELECTRICAL SITE PLAN
 E1.10M MAINTENANCE GARAGE - ELECTRICAL & LIGHTING
 E1.10 S & A 6 STALL GARAGES - ELECTRICAL & LIGHTING
 E2.01 ELECTRICAL RISERS & DETALS
 E08.01 ELECTRICAL RISER DIAGRAM

ARCHITECTURAL
 A01-01 - FLOOR PLAN - LEVEL 1 AREAS G, L, M, N
 A01-01 - FLOOR PLAN - AREA G - ADMIN WING
 A01-02 - FLOOR PLAN - AREA G - SERVICE WING
 A01-1 - FLOOR PLAN - AREA L
 A01-M1 - FLOOR PLAN - AREA M - LEVEL 1
 A01-M2 - FLOOR PLAN - AREA M - LEVEL 2
 A01-N1 - FLOOR PLAN - AREA N - LEVELS 1 & 1
 A01-N2 - FLOOR PLANS - AREA N - LEVELS 2 & 3
 A01-N3 - FLOOR PLAN - AREA N - LEVEL 4
 A01-10 - RESIDENT GARAGES
 A01-10M - MAINTENANCE GARAGE
 A08-01 - EXTERIOR ELEVATIONS - AREA G
 A08-A - EXTERIOR ELEVATIONS - AREA L
 A08-M1 - EXTERIOR ELEVATIONS - AREA M
 A08-N1 - EXTERIOR ELEVATIONS - AREA N
 A08-N2 - EXTERIOR ELEVATIONS - AREA N

GENERAL SITE INFORMATION

SITE ADDRESS: 1801 20TH ST & 2008 24TH ST
 AMES, IA 50010

OWNER/APPLICANT CONTACT: LINDA DOYLE
 NORTHCREST COMMUNITY
 1801 20TH STREET
 AMES, IA 50010
 515-232-6780

PLAN PREPARER CONTACT: LAURA KESSEL
 RDG PLANNING & DESIGN
 301 GRAND AVENUE
 DES MOINES, IA 50309
 515-288-3141
 LKESSEL@RDGUSA.COM

SITE LEGAL DESCRIPTION: LOT 1, NORTHCREST SUBDIVISION, AN OFFICIAL PLAT IN THE CITY OF AMES, STORY COUNTY, IOWA AND THE WEST HALF (W/2) OF THE NORTHEAST QUARTER (NE 1/4) OF THE SOUTHWEST QUARTER (SW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION THIRTYFOUR (34), TOWNSHIP EIGHTYFOUR (84) NORTH, RANGE TWENTYFOUR (24) WEST OF THE 5TH P.M., STORY COUNTY, IOWA.

ZONING & LAND USE: EXISTING ZONING: RH
 PROPOSED ZONING: F-IND

LANDSCAPE ARCHITECTURAL

I hereby certify that the portion of the technical submission described below was prepared by me or under my direct supervision and responsible charge. I am a duly licensed professional landscape architect under the laws of the state of Iowa.

License Expires: June 30, 2019

G.W. Justin Platts, PLA Iowa Lic. # 519 Date

Pages or sheets covered by this seal:

SHEETS L02 Series, L04 Series



I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

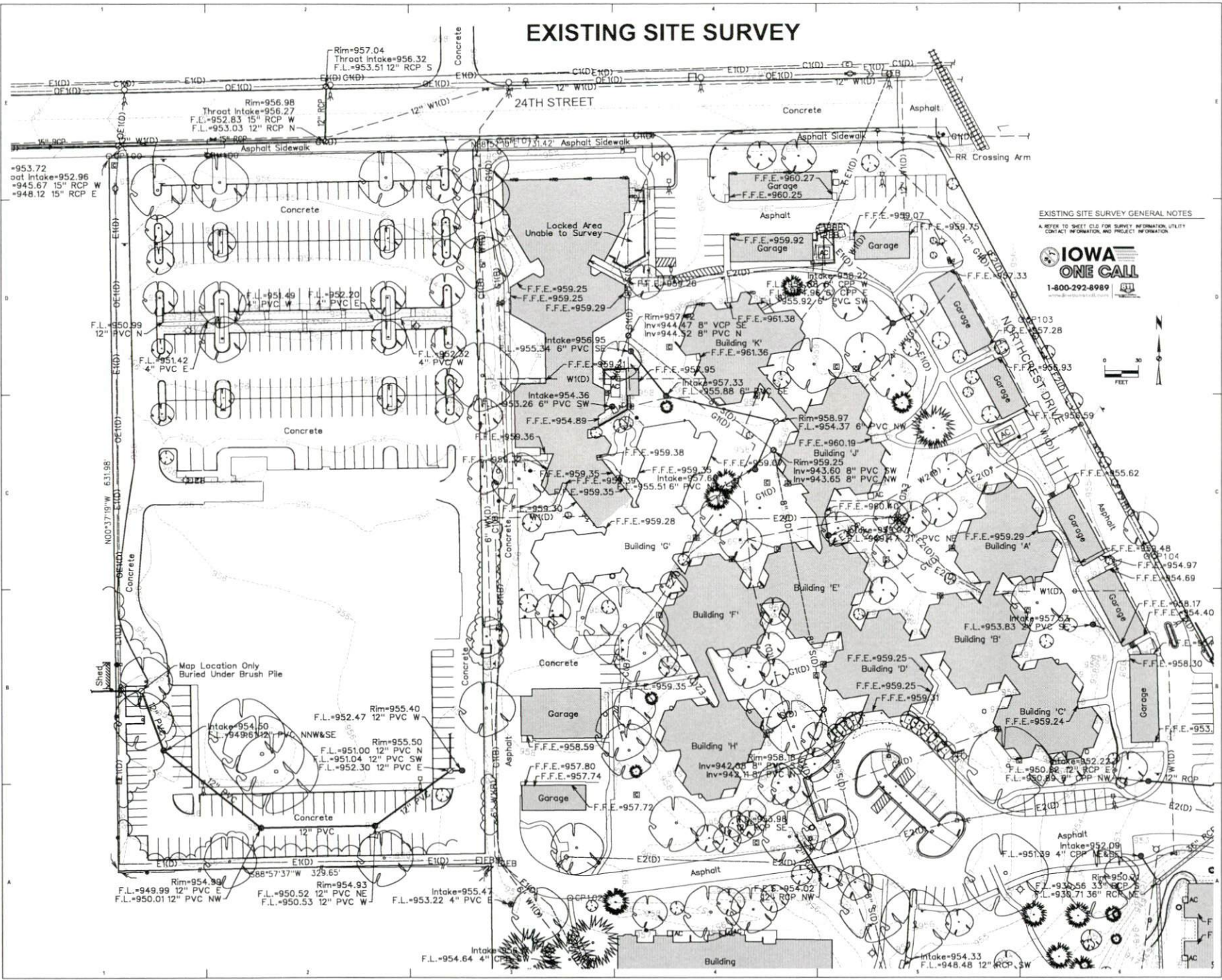
Jason A. Ledden, P.E. Date

License Number 24117

My License Renewal Date is December 31, 2018

Pages or sheets covered by this seal:

EXISTING SITE SURVEY



EXISTING SITE SURVEY GENERAL NOTES
 A REFER TO SHEET C1.0 FOR SURVEY INFORMATION, UTILITY CONTACT INFORMATION AND PROJECT INFORMATION.



SITE PLAN SUBMITTAL

PRELIMINARY - NOT FOR CONSTRUCTION

NORTHCREST COMMUNITY REPOSITIONING



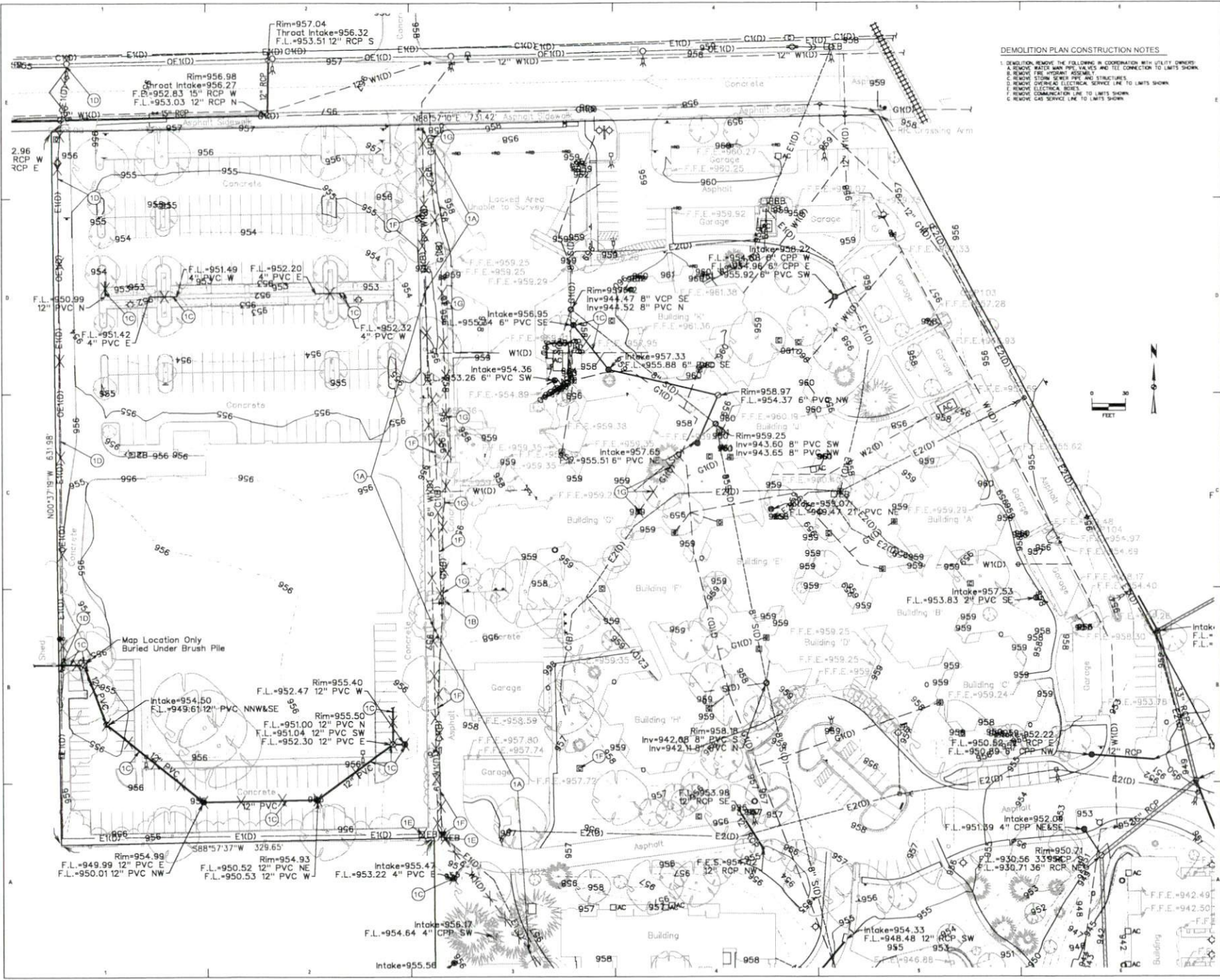
STRUCTURAL
 MECH/ELEC/PLUMB
 LANDSCAPE
 INTERIORS

1801 20th Street
 Ames, IA 50010



RDG Planning & Design
 1801 20th Street
 Ames, IA 50010
 515.341.1111
 www.rdgplanning.com

Existing Site Survey - Enlargement



DEMOLITION PLAN CONSTRUCTION NOTES

- DEMOLITION REMOVE THE FOLLOWING IN COOPERATION WITH UTILITY OWNERS:
 - REMOVE WATER MAIN PIPES AND TILE CONNECTOR TO LIMITS SHOWN.
 - REMOVE THE HYDRA-ARM ASSEMBLY.
 - REMOVE OVERHEAD ELECTRICAL SERVICE LINE TO LIMITS SHOWN.
 - REMOVE OVERHEAD ELECTRICAL SERVICE LINE TO LIMITS SHOWN.
 - REMOVE COMMUNICATION LINE TO LIMITS SHOWN.
 - REMOVE GAS SERVICE LINE TO LIMITS SHOWN.

NORTHCREST COMMUNITY REPOSITIONING PRELIMINARY - NOT FOR CONSTRUCTION SITE PLAN SUBMITTAL

1801 20th Street
Ames, IA 50010

RDG
PLANNING & DESIGN

STRUCTURAL
DORIS M. HARRIS, P.E.
1801 20th Street, Ames, IA 50010
515.281.1111

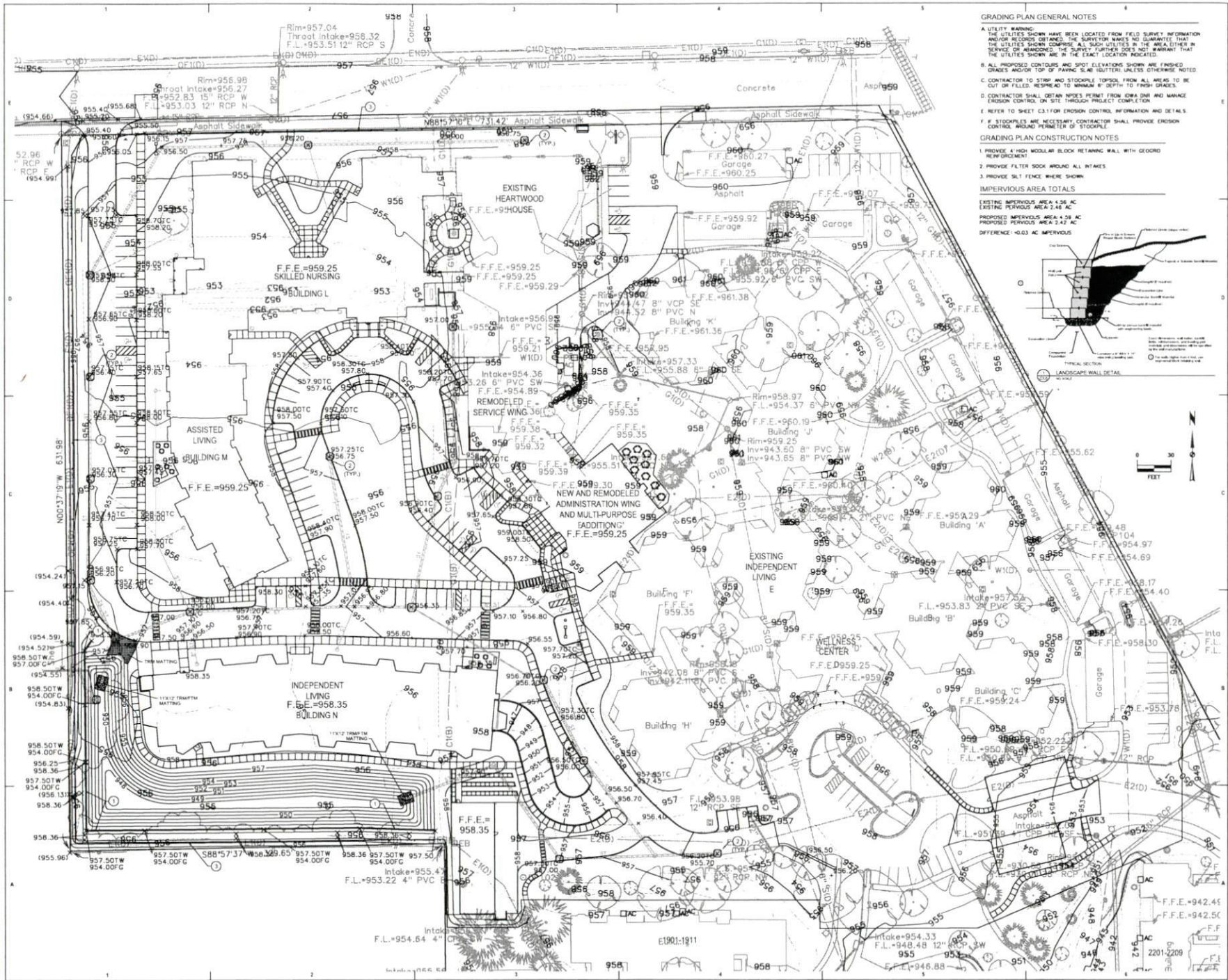
ARCHITECTURAL
DORIS M. HARRIS, P.E.
1801 20th Street, Ames, IA 50010
515.281.1111

MECHANICAL/ELECTRICAL
DORIS M. HARRIS, P.E.
1801 20th Street, Ames, IA 50010
515.281.1111

LANDSCAPE
DORIS M. HARRIS, P.E.
1801 20th Street, Ames, IA 50010
515.281.1111

Site Utility Demolition Plan

C2.0



GRADING PLAN GENERAL NOTES

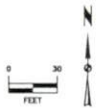
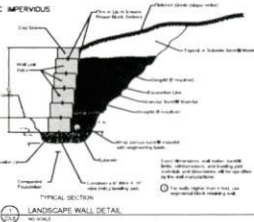
- A. UTILITY WARNING: THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
- B. ALL PROPOSED CONTIGUES AND SPOT ELEVATIONS SHOWN ARE FINISHED GRADES AND/OR TOP OF FINISH SLAB ELEVATIONS UNLESS OTHERWISE NOTED.
- C. CONTRACTOR TO STRIP AND STOCKPILE TOPSOIL FROM ALL AREAS TO BE CUT OR FILLED RESPIREAD TO MINIMUM 4" DEPTH TO FRESH GRADES.
- D. CONTRACTOR SHALL OBTAIN NEPES PERMIT FROM IDNR AND MANAGE EROSION CONTROL ON SITE THROUGH PROJECT COMPLETION.
- E. REFER TO SHEET C3.1 FOR EROSION CONTROL INFORMATION AND DETAILS.
- F. IF STOCKPILES ARE NECESSARY, CONTRACTOR SHALL PROVIDE EROSION CONTROL AROUND PERIMETER OF STOCKPILE.

GRADING PLAN CONSTRUCTION NOTES

- 1. PROVIDE 4" HIGH WOODLUM BLOCK RETAINING WALL WITH GEOTEXT REINFORCEMENT.
- 2. PROVIDE FILTER SOCK AROUND ALL INTAKES.
- 3. PROVIDE SILT FENCE WHERE SHOWN.

IMPERVIOUS AREA TOTALS

EXISTING IMPERVIOUS AREA 4.26 AC
 EXISTING PERVIOUS AREA 2.48 AC
 PROPOSED IMPERVIOUS AREA 4.26 AC
 PROPOSED PERVIOUS AREA 2.47 AC
 DIFFERENCE: +0.03 AC IMPERVIOUS



SITE PLAN SUBMITTAL

PRELIMINARY - NOT FOR CONSTRUCTION

NORTHCREST COMMUNITY REPOSITIONING

1801 20th Street
Ames, IA 50010

STRUCTURAL

CIVIL

ARCHITECTURE

MECHANICAL

ELECTRICAL

LANDSCAPE

INTERIORS

MEP/ELECT/PLUMB

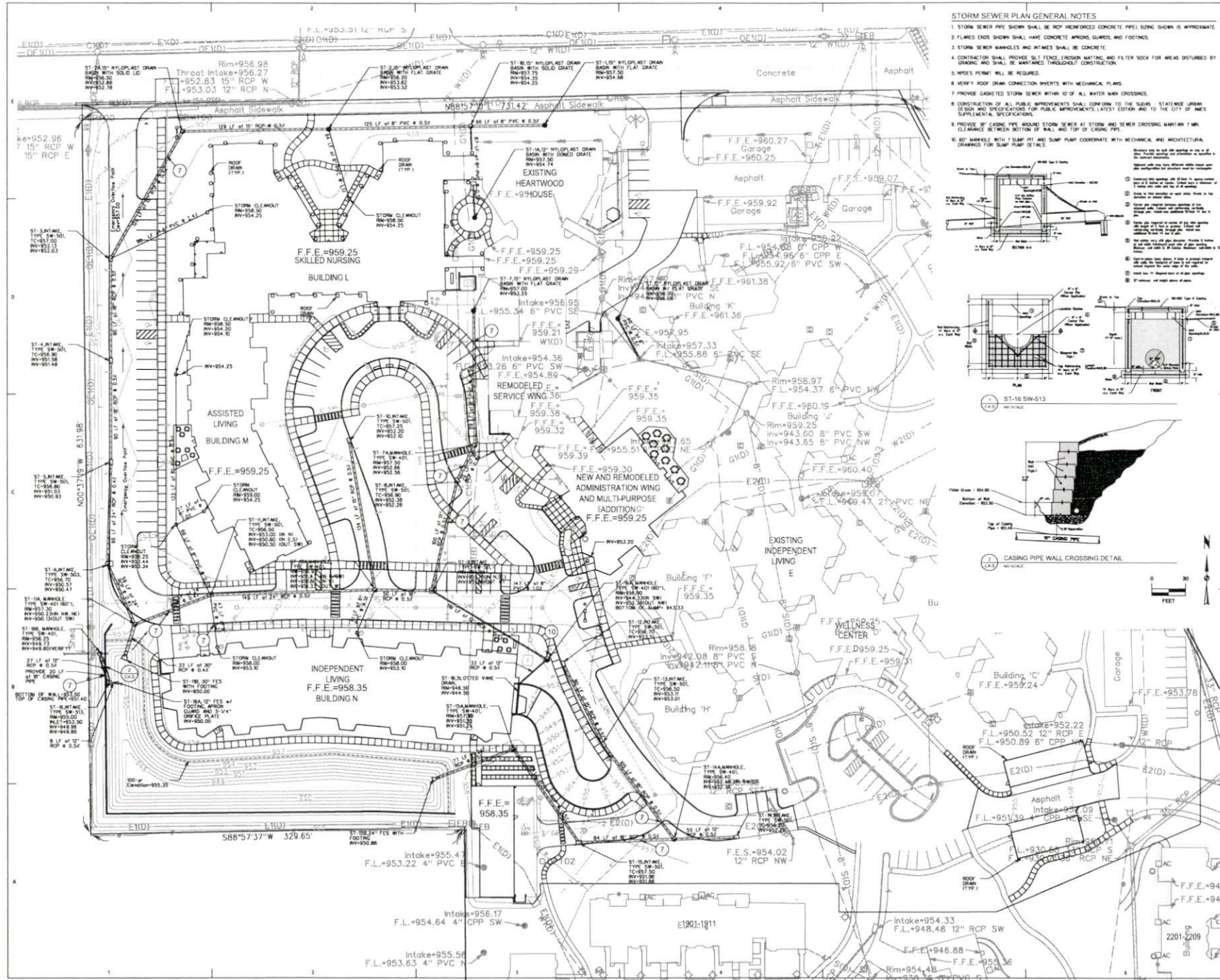
RDG

RDG Planning & Design

1801 20th Street
Ames, IA 50010
515.274.1111

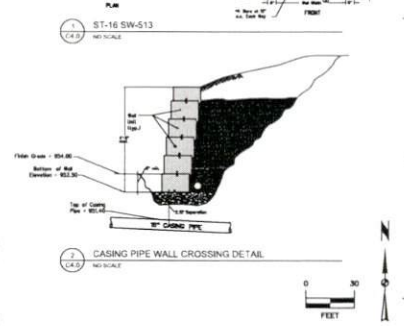
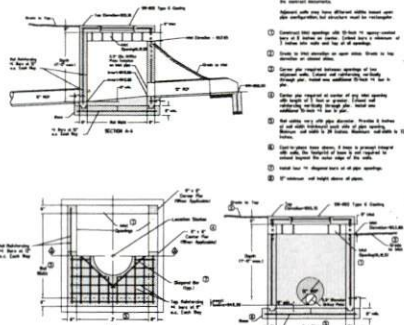
NO.	DESCRIPTION	DATE	BY	CHECKED

Grading Plan
C3.0



STORM SEWER PLAN GENERAL NOTES

1. STORM SEWER PIPE SHOWN SHALL BE RCP UNREINFORCED CONCRETE (PIPE SIZING SHOWN IS APPROXIMATE)
2. FLARED ENDS SHOWN SHALL HAVE CONCRETE APPROX. GUMMS AND FOOTINGS.
3. STORM SEWER MANHOLES AND INTAKES SHALL BE CONCRETE.
4. CONTRACTOR SHALL PROVIDE SILT FENCE, EROSION MATTING, AND FILTER SOCK FOR AREAS DISTURBED BY GRADING AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
5. WRITES PERMIT WILL BE REQUIRED.
6. VERIFY ROOF DRAIN CONNECTION INVERTS WITH MECHANICAL PLANS.
7. PROVIDE CASHEED STORM SEWER WITHIN 10' OF ALL WATER MAIN CROSSINGS.
8. CONSTRUCTION OF ALL PUBLIC IMPROVEMENTS SHALL CONFORM TO THE SLUICHS, STATEWIDE URBAN DESIGN AND SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, LATEST EDITION AND TO THE CITY OF AMES SUPPLEMENTAL SPECIFICATIONS.
9. PROVIDE 30" CASING PIPE AROUND STORM SEWER AT STORM AND SEWER CROSSING MAINTAIN 1" MIN. CLEARANCE BETWEEN BOTH OF WALL AND TOP OF CASING PIPE.
10. 60" MANHOLE WITH 12" SLUMP PIT AND SLUMP PUMP COORDINATE WITH MECHANICAL AND ARCHITECTURAL DRAWINGS FOR SLUMP PUMP DETAILS.

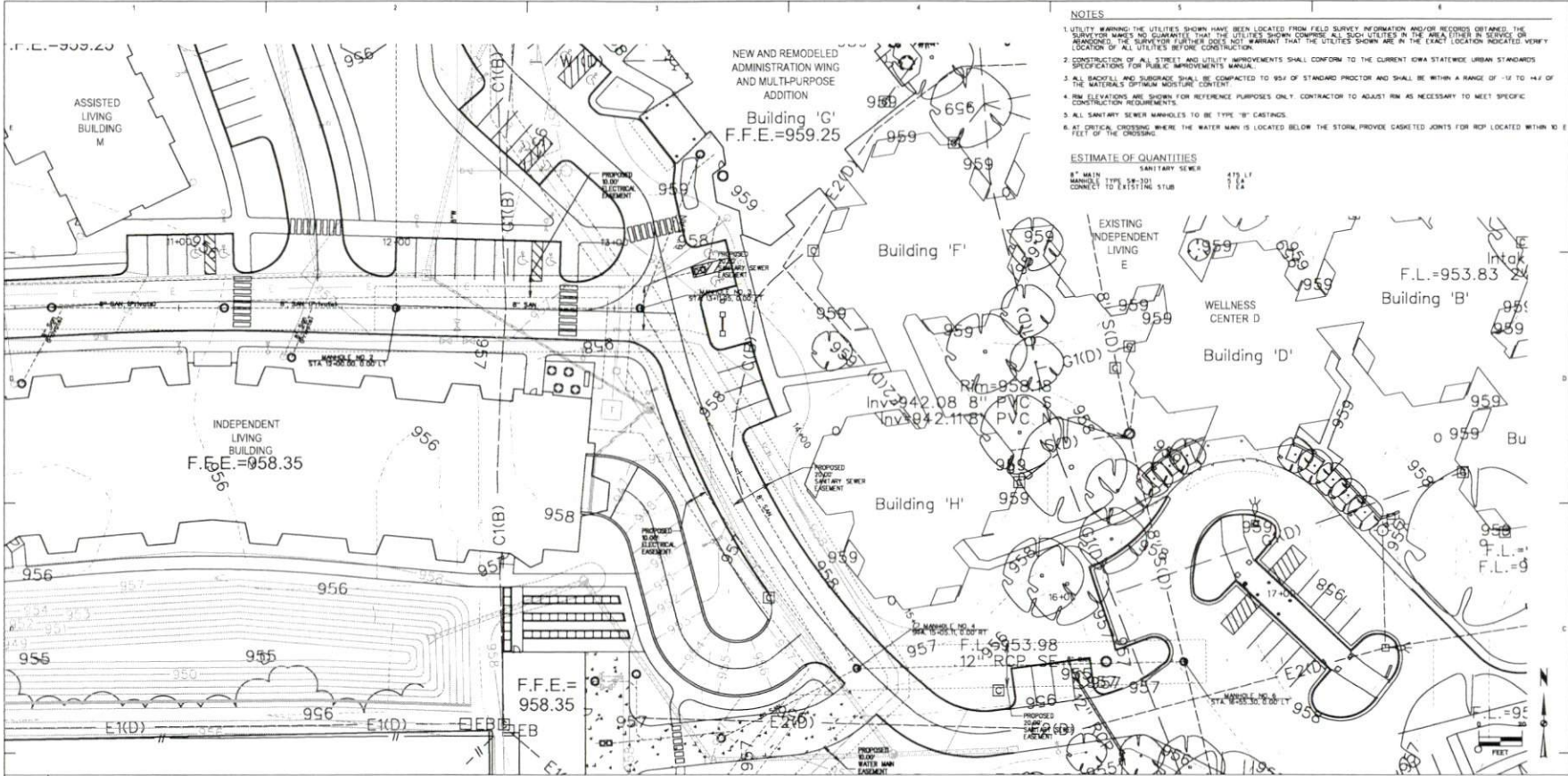


SITE PLAN SUBMITTAL
PRELIMINARY - NOT FOR CONSTRUCTION
NORTHCREST COMMUNITY REPOSITIONING

RDG
 PLANNING & DESIGN
 1801 20th Street
 Ames, IA 50010
 PHONE: 515.281.1111
 FAX: 515.281.1112
 WWW: RDG-DESIGN.COM

ARCHITECTURAL
 CIVIL
 ELECTRICAL
 MECHANICAL
 INTERIORS
 LANDSCAPE
 MECHANICAL PLUMB

Storm Sewer Plan
C4.0

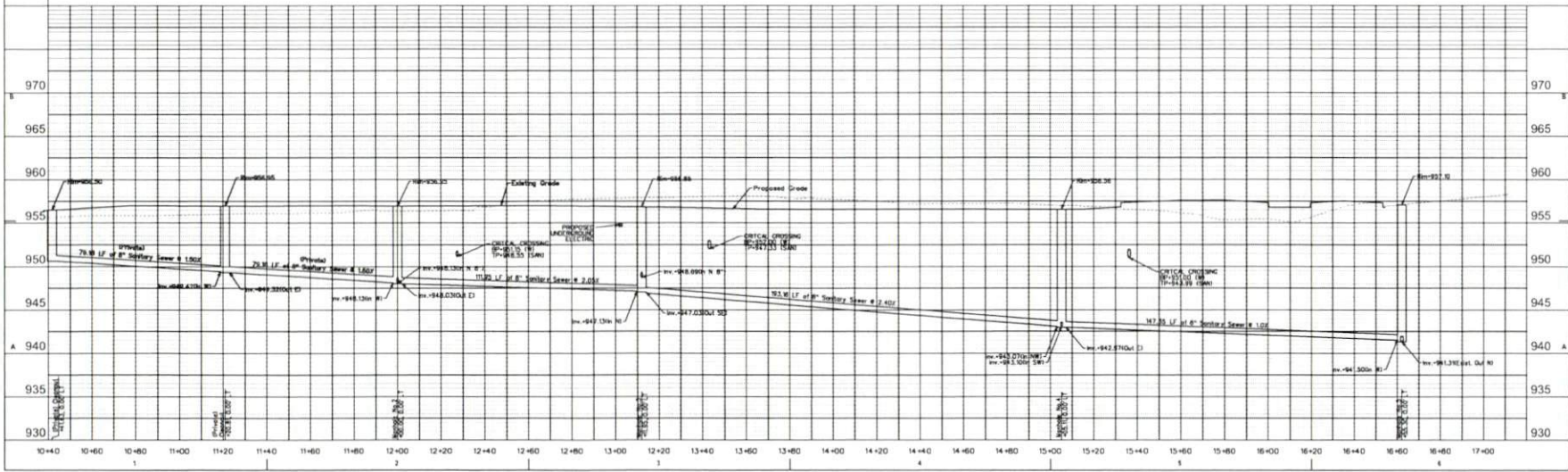


NOTES

- UTILITY WARNING: THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA OTHER THAN SERVICE OR REARINGS. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. VERIFY LOCATION OF ALL UTILITIES BEFORE CONSTRUCTION.
- CONSTRUCTION OF ALL STREETS AND UTILITY IMPROVEMENTS SHALL CONFORM TO THE CURRENT IOWA STATEWIDE URBAN STANDARDS SPECIFICATIONS FOR PUBLIC IMPROVEMENTS MANUAL.
- ALL SCHEDULES AND SCHEDULES SHALL BE CONTRACTED TO 95% OF STANDARD PROCTOR AND SHALL BE WITHIN A RANGE OF -12 TO +4% OF THE MATERIAL'S OPTIMUM MOISTURE CONTENT.
- RIM ELEVATIONS ARE SHOWN FOR REFERENCE PURPOSES ONLY. CONTRACTOR TO ADJUST RIM AS NECESSARY TO MEET SPECIFIC CONSTRUCTION REQUIREMENTS.
- ALL SANITARY SEWER MANHOLES TO BE TYPE "B" CASTINGS.
- AT CRITICAL CROSSING WHERE THE WATER MAIN IS LOCATED BELOW THE STORM, PROVIDE CASKETS JOINTS FOR RCP LOCATED WITHIN 10 FEET OF THE CROSSING.

ESTIMATE OF QUANTITIES

ESTIMATE OF QUANTITIES	SANITARY SEWER
8" MAIN	117.1'
MANHOLE TYPE 15'-10"	1
CONNECT TO EXISTING STUB	1



SITE PLAN SUBMITTAL

PRELIMINARY - NOT FOR CONSTRUCTION

NORTHCREST COMMUNITY REPOSITIONING

1801 20th Street
Ames, IA 50010

Sanitary Sewer
Plan and Profile

C6.1



RDG Planning & Design
1801 20th Street
Ames, IA 50010
515.281.1111
www.rdgplanning.com

RDG
PLANNING & DESIGN

PROFESSIONAL
REGISTERED
LANDSCAPE ARCHITECT
REGISTERED
MECHANICAL ENGINEER

REGISTERED
LANDSCAPE ARCHITECT
REGISTERED
MECHANICAL ENGINEER

REGISTERED
LANDSCAPE ARCHITECT
REGISTERED
MECHANICAL ENGINEER

REGISTERED
LANDSCAPE ARCHITECT
REGISTERED
MECHANICAL ENGINEER

REGISTERED
LANDSCAPE ARCHITECT
REGISTERED
MECHANICAL ENGINEER

REGISTERED
LANDSCAPE ARCHITECT
REGISTERED
MECHANICAL ENGINEER

REGISTERED
LANDSCAPE ARCHITECT
REGISTERED
MECHANICAL ENGINEER

REGISTERED
LANDSCAPE ARCHITECT
REGISTERED
MECHANICAL ENGINEER

REGISTERED
LANDSCAPE ARCHITECT
REGISTERED
MECHANICAL ENGINEER

REGISTERED
LANDSCAPE ARCHITECT
REGISTERED
MECHANICAL ENGINEER

REGISTERED
LANDSCAPE ARCHITECT
REGISTERED
MECHANICAL ENGINEER

REGISTERED
LANDSCAPE ARCHITECT
REGISTERED
MECHANICAL ENGINEER

REGISTERED
LANDSCAPE ARCHITECT
REGISTERED
MECHANICAL ENGINEER

SITE LAYOUT PLAN NOTES

- All construction materials, dumpsters, detached trailers, or similar items are prohibited on public streets or within the public right-of-way.
- Verify coordinates prior to construction.
- All dimensions are from back of curb to back of curb, edge of pavements, property lines, or face of foundation walls, unless otherwise noted.
- The Paving Contractor shall submit a pavement (slab) plan, based on the recommendations of Portland Cement Association and the Iowa Ready Mixed Concrete Association, for review a minimum of 15 days prior to commencement of paving operations. No compensation for removal and replacement of installed pavement, due to unacceptable joint placement, will be allowed resulting from failure to comply with this requirement.
- The Contractor shall furnish and place all necessary traffic signs and/or barricades during construction in accordance with the Manual of Uniform Traffic Control Devices for Streets and Highways as amended and accepted by the local controlling authority. Contractor shall submit a traffic control plan to Public Work/Engineering prior to commencing any work within the City R.O.W.
- If required by the Irrigation Plan, Mechanical Plan, or Electrical Plan, the Paving Contractor shall provide and place all sleeves or conduits under the paving and provide locates for future use.
- All construction materials, dumpsters, detached trailers, or similar items are prohibited on public streets or within the public right-of-way.
- Work within the City ROW will require a ROW permit.

**NORTHCREST
EXISTING/PROPOSED USES &
PARKING ANALYSIS**

EXISTING INDEPENDENT LIVING APARTMENTS (TO REMAIN)									
APARTMENT BUILDING	# of Units	Unit Type	Resident Living Space sq. footage	Common Space sq. footage	Total sq. footage	Code: Parking Spaces Required	Parking Spaces Provided in Individual Garages	Parking Spaces Provided in General Surface Parking	Notes
A BUILDING	1	Apts.	4,388	876	5,264	5			
B1 B BUILDING (1ST FLOOR)	1	Apts.	4,388	876	5,264	5			Per Area Code for Independent Senior Living Apartments.
B2 B BUILDING (2ND FLOOR)	4	Apts.	4,388	876	5,264	4			
C BUILDING	1	Apts.	5,289	0	5,289	5			See Staff Parking Analysis for Full Campus.
D BUILDING	1	Apts.	6,073	0	6,073	See Staff Parking Analysis			See Staff Parking Analysis for Full Campus.
E BUILDING (BASEMENT)	2	Apts.	4,388	876	5,264	See Staff Parking Analysis			
F BUILDING (1ST FLOOR)	1	Apts.	4,388	876	5,264	5			Per Area Code for Independent Senior Living Apartments.
G BUILDING (1ST FLOOR)	3	Apts.	4,388	876	5,264	6			
H BUILDING (2ND FLOOR)	4	Apts.	4,388	876	5,264	4			
I BUILDING	4	Apts.	4,388	876	5,264	5			
J BUILDING (BASEMENT)	0	Apts.	0	5,807	5,807	See Staff Parking Analysis			See Staff Parking Analysis for Full Campus.
K BUILDING (1ST FLOOR)	1	Apts.	5,006	801	5,807	5			Per Area Code for Independent Senior Living Apartments.
L BUILDING (2ND FLOOR)	3	Apts.	5,006	801	5,807	5			
M BUILDING (BASEMENT)	1	Apts.	0	5,807	5,807	See Staff Parking Analysis			See Staff Parking Analysis for Full Campus.
N BUILDING (1ST FLOOR)	1	Apts.	5,006	801	5,807	5			Per Area Code for Independent Senior Living Apartments.
O BUILDING (2ND FLOOR)	1	Apts.	5,006	801	5,807	5			
P BUILDING (3RD FLOOR)	1	Apts.	5,006	801	5,807	5			
Independent Living Apartments Total	68	Apts.	68,810	38,837	108,147	68	53	15	
EXISTING HEARTWOOD HOUSE - Quarterly Licensed Nursing Facility (TO REMAIN)									
Heartwood House Total	# of Units	Unit Type	Resident Living Space sq. footage	Common Space sq. footage	Total sq. footage	Code: Parking Spaces Required	Parking Spaces Provided in Individual Garages	Parking Spaces Provided in General Surface Parking	Notes
Heartwood House Total	14	Beds	4223	3883	7833	3	0	3	Per Area Code for Group Living; Nursing homes 1 space for every 5 beds also staff parking as shown in a part of campus-wide staff calculations.
EXISTING INDEPENDENT LIVING - TOWNHOMES (TO REMAIN)									
1980 TOWNHOMES	# of Units	Unit Type	Resident Living Space sq. footage	Common Space sq. footage	Total sq. footage	Code: Parking Spaces Required	Parking Spaces Provided in Individual Garages	Parking Spaces Provided in General Surface Parking	Notes
1980-18-15	3	Townhomes	12,443	1,696	14,139	3	0		Prohibit parking quantity includes increased garage spaces only. Attached garage space is included in resident living space of curb.
1980-18-21	4	Townhomes	18,858	2,411	21,269	4	0		
1980-18-25	4	Townhomes	18,858	2,411	21,269	4	0		
Subtotal	11	Townhomes	44,159	6,518	50,677	11	0	0	
1982 TOWNHOMES	# of Units	Unit Type	Resident Living Space sq. footage	Common Space sq. footage	Total sq. footage	Code: Parking Spaces Required	Parking Spaces Provided in Individual Garages	Parking Spaces Provided in General Surface Parking	Notes
1982-18-11	5	Townhomes	7,754	1,369	9,123	5	0		
1982-18-16	5	Townhomes	13,801	2,361	16,162	5	0		
1982-18-20	5	Townhomes	13,366	2,361	15,727	5	0		
1982-18-24	2	Townhomes	8,373	1,417	9,790	2	0		
1982-18-28	2	Townhomes	8,373	1,417	9,790	2	0		
Subtotal	21	Townhomes	48,667	8,965	57,632	21	0	0	
LOCUST HILL TOWNHOMES									
2767-2770	4	Townhomes	15,514	0	15,514	4	0		
2774-2777	2	Townhomes	7,937	0	7,937	2	0		
2227-2230	4	Townhomes	15,514	0	15,514	4	0		
Subtotal	10	Townhomes	38,965	0	38,965	10	0	0	
PROPOSED INDEPENDENT LIVING APARTMENTS - BUILDING A									
Proposed Building A Total	# of Units	Unit Type	Resident Living Space sq. footage	Common Space sq. footage	Total sq. footage	Code: Parking Spaces Required	Parking Spaces Provided in Individual Garages	Parking Spaces Provided in General Surface Parking	Notes
Proposed Building A Total	48	Apts.	Not Calculated	Not Calculated	116,436	48	33	1	Per Area Code for Independent Senior Living Apartments, underground parking includes 2 accessible spaces (1 van accessible). An additional accessible parking space is provided in the Central Surface Parking Area directly north of the main entry to the building.
PROPOSED ASSISTED LIVING - BUILDING B									
Proposed Building B Total	# of Units	Unit Type	Resident Living Space sq. footage	Common Space sq. footage	Total sq. footage	Code: Parking Spaces Required	Parking Spaces Provided in Individual Garages	Parking Spaces Provided in General Surface Parking	Notes
Proposed Building B Total	32	Apts.	Not Calculated	Not Calculated	84,886	32	0	32	Per Area Code for Independent Senior Living Apartments.
PROPOSED SKILLED NURSING - BUILDING C									
Proposed Building C Total	# of Units	Unit Type	Resident Living Space sq. footage	Common Space sq. footage	Total sq. footage	Code: Parking Spaces Required	Parking Spaces Provided in Individual Garages	Parking Spaces Provided in General Surface Parking	Notes
Proposed Building C Total	24	Beds	Not Calculated	Not Calculated	21,353	0	0	0	Per Area Code for Group Living; Nursing homes 1 space for every 5 beds also staff parking as shown in a part of campus-wide staff calculations.
REMODELED SERVICE WING									
Remodeled Service Wing Total	# of Units	Unit Type	Resident Living Space sq. footage	Common Space sq. footage	Total sq. footage	Code: Parking Spaces Required	Parking Spaces Provided in Individual Garages	Parking Spaces Provided in General Surface Parking	Notes
Remodeled Service Wing Total	3	Guest Rooms	Not Calculated	Not Calculated	16,684	3	0	0	Ratio of 1 space per guest room per decision with City of Ames on 5/8/2019.
NEW AND REMODELED ADMINISTRATION WING AND MULTIPURPOSE ADDITION									
Administration Wing Total	# of Units	Unit Type	Resident Living Space sq. footage	Common Space sq. footage	Total sq. footage	Code: Parking Spaces Required	Parking Spaces Provided in Individual Garages	Parking Spaces Provided in General Surface Parking	Notes
Administration Wing Total	0	Beds	Not Calculated	Not Calculated	10,398	See Staff Parking Analysis	0	0	See Campus-Wide Staff Parking Analysis Below.
CAMPUS-WIDE STAFF AT PEAK SHIFT									
Campus-Wide Staff Total	# of STAFF	Unit Type	Resident Living Space sq. footage	Common Space sq. footage	Total sq. footage	Code: Parking Spaces Required	Parking Spaces Provided in Individual Garages	Parking Spaces Provided in General Surface Parking	Notes
Campus-Wide Staff Total	76	FTE	NA	NA	NA	35	0	35	Per Area Code for Group Living; Nursing homes 1 (access) staff members of the campus will take access based on total count as shown above.
SURPLUS PARKING NOT REQUIRED BY CODE									
SURPLUS PARKING TOTAL	# of Units	Unit Type	Resident Living Space sq. footage	Common Space sq. footage	Total sq. footage	Code: Parking Spaces Required	Parking Spaces Provided in Individual Garages	Parking Spaces Provided in General Surface Parking	Notes
SURPLUS PARKING TOTAL	NA	NA	NA	NA	NA	0	0	67	
NORTHCREST TOTAL									
Total for full campus (existing and proposed)	231	Varies	Not Calculated	Not Calculated	429,473	236	171	191	
GENERAL CAMPUS SURFACE PARKING BY AREA & ACCESSIBILITY									
AREA	Parking Spaces	Parking Type	Accessible Spaces Required (Including Van Spaces)	Accessible Van Spaces Required	Total Accessible Spaces Provided (Including Van Spaces)	Total Van Spaces Provided	Notes		
Proposed West Parking along Main Entry Drive	32	Surface	2	1	2	2			
Proposed and Existing Central Parking Area	75	Surface	5	1	14	5			
Proposed and Existing NE Service Drive	29	Surface	2	1	2	2			
Existing South Campus Surface Parking	55	Surface	1	1	3	3			
Total Surface Parking	191	Surface	12	4	21	12			

NORTHCREST COMMUNITY REPOSITIONING PRELIMINARY - NOT FOR CONSTRUCTION SITE PLAN SUBMITTAL

1801 20th Street
Ames, IA 50010

RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

ARCHITECT/MEP
CIVIL
STRUCTURAL
MECHANICAL/ELECTRICAL
LANDSCAPE
INTERIORS

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
515.282.1111
rdg@rdgplanning.com

RDG
RDG Planning & Design
1111 North Street
Ames, IA 50010
5



MATERIALS LEGEND

- 7\" - PPC PAVEMENT TYPE 1
- 8\" - PPC PAVEMENT TYPE 2
- 5\" - PPC PAVEMENT TYPE 3

SITE LAYOUT PLAN NOTES

1. All construction materials, slumpsters, detached trailers, or similar items are prohibited on public streets or within the public right-of-way.

SITE PLAN SUBMITTAL

PRELIMINARY - NOT FOR CONSTRUCTION

NORTHCREST COMMUNITY REPOSITIONING



STRUCTURAL
 CIVIL
 ARCHITECTURE
 MECHANICAL/ELECTRICAL/PLUMBING
 LANDSCAPE
 INTERIORS

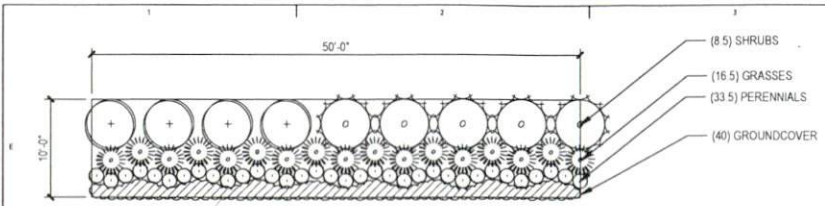
1801 20th Street
 Ames, IA 50010



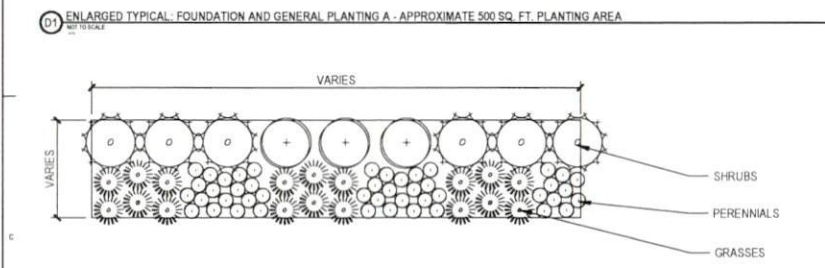
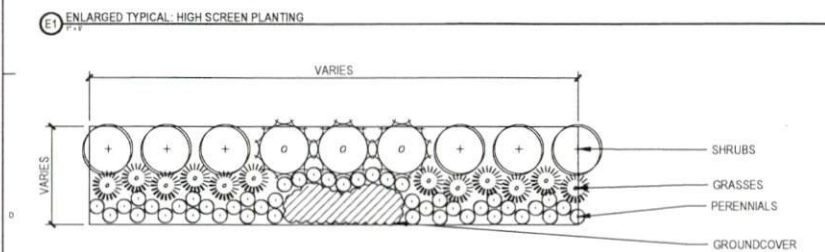
DATE	DESCRIPTION

SOUTH LAYOUT PLAN

L02.03



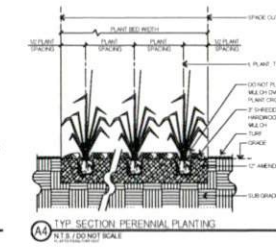
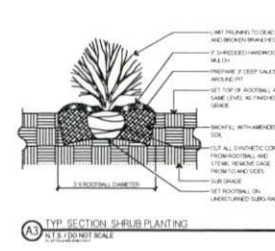
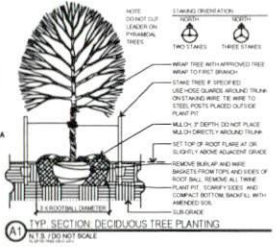
- ### SITE PLANTING PLAN NOTES
- Finish grades in all landscape areas are to be reviewed by the Landscape Architect prior to any seeding, sodding, or planting. The Contractor shall submit a written request for review five (5) days prior to the desired date of review. No compensation for re-seeding, re-sodding, or re-planting of an area requiring remedial grading shall be allowed resulting from failure to comply with this requirement.
 - The Contractor shall guarantee areas of existing vegetation, including grass, that occur within the Contract Limits but are not needed for construction. Stages all of these existing areas to their original condition which are disturbed during construction at no cost to the Owner.
 - Prior to planting, verify that soil adjacent to pavements and curbs are at the correct elevation to assure a level transition from the pavement to the mulched beds. No compensation for removal and replacement of installed plants and mulch, due to unacceptable transition from one surface to the other (a plant bed too high or too low), will be allowed resulting from failure to comply with this requirement.
 - Quantities shown in the Plant Schedule are for information only. The Drawing shall prevail if a conflict occurs.
 - Notify the Landscape Architect in writing five (5) days prior to the anticipated date for review of the plant location staking. Review to be requested prior to excavation of the planting pits.
 - Plant labels and tags shall be left on the plant material until after the initial inspection by the Landscape Architect.
 - True staking or galing is not a requirement of this contract. The Landscape Contractor shall be responsible for all trees to be straight and vertical at the time of the final inspection scheduled at the end of the one year warranty period. Should the Contractor choose to stake or gale the trees, staking and galing shall be placed per the Contract Documents and the Contractor is responsible for removing and off-site disposal of all stakes, wires, cables, and anchors immediately before the one year warranty inspection.
 - All soil in required planting areas must be well below from the site pre-approved by the city or soil conditioned and filled on the top 8 inches with at least a 75% organic content.
 - Typical planting arrangements are shown for design intent only. Refer to planting schedule for specific quantities and types of plants in which layout of plants varies based on shape of individual planting beds.
 - Stormwater planting palette to be used by new Stormwater Management plan.
 - All construction materials, dumpsters, attached trailers, or similar items are prohibited on public streets or within the public right-of-way.
 - Specific plant beds have been estimated based on typical planting plans with a subtraction of 10% of plants for assumed unplantable area within planting beds such as unplantable areas might include areas under trees or corners of beds too narrow to plant.
 - Stakes within the buffer screen should be no shorter than 4 feet of installation.
 - Plant quantities are for reference only. Drawings shall prevail if discrepancy is found.
 - Transitions between plant beds and soil should be spade edged.
 - Use grass species Kentucky Bluegrass, a minimum of three cultivars selected from the following list: Bluegrass Kentucky Bluegrass, Challenger Kentucky Bluegrass, Baron Kentucky Bluegrass, Nazair Kentucky Bluegrass, Chief Kentucky Bluegrass, Claxton Kentucky Bluegrass, West Kentucky Bluegrass, Nevada Kentucky Bluegrass, Memphis Kentucky Bluegrass, Ram 1 Kentucky Bluegrass, Liberty Kentucky Bluegrass, Vicia Kentucky Bluegrass, Rugby Kentucky Bluegrass, Edge Kentucky Bluegrass.
 - Front yard landscape area requires approximately 12 diversity trees. 7 diversity trees are proposed according to county, university and university and university substitution requirements.



Northcrest Planting Plan Code Analysis
Prepared by RDG, as of 5/18/2018

PLANT QUANTITIES PER PLAN					PLANT QUANTITIES REQUIRED PER CODE										
PLANTING LOCATIONS	OVERSTORY TREES	UNDERSTORY TREE	SHRUBS	GRASSES	GROUND COVER/PERENNIALS	PLANTING BED	Notes	PLANTING LOCATIONS	OVERSTORY TREES	UNDERSTORY TREE	SHRUBS	GRASSES	GROUND COVER/PERENNIALS	PLANTING BED	Notes
HIGH SCREEN/BUFFER PLANTING	1 LANDSCAPE TREE PER 50 SQ. FT.	1 PER 6 LF. OR CENTER	16.3 PER 50 SQ. FT.	16.3 PER 50 SQ. FT.	16.3 PER 50 SQ. FT.	10 ft width	Must cover remaining plant bed area of buffer/screening	HIGH SCREEN/BUFFER PLANTING	1 LANDSCAPE TREE PER 50 SQ. FT.	1 PER 6 LF. OR CENTER	N/A	N/A	N/A	10 ft width	Must cover remaining plant bed area of buffer/screening
FRONT YARD PLANTING	1.25 PER LOT	N/A	11 PER 1,000 SF	23 PER 1,000 SF	164 PER 1,000 SF	N/A	Group represents quantities required for "Front Yard Planting"	FRONT YARD PLANTING	1 PER 50 SF	Substituted for overstory tree at site 1	8 PER 1,000 SF	12 PER 1,000 SF	65 SF Substrate 2 shrubs or 6 annuals or 6 groundcover	N/A	Group represents quantities required for "Front Yard Planting"
PARKING SCREEN PLANTING	N/A	N/A	1 shrub every 6 LF.	N/A	N/A	N/A	Low growing plants required using planting details	PARKING SCREEN PLANTING	N/A	N/A	N/A	N/A	N/A	N/A	Code requires 10% of overstory tree per 250 sq. ft.
LANDSCAPED AREAS NEAR PARKING LOTS (NO FT. FROM EDGE OF PAVEMENT)	46	13	N/A	N/A	N/A	7,362 SF	Code requires 1 secondary tree per 250 sq. ft.	LANDSCAPED AREAS NEAR PARKING LOTS (NO FT. FROM EDGE OF PAVEMENT)	50 FT overstory tree per 250 sq. ft.	N/A	N/A	N/A	N/A	6,825 SF	Code requires 10% of overstory tree per 250 sq. ft.

NOTE: 1. PLANT QUANTITIES ARE SHOWN FOR AREAS OF CAMPUS EXPANSION OR RENOVATIONS ONLY.
2. 5.5LX4 FT. OF SOIL



TREE PLANTING SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	REMARKS
021	KEY: BOTANICAL NAME	COMMON NAME <td>SIZE</td> <td>CONDITION</td> <td>REMARKS</td>	SIZE	CONDITION	REMARKS
021	KEY: BOTANICAL NAME	COMMON NAME <td>SIZE</td> <td>CONDITION</td> <td>REMARKS</td>	SIZE	CONDITION	REMARKS

HIGH SCREEN / BUFFER SCREEN PLANTING PALETTE (1,334 SF)

KEY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	REMARKS
021	KEY: BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	REMARKS

PARKING SCREEN PLANTING PALETTE

KEY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	REMARKS
021	KEY: BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	REMARKS

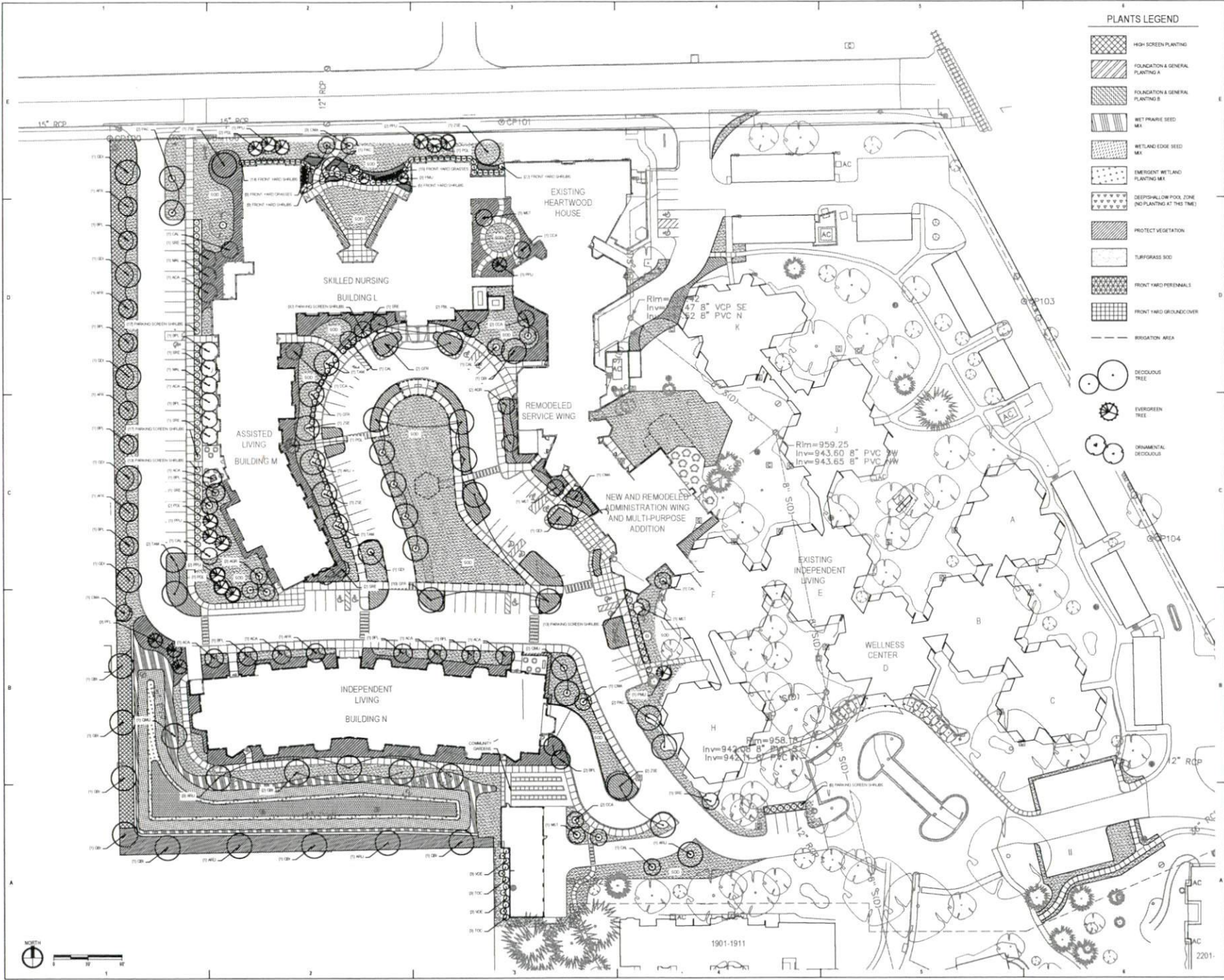
FOUNDATION & GENERAL LANDSCAPE PLANTING PALETTE A (4,966 SF)

KEY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	REMARKS
021	KEY: BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	REMARKS

FOUNDATION & GENERAL LANDSCAPE PLANTING PALETTE B (4,966 SF)

KEY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	REMARKS
021	KEY: BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	REMARKS

PRELIMINARY - NOT FOR CONSTRUCTION
 1801 20th Street
 Ames, IA 50010
NORTHCREST
 Community
 The Life-Care Retirement Community
RDG
 Planning & Design
 1801 20th Street
 Ames, IA 50010
 PHONE: 515.281.1100
 FAX: 515.281.1101
 WWW: RDGDESIGN.COM
 SITE PLANTING NOTES
 L04.01



SITE PLAN SUBMITTAL

PRELIMINARY - NOT FOR CONSTRUCTION

NORTHCREST COMMUNITY REPOSITIONING



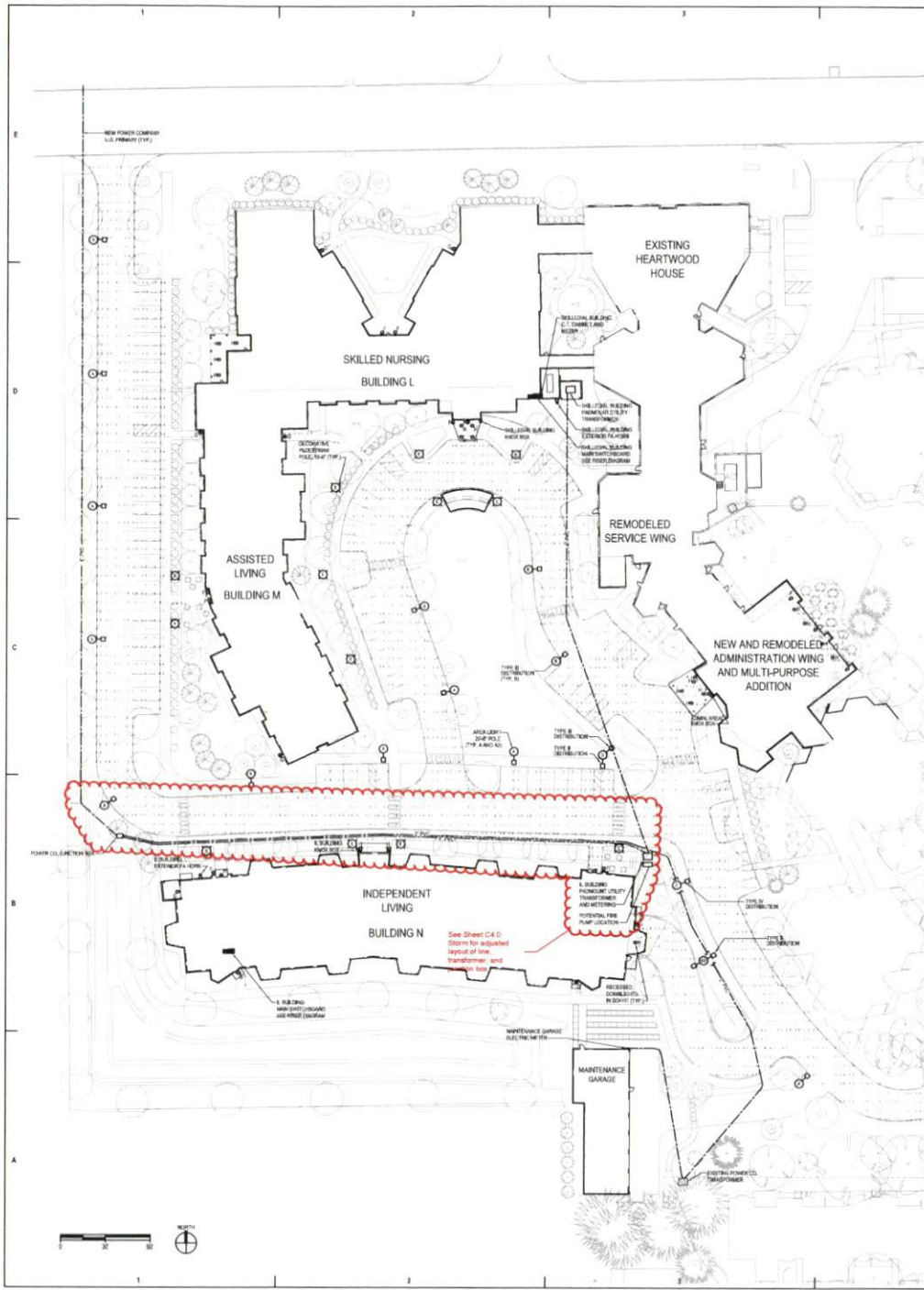
STRUCTURAL
MECHANICAL
ELECTRICAL
LANDSCAPE
INTERIORS

1801 20th Street
Ames, IA 50010



NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITTING	10/20/20
2	ISSUED FOR PERMITTING	10/20/20
3	ISSUED FOR PERMITTING	10/20/20
4	ISSUED FOR PERMITTING	10/20/20
5	ISSUED FOR PERMITTING	10/20/20
6	ISSUED FOR PERMITTING	10/20/20
7	ISSUED FOR PERMITTING	10/20/20
8	ISSUED FOR PERMITTING	10/20/20
9	ISSUED FOR PERMITTING	10/20/20
10	ISSUED FOR PERMITTING	10/20/20

SITE
PLANTING
PLAN
L04.03



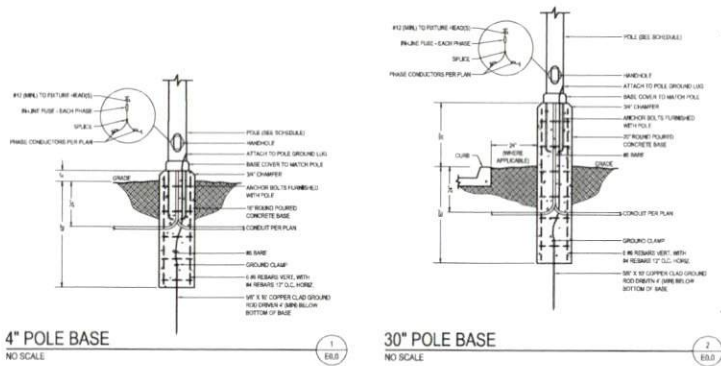
SITE LIGHTING SCHEDULE

ITEM #	MANUFACTURER	CATALOG NO. / NOTE	LAMP DATA		POLE DESCRIPTION		DESCRIPTION	REMARKS
			WATT	VOLTS	TYPE	HEIGHT		
A1	JETCOR	HAILED DEC. TR. 40W 40 WOLLY	40W	120V	WOLLY	1	TYPE B AREA LIGHT	SHIELD HEAD
A2	JETCOR	HAILED DEC. TR. 40W 40 WOLLY	40W	120V	WOLLY	2	TYPE B AREA LIGHT	DOUBLE HEAD
A3	JETCOR	HAILED DEC. TR. 40W 40 WOLLY	40W	120V	WOLLY	1	TYPE B AREA LIGHT	SHIELD HEAD
A4	JETCOR	HAILED DEC. TR. 40W 40 WOLLY	40W	120V	WOLLY	2	TYPE B AREA LIGHT	DOUBLE HEAD
A5	JETCOR	HAILED DEC. TR. 40W 40 WOLLY	40W	120V	WOLLY	1	TYPE B AREA LIGHT	SHIELD HEAD
A6	JETCOR	HAILED DEC. TR. 40W 40 WOLLY	40W	120V	WOLLY	2	TYPE B AREA LIGHT	DOUBLE HEAD
A7	INDUSTRIAL DESIGN	TRIA 10 1/2 ROUND FOOT (NOTE 2)	17W	120V	ROOF	-	WALL MOUNT	
A8	JETCOR	WET PILE WIP WOLLY (NOTE 3)	30W	120V	WOLLY	-	WALL PACK	
A9	JETCOR	WET PILE WIP WOLLY (NOTE 3)	30W	120V	WOLLY	-	EXTERIOR DOWNLIGHT	

- NOTES:
- CONTRACTOR SHALL VERIFY LIGHT FIXTURE CATALOG NUMBERS & INSTALLATION REQUIREMENTS PRIOR TO ORDERING.
 - POLE TYPE DESCRIPTIONS: SQUARE STRUTTED STEEL, 3" X 3" SQUARE TAPERED STEEL, RSA = ROUND STRUTTED STEEL, 3" X 3" SQUARE TAPERED STEEL, 3" X 3" SQUARE STRUTTED ALUMINUM, 3" X 3" SQUARE TAPERED ALUMINUM, 4" X 4" SQUARE STRUTTED ALUMINUM, 4" X 4" SQUARE TAPERED ALUMINUM.
 - FIXTURE FINISH TO BE DETERMINED (SFL).

SITE LIGHTING CALCULATION SUMMARY

AREA	AVERAGE FC	MINIMUM FC	MAXIMUM FC
ROCKWAY AREA	2.27	26.3	8.1
PARKWAY AREA	2.73	1.8	8.2
WALKWAY AREA	8.41	25.1	8.1
ACCESS DRIVE	1.36	0.8	8.1



MIS PROJECT #: 17421

morrissey engineering inc
 400 South 10th Street
 Ames, IA 50010
 515.282.1200
 www.morrisseyengineering.com

RDG Planning & Design
 1801 20th Street
 Ames, IA 50010
 515.282.1200
 www.rdgplanning.com

Electrical Site Plan

NORTHCREST COMMUNITY REPOSITIONING PRELIMINARY - NOT FOR CONSTRUCTION SITE PLAN SUBMITTAL

ARCHITECT: RDG
 1801 20th Street
 Ames, IA 50010
 515.282.1200
 www.rdgplanning.com

STRUCTURAL: MORRISSEY ENGINEERING INC
 400 South 10th Street
 Ames, IA 50010
 515.282.1200
 www.morrisseyengineering.com

MECHANICAL/ELECTRICAL: MORRISSEY ENGINEERING INC
 400 South 10th Street
 Ames, IA 50010
 515.282.1200
 www.morrisseyengineering.com

LANDSCAPE: MORRISSEY ENGINEERING INC
 400 South 10th Street
 Ames, IA 50010
 515.282.1200
 www.morrisseyengineering.com

INTERIORS: MORRISSEY ENGINEERING INC
 400 South 10th Street
 Ames, IA 50010
 515.282.1200
 www.morrisseyengineering.com

1801 20th Street
 Ames, IA 50010

NORTHCREST
 community

ELECTRICAL SITE PLAN

E0.0

GENERAL ELECTRICAL NOTES

SOME NOTES MAY NOT APPLY

- PERFORM WORK IN CONFORMANCE WITH THE CURRENT NATIONAL ELECTRIC CODE AND ALL APPLICABLE BUILDING CODES AS INTERPRETED BY THE LOCAL AUTHORITY HAVE JURISDICTION.
- COORDINATE ANY NECESSARY SERVICE OUTAGES WITH LOCAL AUTHORITIES OR PERSONNEL INVOLVED JURISDICTION OVER FACILITY.
- NEC MOUNT RECEPTACLES AT 4' AFF UNLESS NOTED OTHERWISE.
- CONCEAL ALL CONDUIT IN WALLS, PARTITIONS ABOVE CEILING AND BELOW FLOOR SLAB, ETC. UNLESS OTHERWISE INDICATED ON THE PLANS OR IN THE SPECIFICATIONS. CONDUIT IN MECHANICAL ROOMS AND STORAGE WITHOUT CEILING MAY BE EXPOSED ON BUILDING STRUCTURE.
- POWER AUTOMATIC BATTERY OPERATED EMERGENCY AND EXIT LUMINAIRES FROM LIGHTING CIRCUIT SERVING AREA OF INSTALLATION. CONNECT AHEAD OF ANY LOCAL SWITCHES AS PER NEC (NF 700).
- COORDINATE LOCATIONS OF ALL CEILING MOUNTED DEVICES WITH LUMINAIRES, HOOD, DIFFUSERS, SPRINKLER HEADS, ETC. PRIOR TO INSTALLATION.
- PLUS (+) SIGN WITH DIMENSION AT DEVICE INDICATES HEAD AT ABOVE FINISHED FLOOR LINE OR HEIGHT ABOVE FINISHED GRADE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OPENINGS REQUIRED IN WALLS. ALL CONDUIT PENETRATIONS THROUGH WALLS SHALL BE GROUDED OR SEALED TO MATCH RATING OF WALL.
- LETTERS "WP" AT DEVICE OR EQUIVALENT INDICATES NEW OR REUSE TYPE.
- LOWER CASE LETTER (A) NEXT TO LIGHTING FEATURE TYPE MARK (A) INDICATES SWITCHING CIRCUIT.

GENERAL LIGHTING NOTES

SOME NOTES MAY NOT APPLY

- COORDINATE WITH ARCHITECTURAL DOCUMENTS FOR EXACT MOUNTING LOCATIONS. DETAIL CONFIGURATIONS OF ALL LIGHTING FEATURES. CONTRACTOR SHALL VERIFY THAT THE MOUNTING IS NEEDED PRIOR TO FEATURE ROUGH-IN. DRAWINGS SHALL NOT BE SCALED OR FILED TO DETERMINE LIGHT FEATURE LOCATIONS.
- CONTRACTOR TO FAMILIARIZE HIMSELF WITH COMPATIBILITY OF LIGHT FEATURES TO CEILING MATERIAL. ADJUSTMENT CONSTRUCTION AND ADJACENT PARTS PRIOR TO SMOOTING ROUGH-DRAWINGS. NOTIFY THE ARCHITECT OF ANY CONFLICTS WITH THE PROPOSED INSTALLATION.
- CONTRACTOR RESPONSIBLE FOR ALL MISCELLANEOUS HARDWARE NECESSARY AT ABOVE OR BELOW THE CEILING PLANE OR GRADE TO SUPPORT LIGHT FEATURES.
- INSTALL CEILING MOUNTED RECESSED LIGHT FEATURES WITH BOTTOM OF THE THROAT EVEN WITH FINISHED CEILING PLANE LEVEL. FEATURE THROATS AFTER FINISHED CEILING PLANE HAS BEEN INSTALLED. THROAT ADJUST AND PROVIDE GASKETING TO PREVENT LIGHT LEAKAGE.
- ALL LIGHT FEATURES SHALL HAVE A U.L. LABEL OR E.T. LABEL.
- CONTRACTOR SHALL COORDINATE ALL FEATURE LOCATIONS AND MOUNTING MEANS WITH OTHER TRADES IN THESE AREAS. DO NOT SUPPORT ANY FEATURES FROM ANOTHER TRADE'S EQUIPMENT OR TO IMPIDE ACCESS TO SAME EQUIPMENT. SUPPORT FEATURES FREE OF OBSTACLES TO ALLOW MAXIMUM LIGHT ON THE REQUIRED WORKING AREA.
- ALL ADJUSTABLE INTERIOR AND EXTERIOR LIGHT FEATURES SHALL BE FINISHED AND REGULATED BY THE E.C. UNDER THE OBSERVATION AND IN COMPLIANCE WITH RECOMMENDATIONS OF THE LIGHTING DESIGNER. ALL LABOR AND MATERIAL COSTS MADE NECESSARY BY THIS REQUIREMENT SHALL BE INCLUDED AS PART OF THE BASE BID.
- POWER EMERGENCY AND EXIT LUMINAIRES FROM LIGHTING CIRCUIT SERVING AREA OF INSTALLATION. CONNECT AHEAD OF ANY LOCAL SWITCHES AS PER NEC (NF 700).
- REFER TO LIGHTING SECTION IN SPECIFICATIONS FOR FURTHER PROJECT REQUIREMENTS.

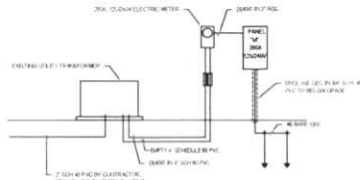
GENERAL FIRE ALARM NOTES

SOME NOTES MAY NOT APPLY

- CONNECT FIRE ALARM DEVICES TO EXISTING FIRE ALARM CIRCUITS. COORDINATING ZONING, SPEAKER VOLUME, ETC. WITH EXISTING SYSTEM.
- PROVIDE ELECTRICAL POWER AND CONTROL CONNECTION TO SPRINKLER SYSTEM ALARM BELL. VERIFY EXACT LOCATION WITH MECHANICAL DRAWINGS/EQUIPMENT SUPPLIERS.
- CONTRACTOR SHALL COORDINATE LOCATION OF SPEAKERS, ETC. WITH FIRE RATED CEILING AND PROVIDE ENCLOSURES AS REQUIRED TO MAINTAIN THE FIRE INTENSITY RATINGS OF THE CEILING. COORDINATE LOCATION OF FIRE RATED CEILING WITH ARCHITECTURAL DRAWINGS. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

LIGHTING CONTROLS NARRATIVE

- (WALL MOUNTED) WALL OR CEILING MOUNTED OCCUPANCY SENSORS
 - (RECESSED) RECESSED IN WALL MOUNTED TOGGLE SWITCHES AND DIMMERS
 - (CONCEALED) CONCEALED SWITCHES
- NOTE: CIRCLES WITH AN "X" INDICATE WALL MOUNTED TOGGLE SWITCHES.



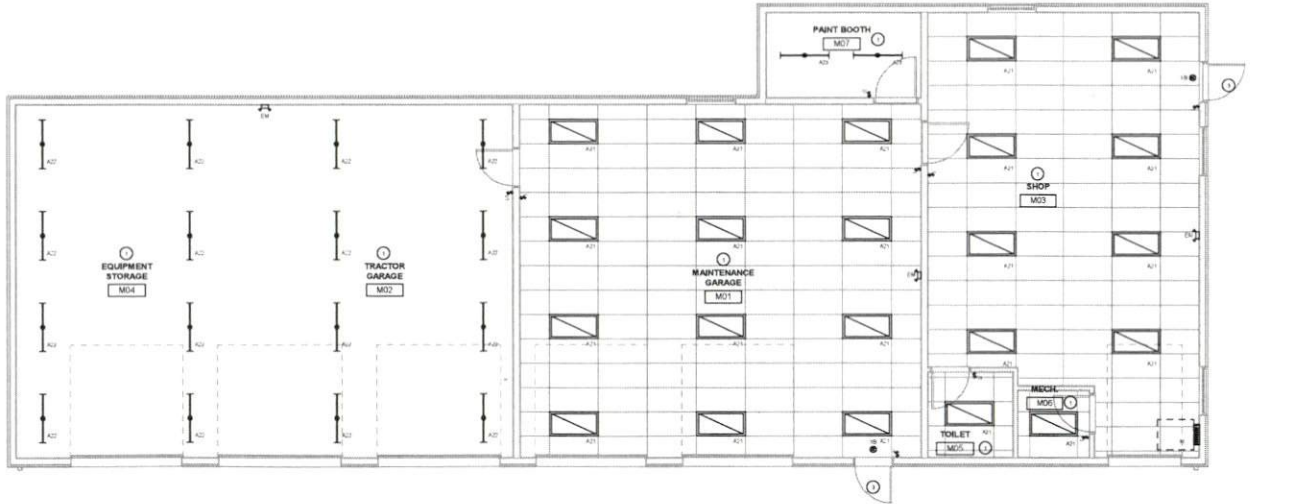
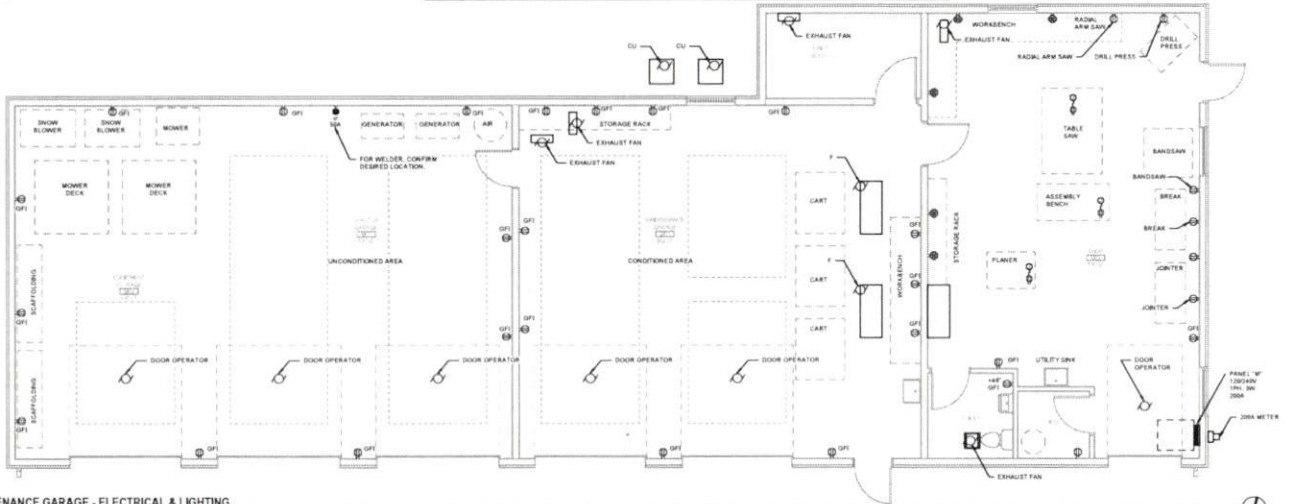
Northcrest Retirement Maintenance Garage
Estimated Electrical Demand

Voltage: 240/120
1 Phase, 3 Wire

2018 08 07

Description	Unit	Quantity	and load (W)	connected (W)	D.F.	Estimated Demand
Lighting	L.F.	1100	0.5	550	1	1500
Miscellaneous Receptacles	RA	34	180	6120	1	6120
Air Conditioning	AA	1	5000	5000	1	5000
Water	WA	1	1500	1500	1	1500
Refrigerator	RA	1	1180	1180	1	1180
Dish Washer	DA	1	1180	1180	1	1180
Radial Arm Saw	RA	1	1180	1180	1	1180
Table Saw	TA	1	1500	1500	1	1500
Planer	PA	1	1500	1500	1	1500
Door Operator	DA	4	1500	6000	1	6000
Heating/Etc.	L.F.	2	5200	10400	1	10400
Total						19400

Estimated Minimum Service Size: 117.0 Amps
Service Size: 200 Amps



PRELIMINARY - NOT FOR CONSTRUCTION
 Northcrest Community Repositioning
 DESIGN DEVELOPMENT
 ARCHITECT: RDG
 1801 20th Street
 Ames, IA 50010
 NORTHCREST community
 A New Life Care Retirement Community

RDG Planning & Design
 1801 20th Street
 Ames, IA 50010
 515.281.1111
 www.rdgplanning.com

RDG...
 PLANNING & DESIGN

MAINTENANCE GARAGE - ELECTRICAL & LIGHTING

E1.1GM

GENERAL ELECTRICAL NOTES

SOME NOTES MAY NOT APPLY

- PERFORM WORK IN CONFORMANCE WITH THE CURRENT NATIONAL ELECTRIC CODE AND ALL APPLICABLE BUILDING CODES AS INTERPRETED BY THE LOCAL AUTHORITY HAVE JURISDICTION.
- COORDINATE ANY NECESSARY SERVICE CUTAWAYS WITH LOCAL AUTHORITIES OR PERSONNEL DERIVED JURISDICTION OVER FACILITY.
- MOUNT RECEPTACLES AT 4" AFF UNLESS NOTED OTHERWISE.
- COORDINATE ALL CONDUIT IN WALLS, PARTITIONS, ABOVE CEILING AND BELOW FLOOR SLAB, ETC. UNLESS OTHERWISE INDICATED ON THE PLANS OR IN THE SPECIFICATIONS. CONDUIT IN MECHANICAL ROOMS AND STORAGE WITHOUT CEILING MAY BE EXPOSED ON BUILDING STRUCTURE.
- POWER AUTOMATIC BATTERY OPERATED EMERGENCY AND EXIT LUMINAIRES FROM LIGHTING CIRCUIT. SERVICABLES OF INSTALLATION. CONNECT AWAY OF ANY LOCAL SWITCHES AS PER NEC 700.13(E).
- COORDINATE LOCATIONS OF ALL CEILING MOUNTED DEVICES WITH LUMINAIRES, HANG OFF SPRINKLER HEADS, ETC., PRIOR TO INSTALLATION.
- PLUG (X) MARK WITH DIMENSION (Y) DEVICE INDICATES HEIGHT ABOVE FINISHED FLOOR LINE OR HEIGHT ABOVE FINISHED GRADE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OPENINGS REQUIRED IN WALLS. ALL CONDUIT PENETRATIONS THROUGH WALLS SHALL BE DRILLED OR SEALED TO MATCH RATING OF WALL.
- LETTERS "WP" AT DEVICE OR EQUIVALENT INDICATES WET AREA INSTALL TYPE.
- LOWER CASE LETTER (X) NEXT TO LIGHTING FEATURE TYPE MARK (A) INDICATES SWITCHING CIRCUIT.

GENERAL LIGHTING NOTES

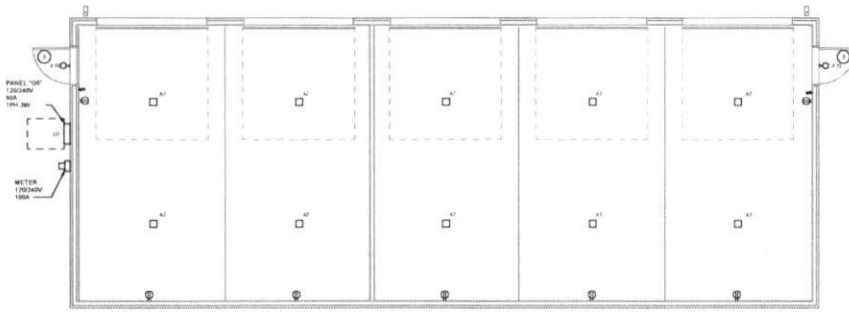
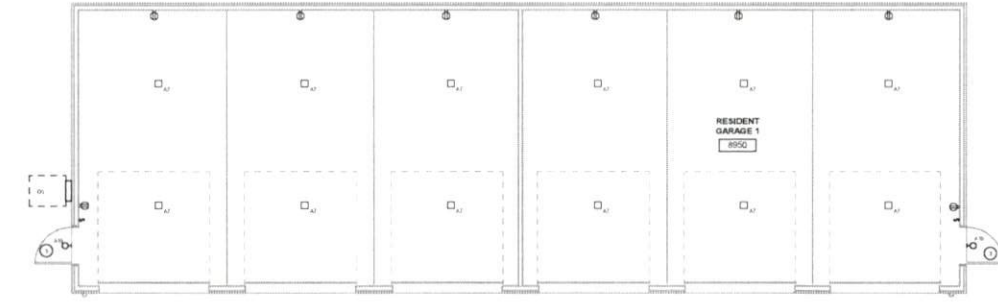
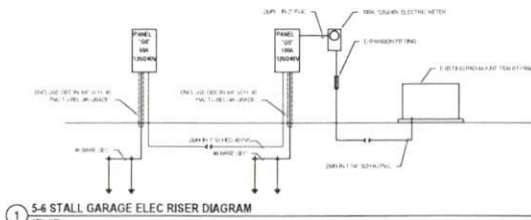
SOME NOTES MAY NOT APPLY

- COORDINATE WITH ARCHITECTURAL DOCUMENTS FOR EXACT MOUNTING LOCATIONS, DETAILS AND DIMENSIONS OF ALL LIGHTING FEATURES. CONTRACTOR SHALL ISSUE AN RFIF CLARIFICATION IF NEEDED PRIOR TO FEATURE LAYOUT. DRAWINGS SHALL NOT BE SCALED OR TRIED TO DETERMINE LIGHT FEATURE LOCATIONS.
- CONTRACTOR TO FAMILIARIZE HIMSELF WITH COMPATIBILITY OF LIGHT FIXTURES TO CEILING MATERIAL, ADJACENT CONSTRUCTION AND ADJACENT FINISHES PRIOR TO SUBMITTING SHOP DRAWINGS. NOTIFY THE ARCHITECT OF ANY CONFLICTS WITH THE PROPOSED INSTALLATION.
- CONTRACTOR RESPONSIBLE FOR ALL MISCELLANEOUS HARDWARE NECESSARY AT ABOVE OR BELOW THE CEILING PLANE OR GRADE TO SUPPORT LIGHT FIXTURES.
- INSTALL CEILING MOUNTED RECESSED LIGHT FIXTURES WITH BOTTOM OF THE THROAT EVEN WITH FINISHED CEILING PLANE LEVEL. FIXTURES THROAT AFTER FINISHED CEILING PLANE HAS BEEN INSTALLED. THROAT ADJUST AND PROVIDE GASKETING TO PREVENT LIGHT LEAKAGE.
- ALL LIGHT FIXTURES SHALL HAVE A U.L. LABEL OR ETL LABEL.
- CONTRACTOR SHALL COORDINATE ALL FEATURE LOCATIONS AND MOUNTING MEANS WITH OTHER TRADES IN THESE AREAS. DO NOT SUPPORT ANY FIXTURES FROM ANOTHER TRADE'S EQUIPMENT OR TO IMPIDE ACCESS TO SAME EQUIPMENT. SUSPENDED FIXTURES FREE OF OBSTACLES TO ALLOW MAXIMUM LIGHT ON THE REQUIRED WORKING AREA.
- ALL ADJUSTABLE INTERIOR AND EXTERIOR LIGHT FIXTURES SHALL BE TARGETED AND ADJUSTED BY THE GC UNDER THE OBSERVATION AND IN CONFORMANCE WITH RECOMMENDATIONS OF THE LIGHTING DESIGNER. ALL HOOD AND NATURAL CODES, MAKE NECESSARY IF THE REQUIREMENT SHALL BE INCLUDED AS PART OF THE BASE BID.
- POWER EMERGENCY AND EXIT LUMINAIRES FROM LIGHTING CIRCUIT SERVING AREA OF INSTALLATION. CONNECT AWAY OF ANY LOCAL SWITCHES AS PER NEC 700.13(E).
- REFER TO LIGHTING SECTION IN SPECIFICATIONS FOR FURTHER PROJECT REQUIREMENTS.

LIGHTING CONTROLS NARRATIVE

- COMMON WEAL WALL OR CEILING MOUNTED OCCUPANCY SENSING
 - RECESSED LIGHT WALL MOUNTED TRACK LIGHTING, WALL MOUNTED TRACK LIGHTING, WALL MOUNTED TRACK LIGHTING
 - TRANSFORMER, DISCRETE RELAY
- NOTE: SQUARE SYMBOL AS SHOWN INDICATES NOT TO BE USED SPECIFIC PLACEMENTS

Northcrest Retirement		Voltage: 240/120		2018-06-27		
Resident Garages		1-Phase, 1-Wire				
Estimated Electrical Demand						
Description	Unit	Quantity	Unit Load (W)	Connected (W)	D.F.	Estimated Demand
Lighting	EA	22	275	6050	1	5500
Manufacturing Receptacles	EA	15	1400	21000	1	17000
Door Operators	EA	11	1176	12936	1	12936
Total				30586		34800
Estimated Minimum Service Size						67.4 Amps
Service Size						100 Amps



DESIGN DEVELOPMENT

PRELIMINARY - NOT FOR CONSTRUCTION

Northcrest Community Repositioning



ARCHITECT/ENGINEER
 1801 20th Street
 Ames, IA 50010
 515.281.1100
 www.rdginc.com

MECHANICAL/ELECTRICAL
 1801 20th Street
 Ames, IA 50010
 515.281.1100
 www.rdginc.com



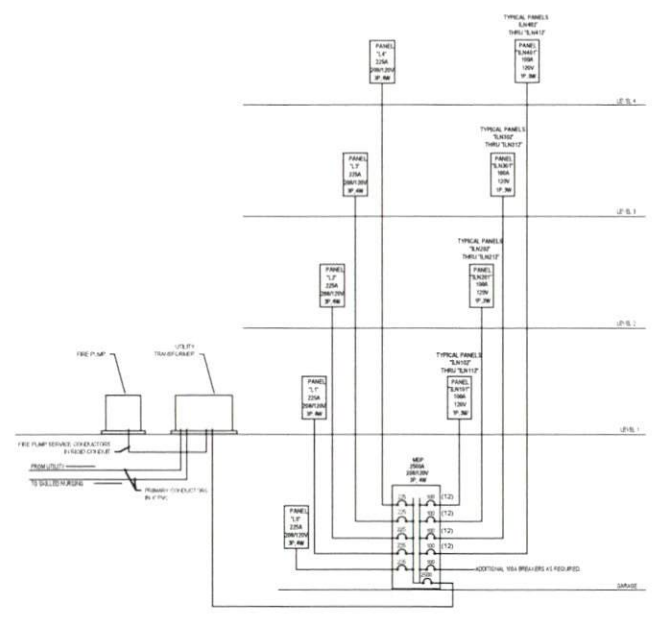
RDG Planning & Design
 1801 20th Street
 Ames, IA 50010
 515.281.1100
 www.rdginc.com

5 & 6 STALL GARAGES - ELEC & LIGHTING

E1.1G

- Electrical Service Design
 - The facility will be provided with a single electrical service to serve the building.
 - The electrical service will originate from a single utility company padmount transformer located on grade near the northeast corner of the building.
 - The service will be configured as 120/208-volt, 3 phase, 4 wire and will be sized at 2500 amps.
 - A separate dedicated service will be provided from the utility transformer to the building fire pump.
 - Approximate electrical loads for the building are as follows.

Estimated Maximum Demand (120/208 volt)				
Description		Connected	D.F.	EMD
Apartment Lighting/Receptacles	3 watt/RSF	210 kW	0.26	55 kW
Apartment Ranges	13 kW per range	576 kW	0.26	150 kW
Apartment Dryers	5 kw per dryer	240 kW	0.26	62 kW
Laundry Circuit	1.5 kW per unit	73 kW	0.26	19 kW
Kitchen Appliance Circuits	3 kW per unit	144 kW	0.26	37 kW
Commons Lighting	1 watt/RSF	36 kW	1.0	36 kW
Commons Receptacles	2 watt/RSF	72 kW	0.6	43 kW
HVAC	10 watt/RSF	1056 kW	0.26	275 kW
Elevator	Assumed as 40 HP	84 kW	0.95	80 kW
Miscellaneous	1 watt/RSF	106 kW	1.0	106 kW
Total		2598 kW		863 kW



(A) ELECTRICAL RISER
7/21/2016

NORTHCREST COMMUNITY REPOSITIONING PRELIMINARY - NOT FOR CONSTRUCTION DESIGN DEVELOPMENT

ARCHITECT/EP CIVIL
RDG Planning & Design
1801 20th Street
Ames, IA 50010
563.425.1234
www.rdgplanning.com

INTERIORS
RDG Planning & Design
1801 20th Street
Ames, IA 50010
563.425.1234
www.rdgplanning.com

STRUCTURAL
RDG Planning & Design
1801 20th Street
Ames, IA 50010
563.425.1234
www.rdgplanning.com

MECHANICAL/ELECTRICAL
RDG Planning & Design
1801 20th Street
Ames, IA 50010
563.425.1234
www.rdgplanning.com

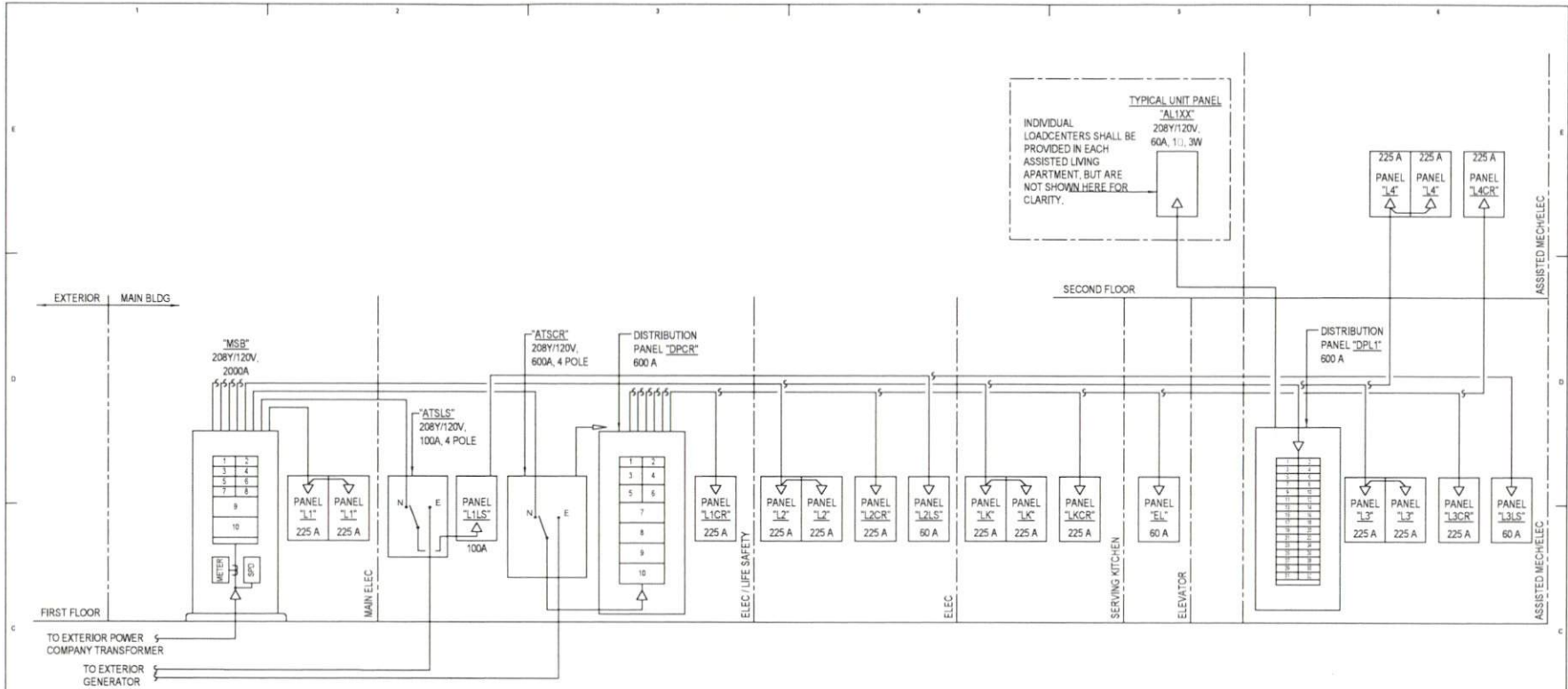
1801 20th Street
Ames, IA 50010

NORTHCREST
community
A New Life-Care Retirement Community

RDG Planning & Design
1801 20th Street
Ames, IA 50010
563.425.1234
www.rdgplanning.com

ELECTRICAL RISERS & DETAILS

E2.01



C1 ELECTRICAL RISER DIAGRAM
NOT TO SCALE

MORRISSEY
engineering inc.
www.morrisseyengineering.com

NOTICE:
This drawing is the property of Morrissey Engineering Inc. and is to be used only for the project and location specified. It is not to be used for any other project or location without the written consent of Morrissey Engineering Inc. The user assumes all liability for any errors or omissions in this drawing. The user shall indemnify and hold Morrissey Engineering Inc. harmless from and against all claims, damages, losses, and expenses, including reasonable attorneys' fees, arising from the use of this drawing.

DATE: 08/11/2010
PROJECT: NORTHCREST COMMUNITY REPOSITIONING
REVISIONS:

NORTHCREST COMMUNITY REPOSITIONING PRELIMINARY - NOT FOR CONSTRUCTION SITE PLAN SUBMITTAL

NORTHCREST
community
A True Life-Care Retirement Community

1801 20th Street
Ames, IA 50010

DESIGNED BY:
RDG Planning & Design
1801 20th Street
Ames, IA 50010
PH: 515.281.1111
WWW.RDGDESIGN.COM

RDG
DESIGN

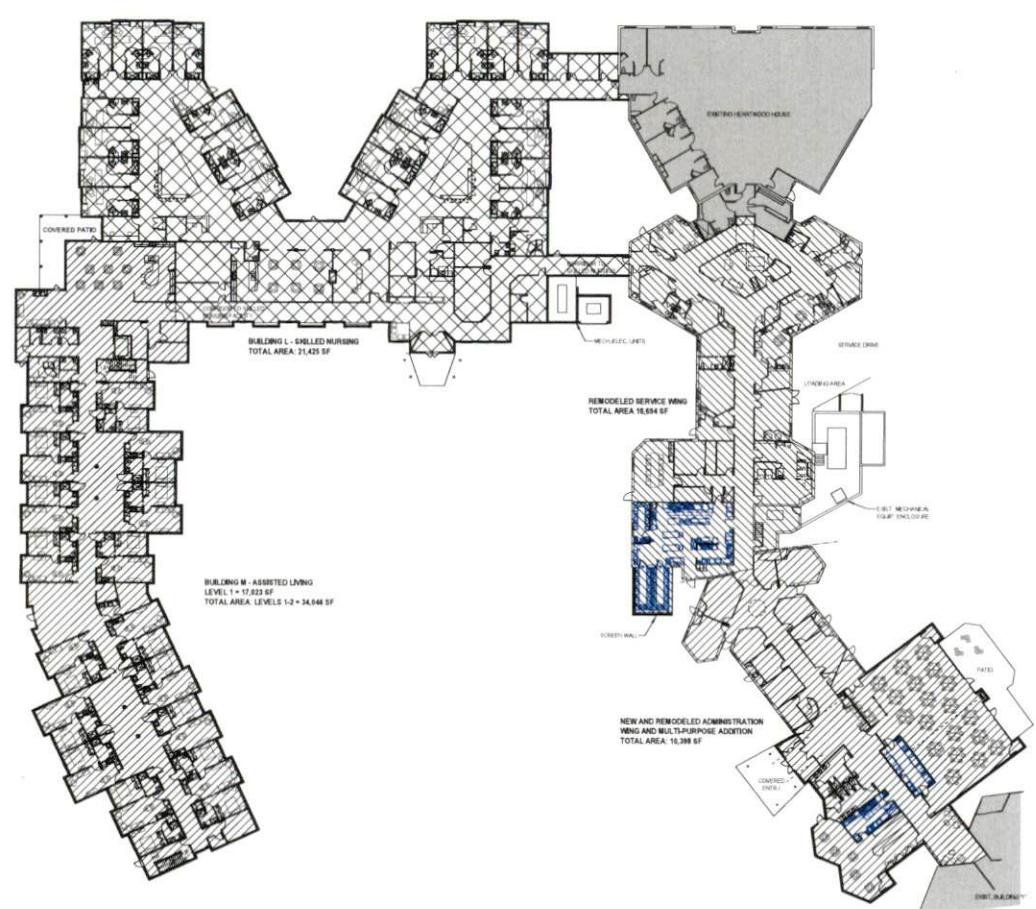
ELECTRICAL
RISER
DIAGRAM
E05.01

ARCHITECTURAL GENERAL NOTES

KEYED FLOOR PLAN NOTES

1. CONTRACTOR SHALL VERIFY CONDITIONS AND DIMENSIONS PRIOR TO MATERIAL FABRICATION AND CONSTRUCTION.
2. WHEN DIMENSIONS AND/OR CONDITIONS ARE NOT INDICATED ON THE RECORDS, THE CONTRACTOR SHALL VERIFY THE INFORMATION FOR CORRECTION AND CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE ARCHITECT. THE ARCHITECT ENGINEER SHALL BE RESPONSIBLE FOR THE QUALITY CONTROL OF THE WORK. THE ARCHITECT ENGINEER SHALL BE RESPONSIBLE FOR THE QUALITY CONTROL OF THE WORK.
3. FLOORS
4. FLOOR FINISHES SHALL BE AS SHOWN ON DRAWINGS UNLESS OTHERWISE INDICATED.
5. SEE DRAWINGS AT EACH FLOOR FOR FLOOR FINISHES AND CONDITIONS.
6. ALL REPAIRS AND PATCHES SHALL BE SET TO MATCH THE ORIGINAL FINISHES AND CONDITIONS.
7. PROVIDE HANGERS FOR CONCRETE EQUIPMENT RACKS FOR MECHANICAL AND ELECTRICAL EQUIPMENT. CONCRETE SHALL BE SET AND CURED PRIOR TO EQUIPMENT PROVIDED. FLOOR SHALL BE SET TO MATCH THE ORIGINAL FINISHES AND CONDITIONS. ALL CHANGES SHALL BE SET TO MATCH THE ORIGINAL FINISHES AND CONDITIONS. SEE DRAWINGS FOR EQUIPMENT RACKS AND FOR THE FLOOR AND USE.
8. SLAB ON GROUND CONCRETE FLOOR SLABS TO DRIVEWAYS SHALL BE SET TO BELOW TYPICAL FINISH FLOOR FINISHES AND CONDITIONS. CONCRETE SHALL BE SET TO BELOW TYPICAL FINISH FLOOR FINISHES AND CONDITIONS. SEE DRAWINGS FOR EQUIPMENT RACKS AND FOR THE FLOOR AND USE.
9. WALLS
10. WALL FINISHES SHALL BE AS SHOWN ON DRAWINGS UNLESS OTHERWISE INDICATED.
11. FIRE AND SOUND RATED PARTITIONS ARE SHOWN ON THE DRAWINGS.
12. WATERPROOFING SHALL BE PLACED AT ALL WALLS WITH GRADE ELEVATION CHANGES OR OUTSIDE WALLS INCLUDING BASEMENTS. TYPICAL ELEVATION CHANGES ARE SHOWN ON THE DRAWINGS.
13. ALL PARTITIONS ARE FULL HEIGHT UNLESS OTHERWISE INDICATED. ALL PARTITIONS ARE FULL HEIGHT UNLESS OTHERWISE INDICATED. ALL PARTITIONS ARE FULL HEIGHT UNLESS OTHERWISE INDICATED. ALL PARTITIONS ARE FULL HEIGHT UNLESS OTHERWISE INDICATED.
14. ALL PARTITIONS ARE FULL HEIGHT UNLESS OTHERWISE INDICATED. ALL PARTITIONS ARE FULL HEIGHT UNLESS OTHERWISE INDICATED. ALL PARTITIONS ARE FULL HEIGHT UNLESS OTHERWISE INDICATED. ALL PARTITIONS ARE FULL HEIGHT UNLESS OTHERWISE INDICATED.
15. ALL PARTITIONS ARE FULL HEIGHT UNLESS OTHERWISE INDICATED. ALL PARTITIONS ARE FULL HEIGHT UNLESS OTHERWISE INDICATED. ALL PARTITIONS ARE FULL HEIGHT UNLESS OTHERWISE INDICATED. ALL PARTITIONS ARE FULL HEIGHT UNLESS OTHERWISE INDICATED.
16. ALL PARTITIONS ARE FULL HEIGHT UNLESS OTHERWISE INDICATED. ALL PARTITIONS ARE FULL HEIGHT UNLESS OTHERWISE INDICATED. ALL PARTITIONS ARE FULL HEIGHT UNLESS OTHERWISE INDICATED. ALL PARTITIONS ARE FULL HEIGHT UNLESS OTHERWISE INDICATED.
17. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS.
18. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS.

19. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS.
20. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS.
21. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS.
22. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS.
23. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS.
24. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS.
25. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS.
26. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS.
27. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS.
28. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS.
29. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS.
30. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS. PROVIDE FULL HEIGHT GLASS PARTITIONS AND GLASS PARTITIONS.



(A1) FLOOR PLAN - LEVEL 1 AREAS G, L, M, N



NORTHCREST COMMUNITY REPOSITIONING **PRELIMINARY - NOT FOR CONSTRUCTION** **SITE PLAN SUBMITTAL**

NORTHCREST community

1801 20th Street
Ames, IA 50010

RDG...
PLANNING & DESIGN

ARCHITECTURAL
RDG Planning & Design
1801 20th Street
Ames, IA 50010
515.461.1111
www.rdgplanning.com

LANDSCAPE
RDG Planning & Design
1801 20th Street
Ames, IA 50010
515.461.1111
www.rdgplanning.com

INTERIOR
RDG Planning & Design
1801 20th Street
Ames, IA 50010
515.461.1111
www.rdgplanning.com

FLOOR PLAN - LEVEL 1 AREAS G, L, M, N

A01.01

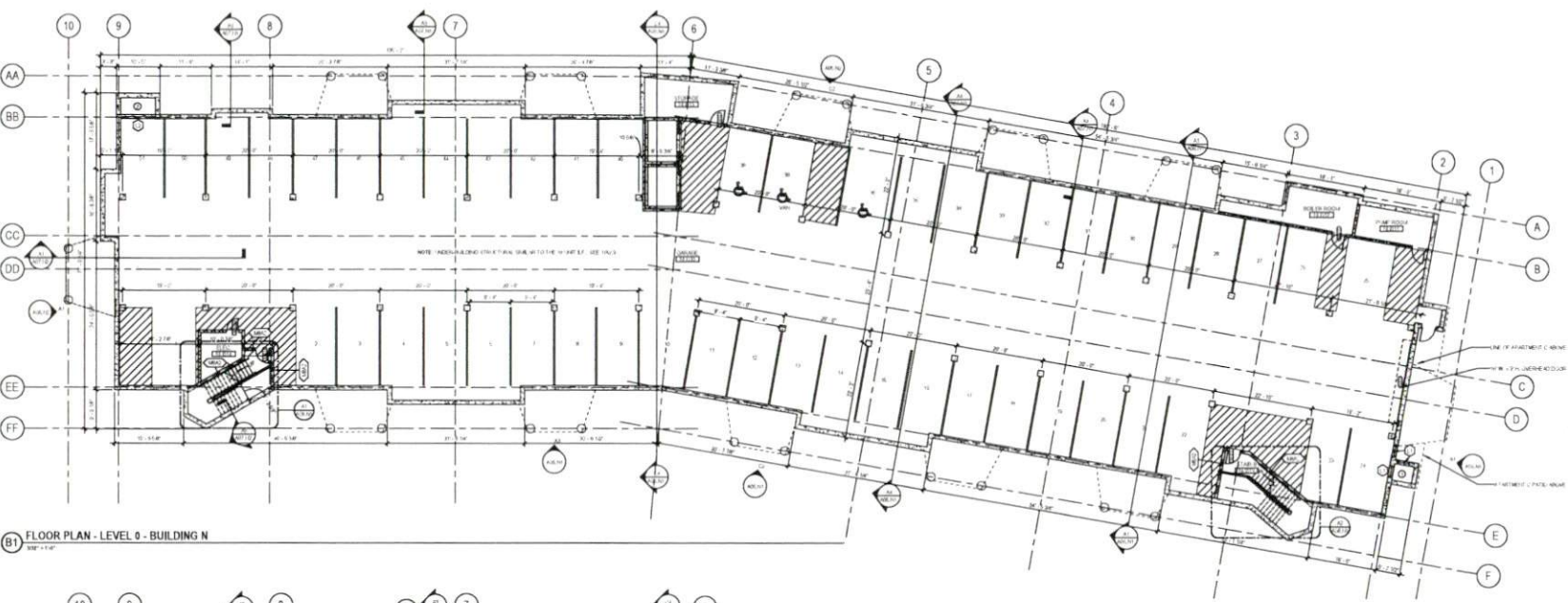
- KEYED FLOOR PLAN NOTES**
1. MECHANICAL ROOMS
 2. MECHANICAL ROOMS
 3. ROOF ACCESS LADDER
 4. MECHANICAL ROOMS
 5. MECHANICAL ROOMS
 6. MECHANICAL ROOMS
 7. MECHANICAL ROOMS
 8. MECHANICAL ROOMS
 9. MECHANICAL ROOMS
 10. MECHANICAL ROOMS

NORTHCREST COMMUNITY REPOSITIONING PRELIMINARY - NOT FOR CONSTRUCTION SITE PLAN SUBMITTAL

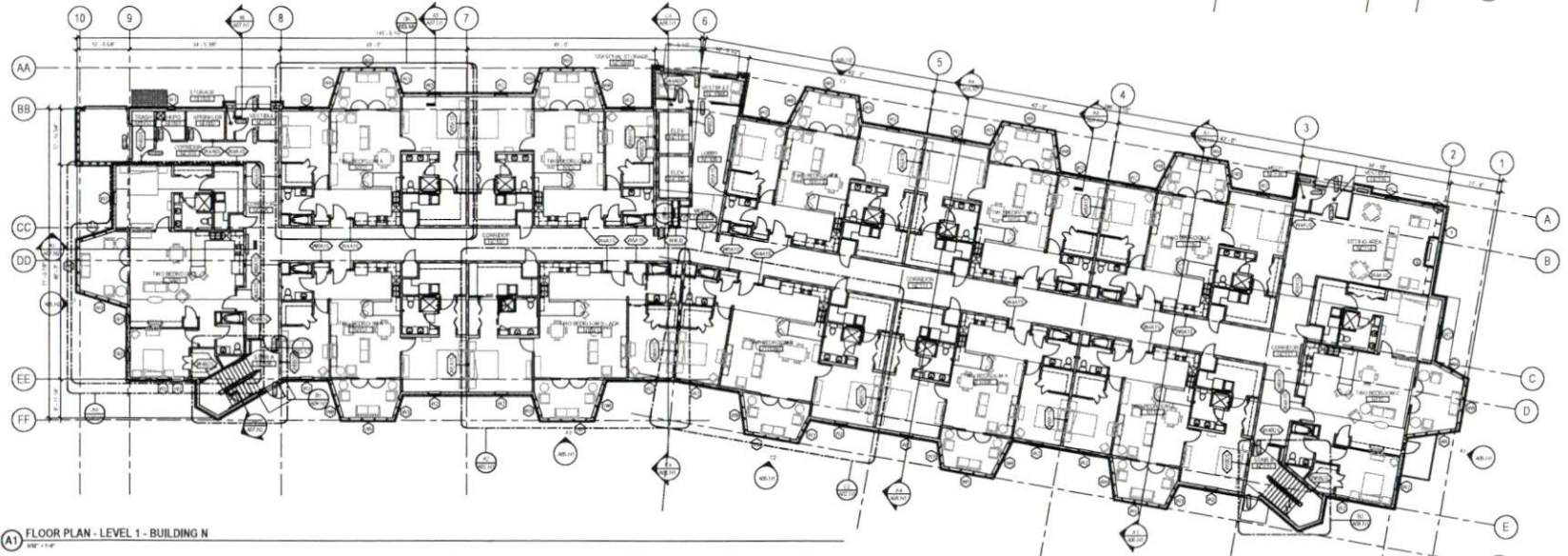
NORTHCREST
 community
1100 1st Ave, Ames, IA 50010
515.281.1100
www.northcrestcommunity.com

RDG
PLANNING & DESIGN

FLOOR PLAN - AREA N - LEVELS 0 & 1
 A01.N1



B1 FLOOR PLAN - LEVEL 0 - BUILDING N
1/8" = 1'-0"



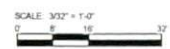
A1 FLOOR PLAN - LEVEL 1 - BUILDING N
1/8" = 1'-0"



KEYED FLOOR PLAN NOTES



A1 FLOOR PLAN - LEVEL 4 - BUILDING N
1/8" = 1'-0"



NORTHCREST COMMUNITY REPOSITIONING

FLOOR PLAN - AREA N - LEVEL 4

A01.N3

NORTHCREST
community
A New Life-Care Retirement Community

1801 20th Street
Ames, IA 50010

ARCHITECT/MEP
RDG Planning & Design
1801 20th Street
Ames, IA 50010
563.424.1100
rdg@rdg.com

MECHANICAL
RDG Planning & Design
1801 20th Street
Ames, IA 50010
563.424.1100
rdg@rdg.com

ELECTRICAL
RDG Planning & Design
1801 20th Street
Ames, IA 50010
563.424.1100
rdg@rdg.com

PLUMBING
RDG Planning & Design
1801 20th Street
Ames, IA 50010
563.424.1100
rdg@rdg.com

STRUCTURAL
RDG Planning & Design
1801 20th Street
Ames, IA 50010
563.424.1100
rdg@rdg.com



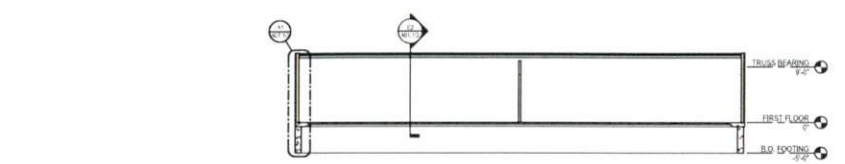
SITE PLAN SUBMITTAL



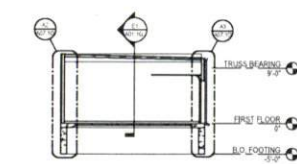
ARCHITECTURAL GENERAL NOTES

KEYED FLOOR PLAN NOTES

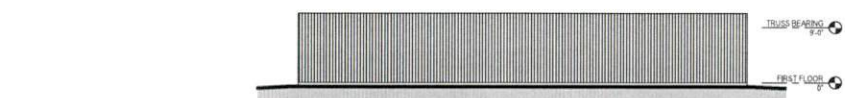
- 11 CONTACTS SHALL BE SET AND DIMENSIONS PRIOR TO MATERIAL FABRICATION AND CONSTRUCTION.
- 12 WHEN DIMENSIONS AND SPECIFICATIONS ARE IN AGREEMENT, THE WORK SHALL BE DONE AS SHOWN. IN CASE OF DISCREPANCY, THE WORK SHALL BE DONE AS SHOWN UNLESS OTHERWISE NOTED. IN THE EVENT OF A DISCREPANCY, THE ARCHITECT'S INTENT SHALL BE THE GOVERNING FACTOR.
- 13 FLOORS:
 - 13.1 PLACE WORK NET WORKS DIRECTLY BELOW ALL CONCRETE INTERIOR SLABS AND GRADE WALLS AND EXTERIOR FOUNDATIONS.
 - 13.2 SEE DRAWING A1111 FOR FLOOR FINISHES AND CONDITIONS.
 - 13.3 ALL INTERIOR FLOOR FINISHES SHALL BE SET TO THE FINISH FLOORING.
 - 13.4 PROVIDE FLOOR FINISHES TO COVER ALL FLOOR FINISHES AND EXTERIOR EQUIPMENT. EXTERIOR FLOOR FINISHES SHALL BE SET TO THE FINISH FLOORING AND EXTERIOR EQUIPMENT. EXTERIOR FLOOR FINISHES SHALL BE SET TO THE FINISH FLOORING AND EXTERIOR EQUIPMENT. EXTERIOR FLOOR FINISHES SHALL BE SET TO THE FINISH FLOORING AND EXTERIOR EQUIPMENT.
 - 13.5 SLAB ON GROUND FLOOR FINISHES SHALL BE SET TO THE FINISH FLOORING AND EXTERIOR EQUIPMENT. EXTERIOR FLOOR FINISHES SHALL BE SET TO THE FINISH FLOORING AND EXTERIOR EQUIPMENT.
- 14 WALLS AND PARTITIONS:
 - 14.1 ALL WALLS SHALL BE SET TO THE FINISH FLOORING AND EXTERIOR EQUIPMENT.
 - 14.2 FIRE AND SOUND RATED PARTITIONS ARE SHOWN ON THE FLOOR PLAN.
 - 14.3 WATERPROOFING SHALL BE PLACED AT ALL WALLS WITH GRADE ELEVATION CHANGES OR OUTSIDE WALLS INCLUDING UNDERMENTS, TURNS, ELEVATION CHANGES AND WALLS WITH FINISHES. SEE SHEET A1111 FOR FINISHES AND CONDITIONS.
 - 14.4 ALL INTERIOR AND EXTERIOR WALLS SHALL BE SET TO THE FINISH FLOORING AND EXTERIOR EQUIPMENT. EXTERIOR WALLS SHALL BE SET TO THE FINISH FLOORING AND EXTERIOR EQUIPMENT.
 - 14.5 ALL EXTERIOR METAL STUD PARTITIONS AND STAFF GUEST SHALL BE SET TO THE FINISH FLOORING AND EXTERIOR EQUIPMENT. EXTERIOR WALLS SHALL BE SET TO THE FINISH FLOORING AND EXTERIOR EQUIPMENT.
- 15 FILL ALL STUD PARTITIONS WITH ACoustICAL INSULATION EXCEPT AT STUD PARTITIONS WITH INSULATION. INSULATION SHALL BE SET TO THE FINISH FLOORING AND EXTERIOR EQUIPMENT. EXTERIOR WALLS SHALL BE SET TO THE FINISH FLOORING AND EXTERIOR EQUIPMENT.
- 16 PROVIDE STAFF GUEST PARTITIONS WITH WALLS TO THE FINISH FLOORING AND EXTERIOR EQUIPMENT. EXTERIOR WALLS SHALL BE SET TO THE FINISH FLOORING AND EXTERIOR EQUIPMENT.
- 17 PROVIDE STAFF GUEST PARTITIONS WITH WALLS TO THE FINISH FLOORING AND EXTERIOR EQUIPMENT. EXTERIOR WALLS SHALL BE SET TO THE FINISH FLOORING AND EXTERIOR EQUIPMENT.
- 18 PROVIDE STAFF GUEST PARTITIONS WITH WALLS TO THE FINISH FLOORING AND EXTERIOR EQUIPMENT. EXTERIOR WALLS SHALL BE SET TO THE FINISH FLOORING AND EXTERIOR EQUIPMENT.



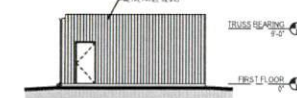
E1 SECTION 1
18" x 12"



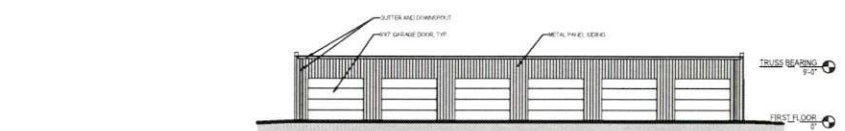
E2 SECTION 2
18" x 12"



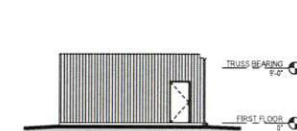
D1 5-BAY-NORTH
18" x 12"



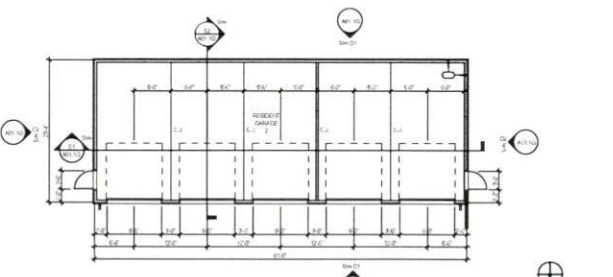
D2 5-BAY-EAST
18" x 12"



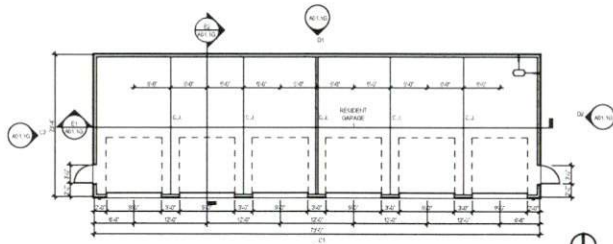
C1 5-BAY-SOUTH
18" x 12"



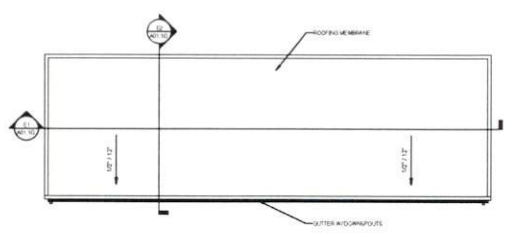
C2 5-BAY-WEST
18" x 12"



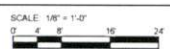
B1 5-BAY PLAN
18" x 12"



A2 5-BAY PLAN
18" x 12"



A3 ROOF PLAN
18" x 12"



SITE PLAN SUBMITTAL

RDG...
PLANNING & DESIGN

ARCHITECTURE
1801 20th Street
Ames, IA 50010
563.424.1111
www.rdgplanning.com

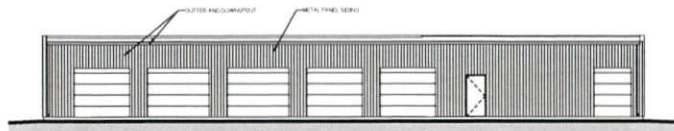
1801 20th Street
Ames, IA 50010

NORTHCREST
community



RESIDENT GARAGES

A01.1G



D1 MAINTENANCE GARAGE - EAST
1/8" = 1'-0"



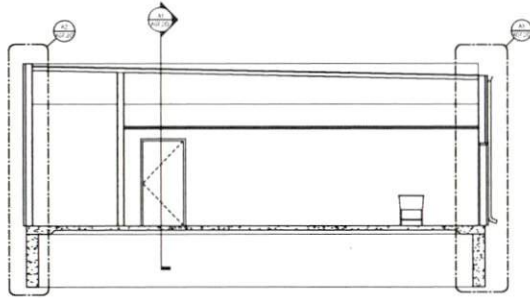
D2 MAINTENANCE GARAGE - NORTH
1/8" = 1'-0"



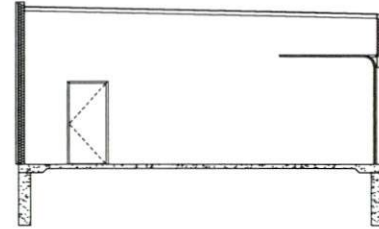
C1 MAINTENANCE GARAGE - WEST
1/8" = 1'-0"



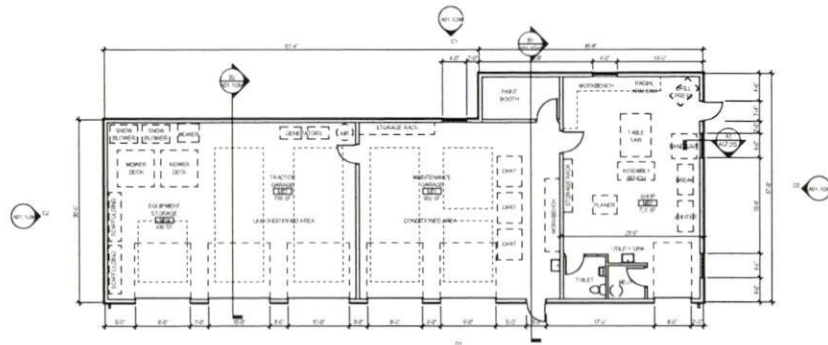
C2 MAINTENANCE GARAGE - SOUTH
1/8" = 1'-0"



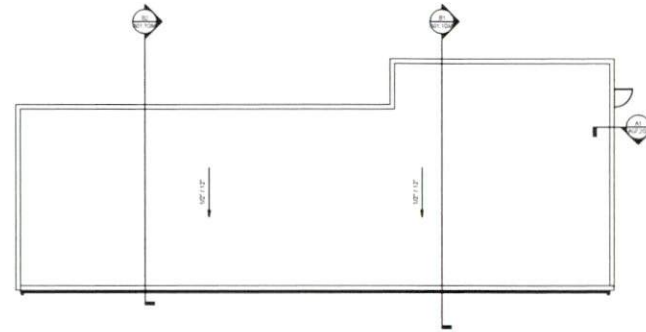
B1 MAINTENANCE GARAGE SECTION 1
1/8" = 1'-0"



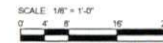
B2 MAINTENANCE GARAGE SECTION 2
1/8" = 1'-0"

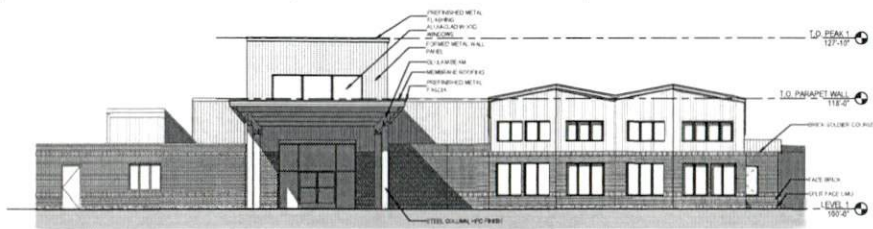


A1 MAINTENANCE GARAGE PLAN
1/8" = 1'-0"

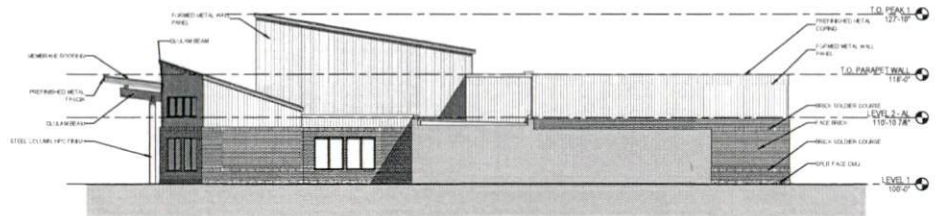


A2 ROOF PLAN
1/8" = 1'-0"

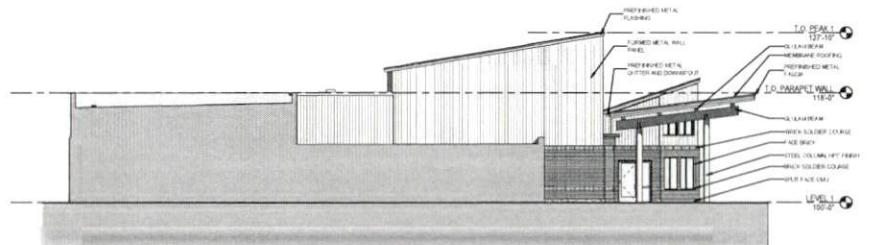




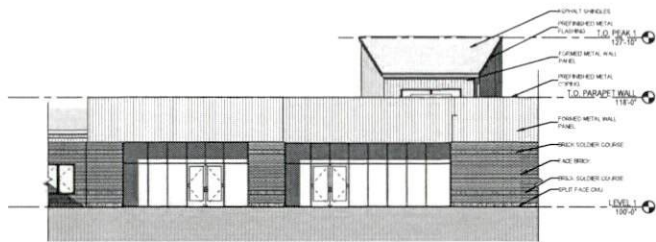
E3 ELEVATION - AREA G - WEST
18' x 12'



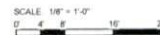
D3 ELEVATION - AREA G - SOUTH
18' x 12'



B3 ELEVATION - AREA G - NORTH
18' x 12'



A3 ELEVATION - AREA G - EAST
18' x 12'



SITE PLAN SUBMITTAL

PRELIMINARY - NOT FOR CONSTRUCTION

NORTHCREST COMMUNITY REPOSITIONING



STRUCTURAL: CIVIL
ARCHITECTURE: CIVIL
MECHANICAL/ELECTRICAL/PLUMBING: MECHANICAL/ELECTRICAL/PLUMBING
LANDSCAPE: LANDSCAPE
INTERIORS: INTERIORS

1801 20th Street
Ames, IA 50010

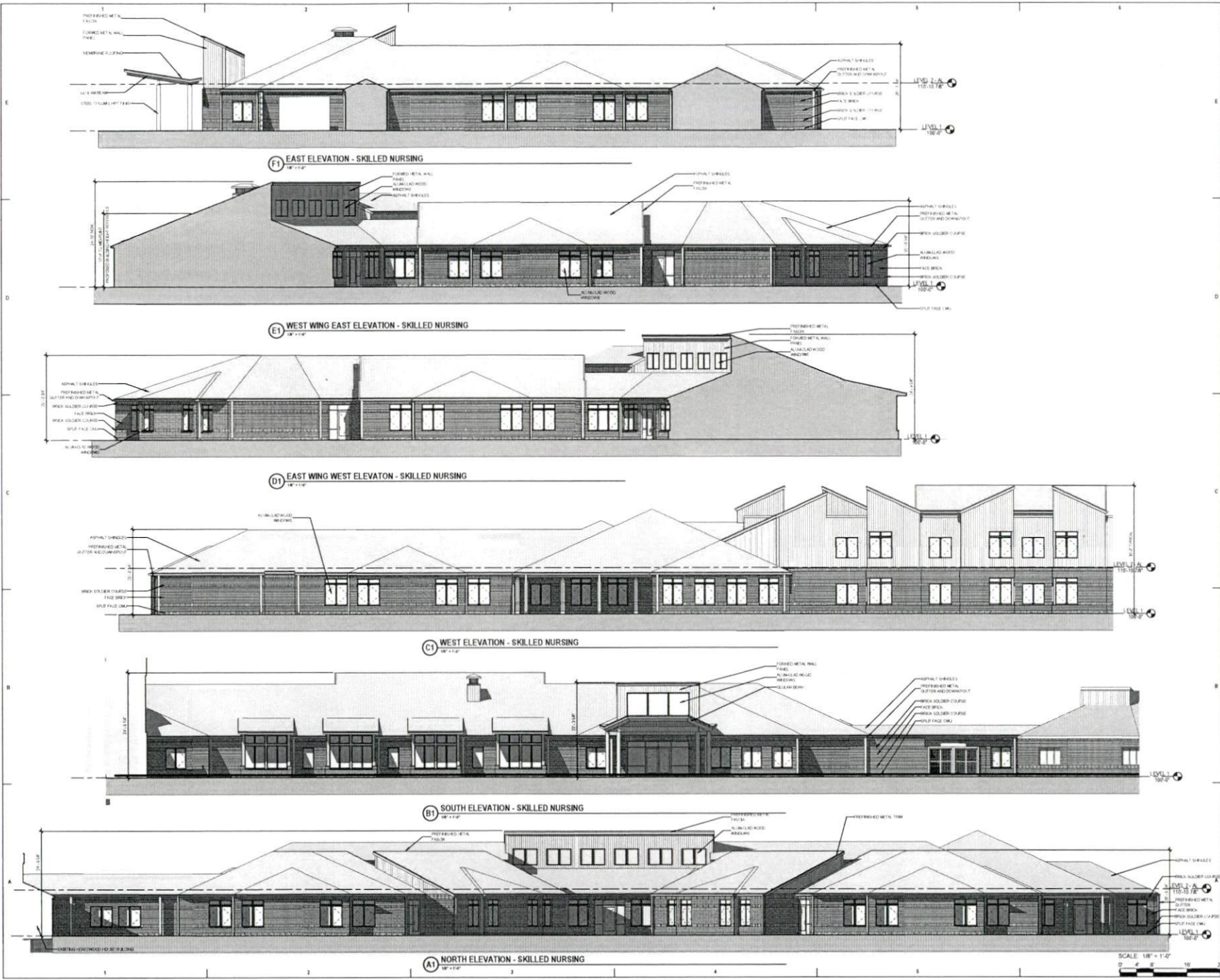


NO.	DATE	DESCRIPTION
1	10/15/2014	ISSUED FOR PERMITTING
2	10/15/2014	ISSUED FOR PERMITTING
3	10/15/2014	ISSUED FOR PERMITTING
4	10/15/2014	ISSUED FOR PERMITTING
5	10/15/2014	ISSUED FOR PERMITTING
6	10/15/2014	ISSUED FOR PERMITTING
7	10/15/2014	ISSUED FOR PERMITTING
8	10/15/2014	ISSUED FOR PERMITTING
9	10/15/2014	ISSUED FOR PERMITTING
10	10/15/2014	ISSUED FOR PERMITTING

RDG Planning & Design
1801 20th Street
Ames, IA 50010
515.335.1111
www.rdgplanning.com

EXTERIOR ELEVATIONS - AREA G

A05.G1



NORTHCREST COMMUNITY REPOSITIONING PRELIMINARY - NOT FOR CONSTRUCTION SITE PLAN SUBMITTAL

NORTHCREST
community
A New Life-Care Retirement Community

1801 20th Street
Ames, IA 50010

RDG
PLANNING & DESIGN

ARCHITECTURE: RDG Planning & Design
 STRUCTURAL: MICHELLE PLUMB
 LANDSCAPE: INTERIORS
 INTERIORS: INTERIORS

RDG Planning & Design
 1801 20th Street
 Ames, IA 50010
 515.281.1111
 www.rdgplanning.com

EXTERIOR ELEVATIONS - AREA L
A05.L1



STRUCTURAL: MICHELLE PLUMB
MECHANICAL: MICHELLE PLUMB
ELECTRICAL: MICHELLE PLUMB
LANDSCAPE: MICHELLE PLUMB
INTERIORS: MICHELLE PLUMB

1801 20th Street
Ames, IA 50010

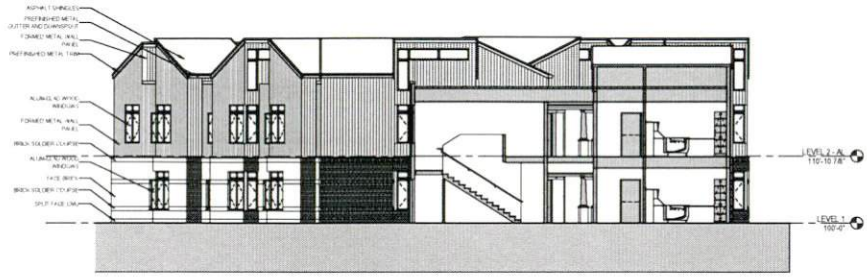
NORTHCREST
community
A True Life-Care Retirement Community



RDG Planning & Design
1801 20th Street
Ames, IA 50010
515.281.1111
www.rdgplanning.com

EXTERIOR ELEVATIONS - AREA M

A05.M1



D3 ASSISTED LIVING SECTION/ELEVATION THRU NORTH STAIR 1/8" = 1'-0"



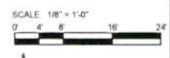
C3 ASSISTED LIVING EAST ELEVATION 1/8" = 1'-0"



B3 ASSISTED LIVING WEST ELEVATION 1/8" = 1'-0"



A3 ASSISTED LIVING SOUTH ELEVATION 1/8" = 1'-0"





STRUCTURAL
MECHANICAL
ELECTRICAL
PLUMBING

LANDSCAPE
INTERIORS

1801 20th Street
Ames, IA 50010

NORTHCREST
community
A True Life-Care Retirement Community



RDG Planning & Design
1801 20th Street
Ames, IA 50010
515.281.1111
www.rdgplanning.com

EXTERIOR ELEVATIONS - AREA N

A05.N1



(C2) EXTERIOR ELEVATION SOUTH - EAST
1/8" = 1'-0"



(A1) EXTERIOR ELEVATION - EAST
1/8" = 1'-0"

(A3) EXTERIOR ELEVATION SOUTH - WEST
1/8" = 1'-0"

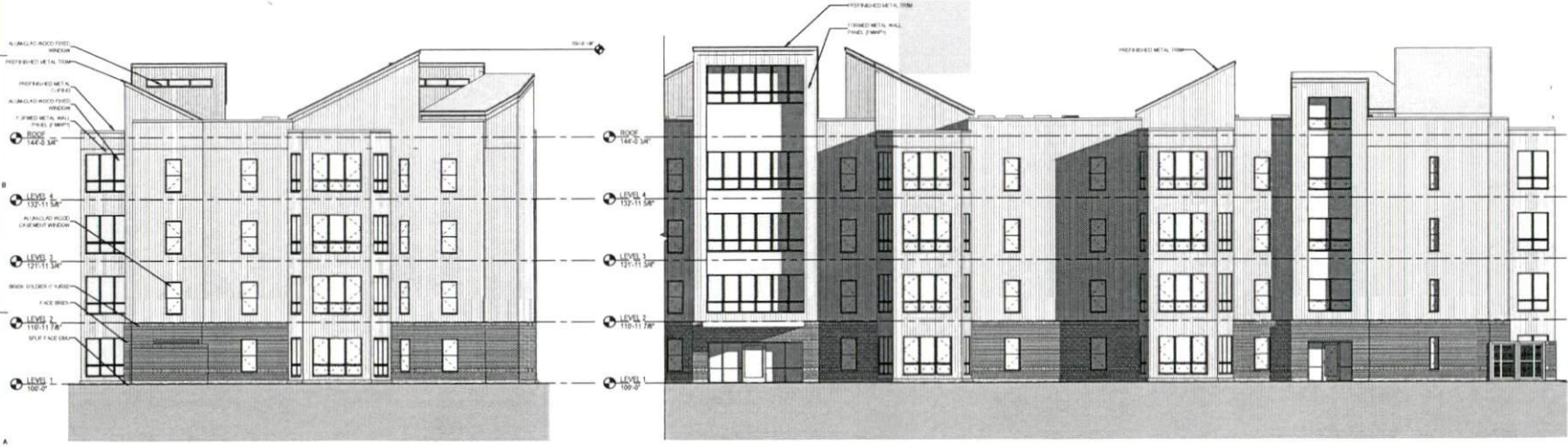




Table with project details including: Project Name, Address, Client, Designer, Date, and Scale.



C2 EXTERIOR ELEVATION NORTH - EAST
1/8" = 1'-0"



A1 EXTERIOR ELEVATION WEST
1/8" = 1'-0"

A3 EXTERIOR ELEVATION NORTH - WEST
1/8" = 1'-0"

