

ITEM #: 35  
DATE: 03-28-23  
DEPT: P&H

**COUNCIL ACTION FORM**

**SUBJECT: SUBDIVISION FOR INTEGRATED SITE PLAN FINAL PLAT AND MINOR AMENDMENT TO SITE DEVELOPMENT PLAN FOR DANIEL’S SECOND ADDITION**

**BACKGROUND:**

The City’s subdivision regulations are included in Chapter 23 of the *Ames Municipal Code*. A Final Plat must be found to conform to the ordinances of the City and any conditions placed upon the Preliminary Plat approval. After City Council approval of the Final Plat, it must then be recorded with the County Recorder to become an officially recognized subdivision plat with new lots.

Duff Development, LLC; Duff Daniels LLC; Westbrooke Daniels, LLC; and Westbrook Wolf, LLC have submitted a final subdivision plat for Daniel’s Subdivision, Second Addition. **The Preliminary Plat was approved by the Council on September 27, 2022, as a part of an Integrated Site Plan Subdivision that included a Major Site Development Plan approval at the same meeting.**

**The proposal allows for the creation of two additional lots, one lot for development of a new drive-through coffee shop and an outlot for shopping center signage to benefit the existing Best Buy and BAM stores that are already located on their own lots. The proposed final plat is part of an Integrated Site Plan that accompanies the subdivision approval to allow for development review of a combined site rather than an individual parcel.**

Since approval, there has been a minor amendment to the Site Development Plan for the coffee shop proposed at the northwest corner of the plat. The amendment includes a double drive-thru lane rather than the single drive-thru lane originally approved. This change results in a reduction in the excess parking included within the subdivision from 39 spaces to 28 spaces and some minor adjustments to the proposed landscaping. Circulation through the parking lot has also been modified to include a one-way direction for circulating out of the BAM parking area along the north property line. Attachment D illustrates the area of change and includes all of the final Site Plan and Plat plans.

There is no change in the building location, total impervious area, or the lot configurations. Approval of the minor amendment to the Site Development Plan is requested from Council and is included below within the Alternatives.

The existing plat includes two commercial lots that are the location of Best Buy and Books-A-Million. The proposed Final Plat includes one new 19,390 sq. ft. commercial lot

at the northwest corner along Duff Avenue, where a building for a coffee shop will be constructed. The plat includes a total of three developable lots and one outlot (1,597 sq. ft.) reserved for signage. Each lot has frontage on S. Duff Avenue. Vehicle access from S. Duff Avenue is unchanged.

**As discussed during approval of the Preliminary Plat, the outlot will create a nonconforming sign for the shopping center. The sign can be maintained but cannot be altered in the future without coming into conformance. Each of the lots with buildings will have their own sign allowances separate from the shopping center sign.**

Per the requirements of the Subdivision Code for an Integrated Site Plan, the lots will operate collectively for site improvement and maintenance purposes. This is memorialized within the Reciprocal Easement and Operation Agreement (REOA, recorded as instrument number 02-16733) and the Amended REOA (recorded as instrument number 2023-01083). Notes have also been placed on the plat that acknowledge shared use of parking, pedestrian ways, circulation, common spaces, and maintenance of improvements and landscaping. These notes are a requirement of an Integrated Site Plan Subdivision.

Full development of the site consistent with the approved Site Development Plan is required within two years, per the Subdivision Code requirements.

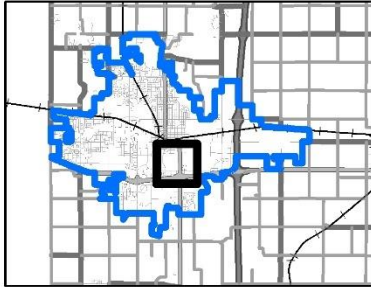
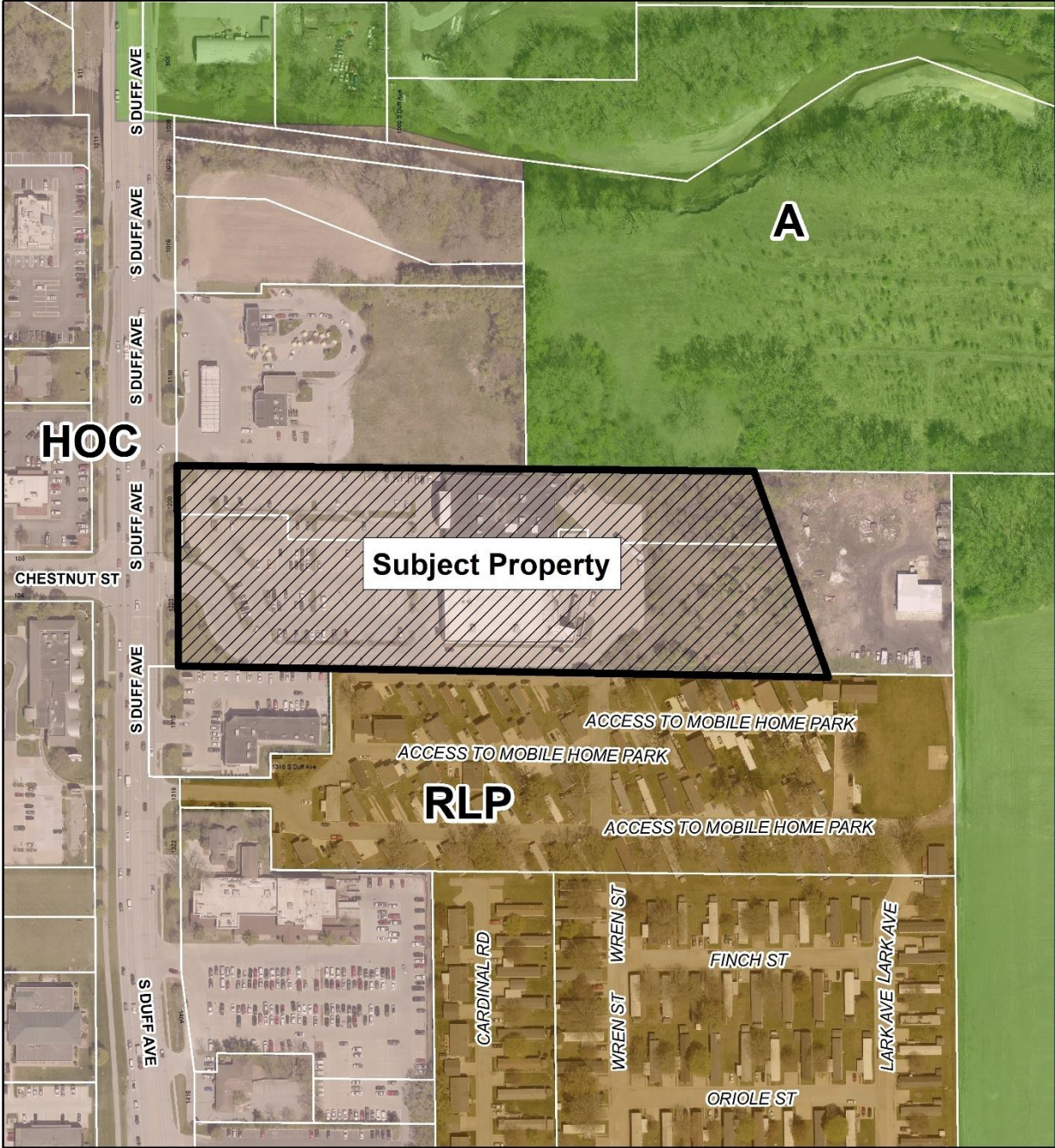
**ALTERNATIVES:**

1. Accept the Minor Amendment to the Site Development Plan and approve the Final Plat of the Second Addition to Daniel's Subdivision, based upon findings that the Final Plat conforms to relevant and applicable design standards, ordinances, policies, and plans with the following condition:
2. Deny the Final Plat of the Second Addition to Daniel's Subdivision on the basis that the development creates a burden on existing public improvements, creates a need for new public improvements that have not yet been installed, or does not have an appropriate plan for the common use of the site.
3. Defer approval and request further information.

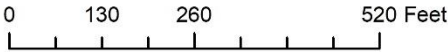
**CITY MANAGER'S RECOMMENDED ACTION:**

City staff has evaluated the proposed final subdivision plat and determined that the proposal is consistent with the preliminary plat approved by City Council and that the plat conforms to the adopted ordinances and policies of the City as required by Code. No public improvements are required for approval of the Plat. Therefore, it is the recommendation of the City Manager that the City Council adopt Alternative No.1, as described above.

# Attachment A: Location Map



## LOCATION & ZONING MAP 1200 & 1220 S Duff Avenue







## Attachment C: Applicable Subdivision Law

The laws applicable to this Preliminary Plat Subdivision include, but are not limited to, the following: (verbatim language is shown in *italics*, other references are paraphrased):

Code of Iowa Chapter 354, Section 8 requires that the governing body shall determine whether the subdivision conforms to its Land Use Policy Plan.

Ames Municipal Code Chapter 23, Subdivisions, Division I, outlines the general provisions for subdivisions within the City limits and within two miles of the City limits of Ames.

Ames Municipal Code Section 23.302(10):

(10) City Council Action on Final Plat for Major Subdivision:

- (a) All proposed subdivision plats shall be submitted to the City Council for review and approval. Upon receipt of any Final Plat forwarded to it for review and approval, the City Council shall examine the Application Form, the Final Plat, any comments, recommendations or reports examined or made by the Department of Planning and Housing, and such other information as it deems necessary or reasonable to consider.
- (b) Based upon such examination, the City Council shall ascertain whether the Final Plat conforms to relevant and applicable design and improvement standards in these Regulations, to other City ordinances and standards, to the City's Land Use Policy Plan and to the City's other duly adopted plans.
- (c) The City Council may:
  - (i) deny any subdivision where the reasonably anticipated impact of such subdivision will create such a burden on existing public improvements or such a need for new public improvements that the area of the City affected by such impact will be unable to conform to level of service standards set forth in the Land Use Policy Plan or other capital project or growth management plan of the City until such time that the City upgrades such public improvements in accordance with schedules set forth in such plans; or,
  - (ii) approve any subdivision subject to the condition that the Applicant contribute to so much of such upgrade of public improvements as the need for such upgrade is directly and proportionately attributable to such impact as determined at the sole discretion of the City. The terms, conditions and amortization schedule for such contribution may be incorporated within an Improvement Agreement as set forth in Section 23.304 of the Regulations.
- (d) Prior to granting approval of a major subdivision Final Plat, the City Council may permit the plat to be divided into two or more sections and may impose such conditions upon approval of each section as it deems necessary to assure orderly development of the subdivision.
- (e) Following such examination, and within 60 days of the Applicant's filing of the complete Application for Final Plat Approval of a Major Subdivision with the Department of Planning and Housing, the City Council shall approve, approve subject to conditions, or disapprove the Application for Final Plat Approval of a Major Subdivision. The City Council shall set forth its reasons for disapproving any Application or for conditioning its approval of any Application in its official records and shall provide a written copy of such reasons to the developer. The City Council shall pass a resolution accepting the Final Plat for any Application that it approves. (*Ord. No. 3524, 5-25-99*)

## Ames Municipal Code Section 23.704:

### **23.704. REQUIREMENTS FOR INTEGRATED SITE PLAN SUBDIVISION.**

(1) An Integrated Site Plan Subdivision must include a descriptive title for the subdivision, and a descriptive title for the associated Integrated Site Plan.

(a) The subdivision title must be clearly shown on the face of the plat as: “[Descriptive Title] Integrated Site Plan Subdivision”, and

(b) The site plan and associated documents must be clearly titled as: “[Descriptive Title] Integrated Site Plan”.

(2) The Integrated Site Plan Subdivision plat shall include all of the following declarations on the plat:

(a) “Circulation and Parking - Unless otherwise specified, all driveways, parking areas, roadways, fire lanes, sidewalks, plazas, courtyards, and other vehicular or pedestrian ways or spaces identified on the approved Integrated Site Plan associated with this Integrated Site Plan Subdivision are for the common use of the owners, tenants, customers and related operational interests associated with each lot contained within this subdivision.”

(b) “Maintenance Area. Unless otherwise specified, a maintenance area is provided within 10 feet of any building or structure identified on the approved Integrated Site Plan associated with this Integrated Site Plan Subdivision, even when said area extends onto other lots within this subdivision, provided that disturbance of improvements or landscaping shall be minimized and repaired/replaced if damaged.” “All development and use of the land described herein shall be in accordance with this subdivision and the associated [Descriptive Title] Integrated Site Plan, as they may be amended with the approval of the City of Ames, and in accordance with such other governmental permits, approvals, regulations, requirements, and restrictions that may be imposed upon such land and the development and use thereof.”

(3) Setbacks. All buildings and structures contained in the Integrated Site Plan Subdivision are subject to the following setback provisions:

(a) Setbacks along the outer perimeter of the subdivision plat shall conform to the setbacks of the underlying zone.

(b) Setbacks are not required from interior property lines within the Integrated Site Plan Subdivision. However, property lines may not bisect buildings unless a firewall is located along said property line.

(4) Landscaping. The landscaping standards of the underlying zone apply to each lot within the subdivision, except as follows:

(a) Minimum area landscaping calculations may be based on the area of landscaping in the entire subdivision rather than the area of landscaping on individual lots within the subdivision subject to conformance with phasing provisions in Section 23.705.

(b) Required parking lot perimeter landscaping along interior property lines may (subject to conformance with phasing provisions in Section 23.705) be relocated to the other areas of the subdivision, provided that:

(i) the total amount of parking lot landscaping is not diminished from that which would be required if each lot were platted and developed independently; and

(ii) Any required landscape medians and islands are provided in all parking areas.

(5) Frontage Improvements. All Integrated Site Plan Subdivisions shall include street improvements specified in Section 23.403.

(6) All circulation and parking improvements defined on the face of the plat or on the associated Integrated Site Plan, as well as exterior lighting fixtures, landscaping, signage, fixtures and other improvements required by the provisions of the Integrated Site Plan, and/or which serve multiple lots within the subdivision, are to be included in or owned by an association or legal entity in which the owners of each lot or parcel in the divided property have a legal or beneficial interest.

(7) Maintenance of Improvements. All improvements required to comply with the minimum provisions of the Integrated Site Plan, including areas and features on individual lots that collectively contribute to total compliance with minimum standards for parking, circulation, pedestrian access, landscaping, as well as any improvements that are for the collective use of all property owners and/or tenants (such as signage, fixtures, dumpster enclosures, etc.), shall be maintained by an owners association or other legal entity, in which each property owner has a legal interest and obligation. Maintenance obligations shall be included in covenants and restrictions that are administered by the association or legal entity, and which run with the land. The City shall be furnished for review and approval the covenants and restrictions and the legal instruments creating the association or legal entity as part of the Integrated Site Plan Subdivision approval process.

(8) The property owners must execute written agreements which are recorded against the affected property, ensuring that all lots within the Integrated Site Plan Subdivision will continue to function as one site for any number of purposes, including but not limited to: lot access; interior circulation; common utilities; open space; landscaping and drainage; common facilities maintenance; and coordinated parking. Such approved Integrated Site Plan Subdivision and associated Integrated Site Plan is recorded in the county in which such land is located.

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PRELIMINARY - NOT FOR CONSTRUCTION

# DANIELS SUBDIVISION SECOND ADDITION INTEGRATED SITE PLAN SUBDIVISION PRELIMINARY PLAT - EXISTING

ATTACHMENT C



**INDEX LEGEND**

**LOCATION:**  
LOT 1 AND 2 DANIELS SUBDIVISION FIRST ADDITION  
SECTION 11-83-24 STORY COUNTY

**OWNER:**  
DUFF DEVELOPMENT LLC  
3101 INGERSOLL AVE  
DES MOINES, IA 50312

**PREPARED FOR:**  
ALAN VANGUNDY  
SIMONSON & ASSOCIATES ARCHITECTS LLC  
1717 INGERSOLL AVENUE, SUITE 117  
DES MOINES, IOWA 50309

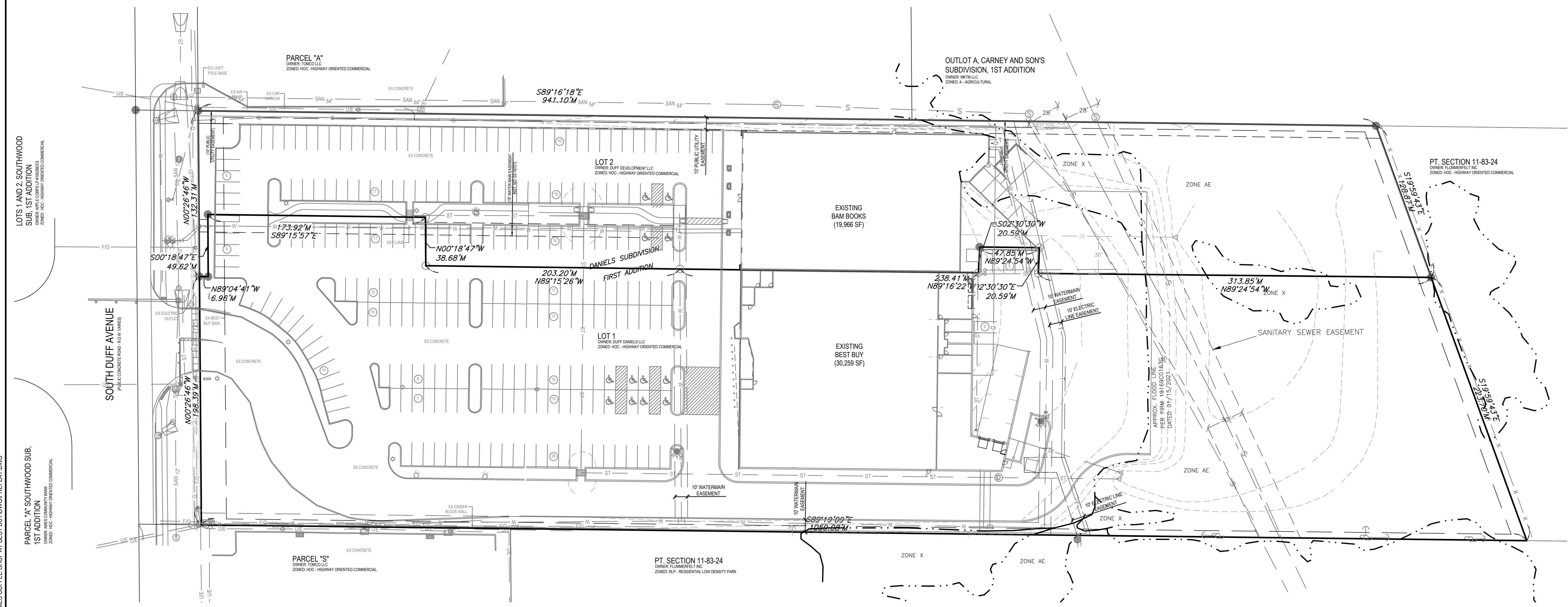
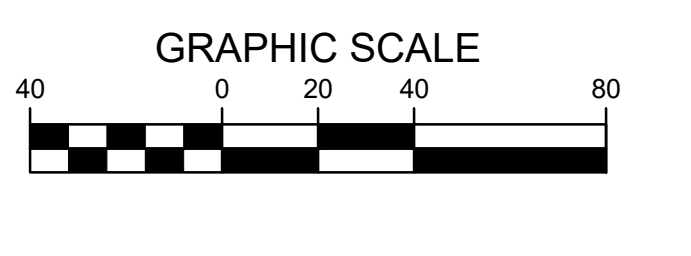
**PREPARED BY:**  
LARRY HYLER PLS  
BISHOP ENGINEERING  
3501 104TH ST  
LIBRANDALE, IA 50322

**PROPERTY DESCRIPTION:**  
(WARRANTY DEED BOOK INST. NO. 02-16734)  
LOT 1 AND LOT 2 IN DANIELS SUBDIVISION FIRST ADDITION,  
AN OFFICIAL PLAT, INCLUDED IN AND FORMING A PART OF  
THE CITY OF AMES, IOWA.

**SUBJECT TO AND TOGETHER WITH ANY AND ALL  
EASEMENTS AND RESTRICTIONS OF RECORD.**

**AREA:**  
7.59 ACRES (330,777 SF)

**ADDRESS:**  
1200 SOUTH DUFF AVENUE  
AMES, IOWA 50312



**SITE CONTROL AND BENCHMARKS:**  
BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS  
DATUM = NAD 83, IOWA SOUTH  
BENCHMARK DATUM = NAVD88, GEOID 18

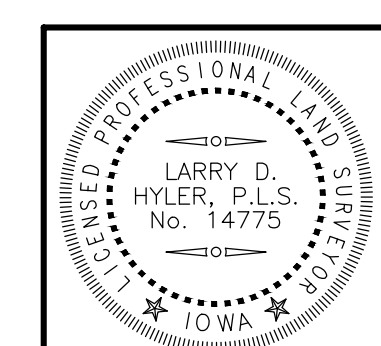
POINT #9000, 5/8" IRON ROD W/ RED PLASTIC CAP  
NORTHING = 3,467,473.42  
EASTING = 4,891,677.22  
ELEVATION = 889.28  
DESCRIPTION: 125' NORTH OF EASTERN MOST  
RECTANGULAR INTAKE

**ABBREVIATIONS:**  
AC ACRES  
PUE PUBLIC UTILITY EASEMENT  
TYP TYPICAL  
N NORTH  
S SOUTH  
E EAST  
W WEST  
YPC YELLOW PLASTIC CAP  
MPE MINIMUM PROTECTION ELEVATION  
SF SQUARE FOOTAGE  
POB POINT OF BEGINNING  
POC POINT OF COMMENCEMENT

**LEGEND:**

- PROPERTY CORNER - FOUND AS NOTED
- PROPERTY CORNER- PLACED 3/4" IRON PIPE WITH YELLOW PLASTIC CAP ID #14775
- ⊗ SECTION CORNER - FOUND AS NOTED
- ⊕ CUT "X" IN PAVEMENT
- ADDRESS

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I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

SIGNED: LARRY D. HYLER, P.L.S. 14775 DATE: PRELIMINARY  
LICENSE RENEWAL DATE: DEC. 31, 2022  
PAGES OR SHEETS COVERED BY THIS SEAL: 1 of 1

8/31/2022 12:47:03 PM L:\LAND PROJECTS 2022\20055 - AMES COFFEE SHOP AT BEST BUY\DWG\PREPLAT.DWG

DANIELS SUBDIVISION SECOND ADDITION  
INTEGRATED SITE PLAN SUBDIVISION, AMES, IOWA  
**PRELIMINARY PLAT - EXISTING**

REFERENCE NUMBER:  
DRAWN BY:  
BK  
CHECKED BY:  
LH  
REVISION DATE:  
07-12-2022 CHECK  
07-14-2022 CITY  
08-08-2022 CITY  
08-25-2022 CITY  
PROJECT NUMBER:  
220055  
SHEET NUMBER:  
1 OF 2

**Bishop Engineering**  
"Planning Your Successful Development"

3501 104th Street  
Des Moines, Iowa 50322-3825  
Phone: (515)276-0467 Fax: (515)276-0217  
Civil Engineering & Land Surveying Established 1959

PRELIMINARY - NOT FOR CONSTRUCTION

# DANIELS SUBDIVISION SECOND ADDITION INTEGRATED SITE PLAN SUBDIVISION PRELIMINARY PLAT - PROPOSED

## DEVELOPMENT SUMMARY:

**SITE AREA:**  
TOTAL SITE AREA = 7.59 ACRES (330,777± SF)

**ZONING:**  
HOC (HIGHWAY-ORIENTED COMMERCIAL)

**EXISTING PARKING (LOT 1 AND LOT 2):**  
240 STANDARD STALLS  
12 HANDICAP STALLS  
252 TOTAL PARKING STALLS

**SETBACKS:**  
FRONT = 20 FEET  
SIDE = 5 FEET; 20 FEET ABUTTING RESIDENTIAL  
REAR = 10 FEET; 20 FEET ABUTTING RESIDENTIAL

**PARKING REQUIREMENTS (LOTS 1, 2 AND 3):**

LOT 1 AND LOT 2 - BEST BUY AND BAM  
REQUIRED PARKING (1 PER 300 SF FOR 50,225 SF) = 167 SPACES  
PROVIDED PARKING (4+ PER 1000 SF) = 206 SPACES (INC 14 ADA SPACES)

**OPEN SPACE:**  
TOTAL SITE AREA = 330,777 SF (7.59 ACRES)  
OPEN SPACE REQUIRED = 49,617 SF (15%)  
OPEN SPACE PROVIDED = 123,122 SF (37%)

LOT 3 - COFFEE SHOP  
REQUIRED PARKING (12 PER 1000 SF FOR 2,380 SF) = 29 SPACES  
PROVIDED PARKING (12 PER 1000 SF) = 29 SPACES

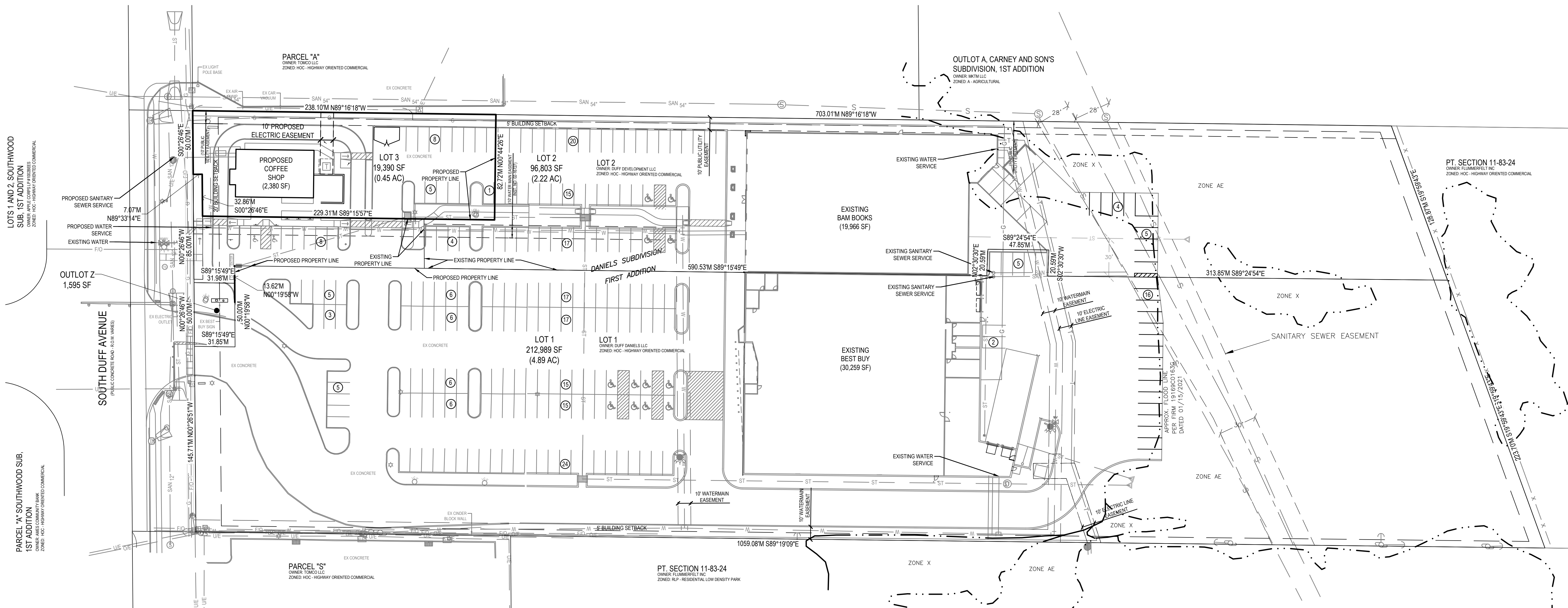
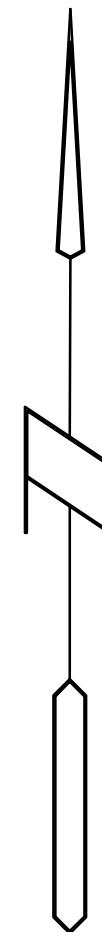
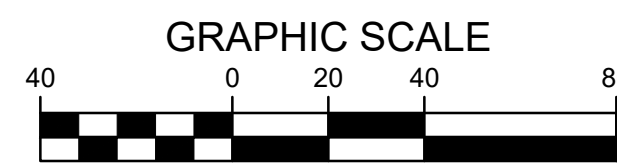
**TOTAL OVERALL SITE:**  
REQUIRED = 196 SPACES (INC 6 ADA SPACES)  
PROVIDED = 235 SPACES (INC 14 ADA SPACES)

## IMPERVIOUS SURFACE:

**TOTAL SITE AREA = 330,777 SF (7.59 ACRES)**

**EXISTING**  
BUILDING = 48,352 SF (15% BUILDING COVERAGE)  
DRIVE/PARKING/SIDEWALK = 172,933 SF  
= 222,285 SF TOTAL (67%)

**PROPOSED**  
BUILDING = 52,605 SF (16% BUILDING COVERAGE)  
DRIVE/PARKING/SIDEWALK = 155,050 SF  
= 207,655 SF TOTAL (63%)



**NOTES:**  
OUTLOT Z IS FOR THE EXISTING MONUMENT SIGN AND NOT TO BE DEVELOPED  
PARCELS (OR LOTS) LIE WITHIN THE SPECIAL FLOOD HAZARD AREAS AS SHOWN ON FIRM PANEL 19169C0163G.

ALL PARKING AREAS, DRIVES, SIDEWALKS, FIRE LANES, ETC. ARE FOR THE COMMON USE OF ALL LOTS WITHIN THE SUBDIVISION.

**SURVEY NOTES:**  
THIS PLAT HAS AN ERROR OR CLOSURE OF LESS THAN 1.0 FEET IN 10,000.0 FEET. EACH LOT WITHIN THIS PLAT HAS AN ERROR OF CLOSURE OF LESS THAN 1.0 FEET IN 5,000.0 FEET.

ALL CORNERS HAVE BEEN PLACED WITH A 3/4 INCH IRON PIPE UNLESS NOTED OTHERWISE. ALL CORNERS PLACED HAVE A YELLOW PLASTIC IDENTIFICATION CAP NO. 14775.

**SITE CONTROL AND BENCHMARKS:**  
BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS  
DATUM = NAD 83, IOWA SOUTH  
BENCHMARK DATUM = NAVD88, GEOID 18

POINT #9000, 5/8" IRON ROD W/ RED PLASTIC CAP  
NORTHING = 3,467,473.42  
EASTING = 4,891,677.22  
ELEVATION = 889.28  
DESCRIPTION: 125' NORTH OF EASTERN MOST RECTANGULAR INTAKE

**ABBREVIATIONS:**  
AC ACRES  
PUE PUBLIC UTILITY EASEMENT  
TYP TYPICAL  
N NORTH  
S SOUTH  
E EAST  
W WEST  
YPC YELLOW PLASTIC CAP  
MPE MINIMUM PROTECTION ELEVATION  
SF SQUARE FOOTAGE  
POB POINT OF BEGINNING  
POC POINT OF COMMENCEMENT

**LEGEND:**  
● PROPERTY CORNER - FOUND AS NOTED  
○ PROPERTY CORNER - PLACED 3/4" IRON PIPE WITH YELLOW PLASTIC CAP ID #14775  
⊕ SECTION CORNER - FOUND AS NOTED  
✕ CUT "X" IN PAVEMENT  
○ ADDRESS

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PRELIMINARY PLAT - PROPOSED**

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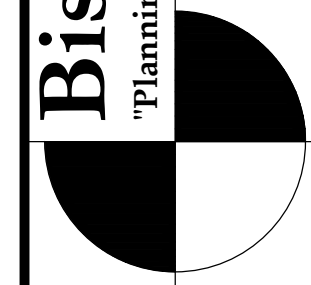
PRELIMINARY - NOT FOR CONSTRUCTION

# DANIELS SUBDIVISION SECOND ADDITION INTEGRATED SITE PLAN SUBDIVISION LOT EXHIBIT



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DANIELS SUBDIVISION SECOND ADDITION  
INTEGRATED SITE PLAN SUBDIVISION, AMES, IOWA

LOT EXHIBIT

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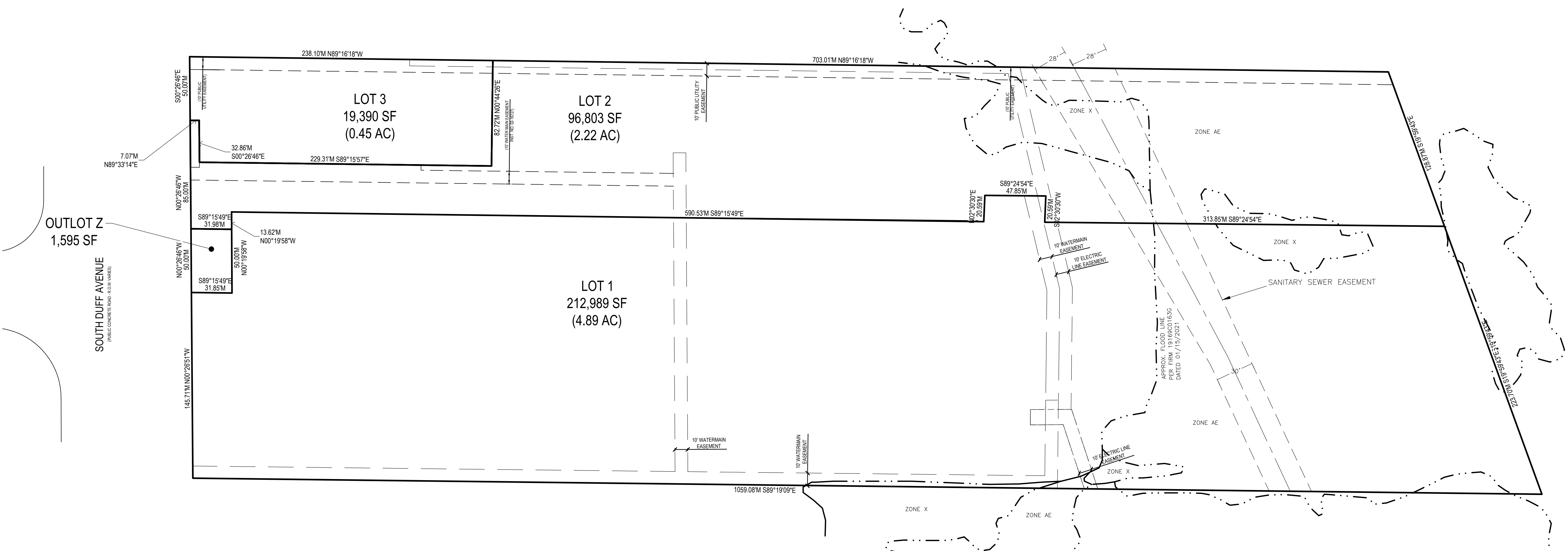
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**1 OF 1**



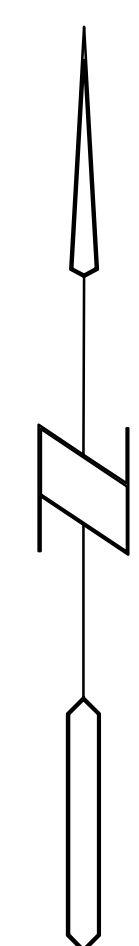
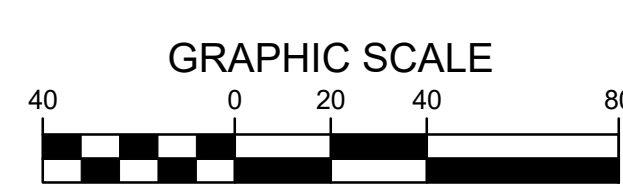
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POC POINT OF COMMENCEMENT

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✕ CUT "X" IN PAVEMENT  
○ ADDRESS

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PRELIMINARY - NOT FOR CONSTRUCTION

3/8/2023 10:41:41 AM L:\LAND PROJECTS 2022\220055 - AMES COFFEE SHOP AT BEST BUY\DWG\PREPLAT.DWG

**DEVELOPMENT SUMMARY:**

**SITE AREA:**  
TOTAL SITE AREA = 7.59 ACRES (330,777± SF)

**ZONING:**  
HOC (HIGHWAY-ORIENTED COMMERCIAL)

**SETBACKS:**

FRONT = 20 FEET  
SIDE = 5 FEET; 20 FEET ABUTTING RESIDENTIAL  
REAR = 10 FEET; 20 FEET ABUTTING RESIDENTIAL

**OPEN SPACE:**

TOTAL SITE AREA = 330,777 SF (7.59 ACRES)  
OPEN SPACE REQUIRED = 49,617 SF (15%)  
OPEN SPACE PROVIDED = 124,172 SF (37.5%)

**IMPERVIOUS SURFACE:**

TOTAL SITE AREA = 330,777 SF (7.59 ACRES)

**EXISTING**

BUILDING = 48,352 SF (15% BUILDING COVERAGE)  
DRIVE/PARKING/SIDEWALK = 172,933 SF  
= 222,285 SF TOTAL (67%)

**PROPOSED**

BUILDING = 52,605 SF (16% BUILDING COVERAGE)  
DRIVE/PARKING/SIDEWALK = 154,000 SF  
= 206,605 SF TOTAL (63%)

**EXISTING PARKING (LOT 1 AND LOT 2):**

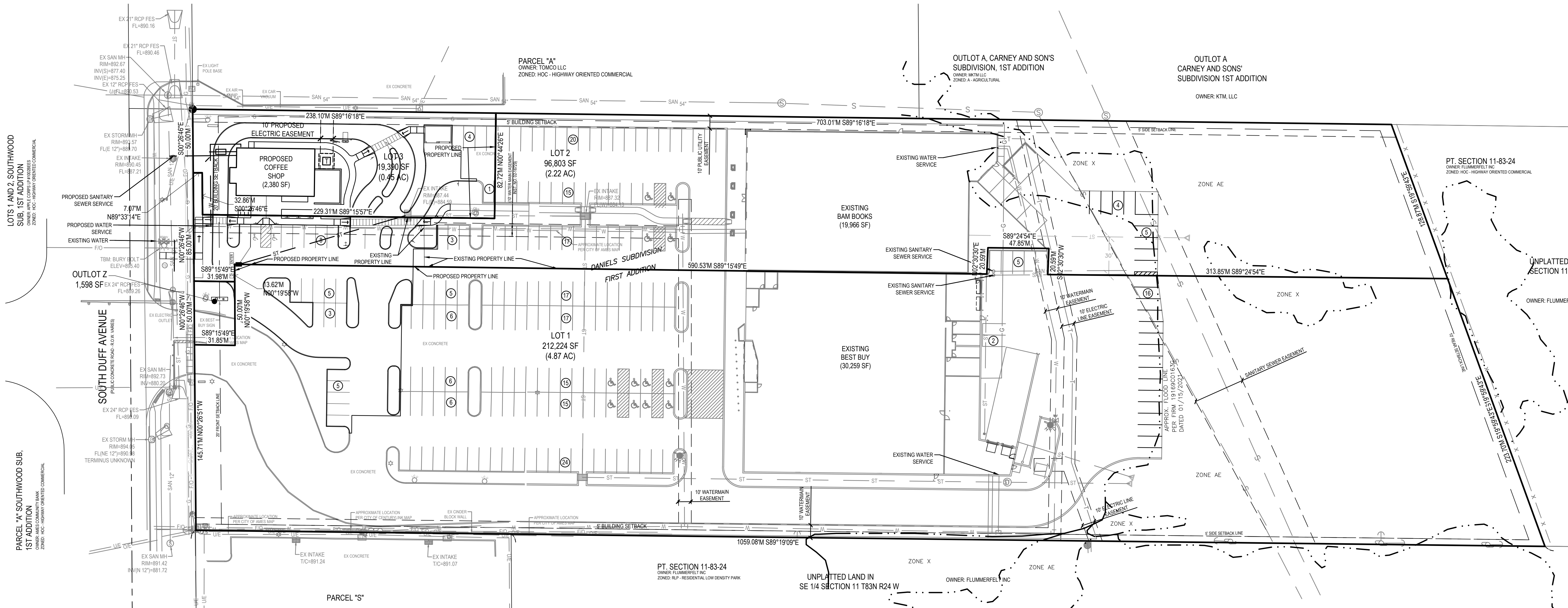
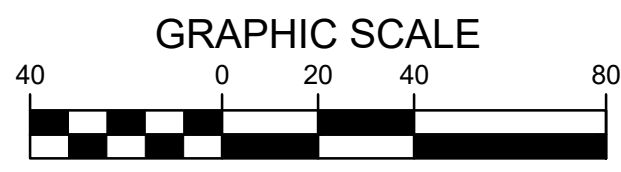
240 STANDARD STALLS  
12 HANDICAP STALLS  
252 TOTAL PARKING STALLS

**PARKING REQUIREMENTS (LOTS 1, 2 AND 3):**

LOT 1 AND LOT 2 - BEST BUY AND BAM  
REQUIRED PARKING (1 PER 300 SF FOR 50,225 SF) = 167 SPACES

LOT 3 - COFFEE SHOP  
REQUIRED PARKING (12 PER 1000 SF FOR 2,380 SF) = 29 SPACES

TOTAL OVERALL SITE  
REQUIRED = 196 SPACES (INC 6 ADA SPACES)  
PROVIDED = 224 SPACES (INC 14 ADA SPACES) (4+ PER 1000 SF)



**SITE CONTROL AND BENCHMARKS:**

BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS  
DATUM = NAD 83, IOWA SOUTH  
BENCHMARK DATUM = NAVD88, GEOID 18

POINT #9000, 5/8" IRON ROD W/ RED PLASTIC CAP  
NORTHING = 3,467,473.42  
EASTING = 4,891,677.22  
ELEVATION = 889.28  
DESCRIPTION: 125 NORTH OF EASTERN MOST  
RECTANGULAR INTAKE

**ABBREVIATIONS:**

AC ACRES  
PUE PUBLIC UTILITY EASEMENT  
TYP TYPICAL  
N NORTH  
S SOUTH  
E EAST  
W WEST  
YPC YELLOW PLASTIC CAP  
MPE MINIMUM PROTECTION ELEVATION  
SF SQUARE FOOTAGE  
POB POINT OF BEGINNING  
POC POINT OF COMMENCEMENT

**LEGEND:**

- PROPERTY CORNER - FOUND AS NOTED
- PROPERTY CORNER- PLACED 3/4" IRON PIPE WITH YELLOW PLASTIC CAP ID #14775
- ⊗ SECTION CORNER - FOUND AS NOTED
- ✕ CUT "X" IN PAVEMENT
- ADDRESS

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**SURVEY NOTES:**

THIS PLAT HAS AN ERROR OR CLOSURE OF LESS THAN 1.0 FEET IN 10,000.0 FEET. EACH LOT WITHIN THIS PLAT HAS AN ERROR OF CLOSURE OF LESS THAN 1.0 FEET IN 5,000.0 FEET.

ALL CORNERS HAVE BEEN PLACED WITH A 3/4 INCH IRON PIPE UNLESS NOTED OTHERWISE. ALL CORNERS PLACED HAVE A YELLOW PLASTIC IDENTIFICATION CAP NO. 14775.

1200 SOUTH DUFF AVENUE COFFEE SHOP  
INTEGRATED SITE PLAN  
OVERALL SITE PLAN

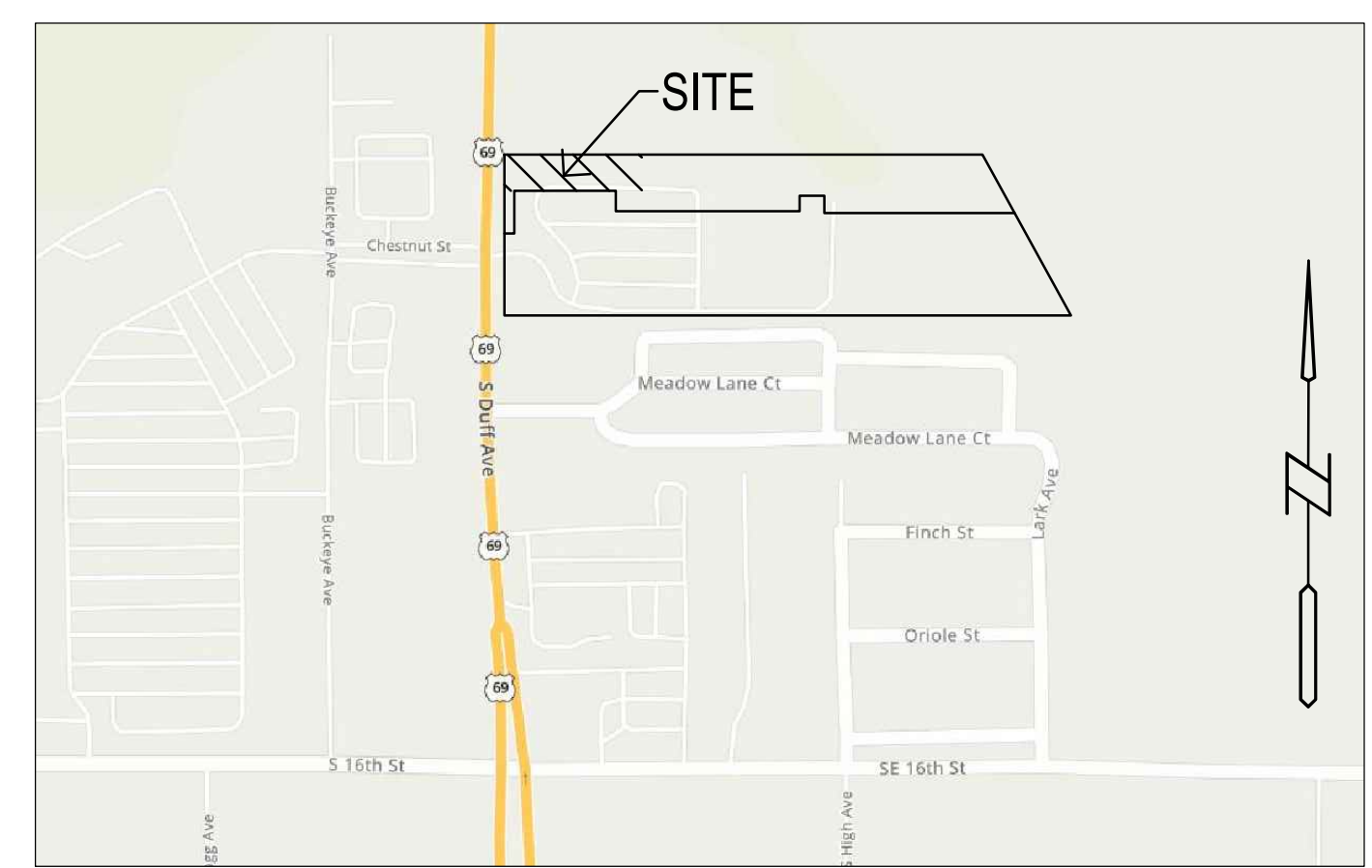
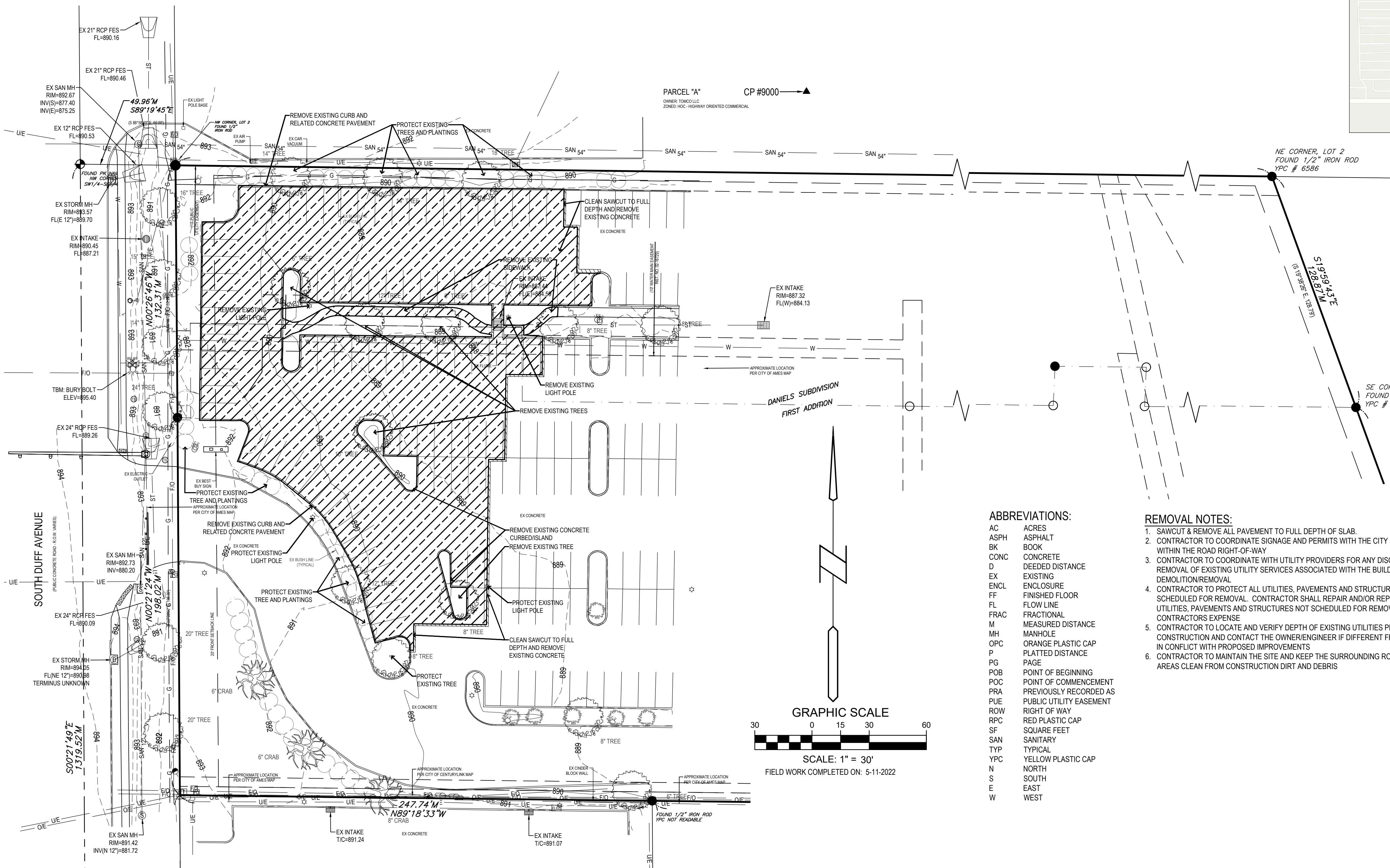
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DRAWN BY:	BK
CHECKED BY:	DB
REVISION DATE:	07-12-2022 CHECK 07-14-2022 CITY 08-08-2022 CITY 08-25-2022 CITY 08-31-2022 CITY 10-27-2022 12-21-2022 DTHRU 02-10-2023 CITY 03-03-2023 CITY
PROJECT NUMBER:	220055
SHEET NUMBER:	C0.2

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PRELIMINARY - NOT FOR CONSTRUCTION

# 1200 SOUTH DUFF AVENUE SITE SURVEY AND REMOVALS



VICINITY MAP  
SCALE: 1" = 400'

**PROPERTY DESCRIPTION:**  
(WARRANTY DEED BOOK INST. NO. 02-16734)  
PART OF LOT 1 AND LOT 2 IN DANIELS SUBDIVISION FIRST ADDITION, AN OFFICIAL PLAT, INCLUDED IN AND FORMING A PART OF THE CITY OF AMES, IOWA.

SUBJECT TO AND TOGETHER WITH ANY AND ALL EASEMENTS AND RESTRICTIONS OF RECORD.

**SURVEY AREA:**  
109,114.22 SQUARE FEET - 2.50 ACRES

**ADDRESS:**  
1200 SOUTH DUFF AVENUE  
AMES, IOWA 50312

**OWNER:**  
DUFF DEVELOPMENT LLC  
3101 INGERSOLL AVENUE  
DES MOINES, IOWA 50312

**PREPARED FOR:**  
ALAN VANGUNDY  
SIMONSON & ASSOCIATES ARCHITECTS LLC  
1717 INGERSOLL AVENUE, SUITE 117  
DES MOINES, IOWA 50309

**ZONING:**  
INFORMATION OBTAINED FROM THE STORY COUNTY ASSESSORS PAGE ZONED: HOC (HIGHWAY ORIENTED COMMERCIAL ZONE) FOR AN OFFICIAL ZONING REPORT PLEASE CALL THE CITY OF AMES AT (515) 239-5101

**SITE CONTROL AND BENCHMARKS:**  
BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS  
DATUM = NAD 83, IOWA SOUTH  
BENCHMARK DATUM = NAVD83, GEOID 18

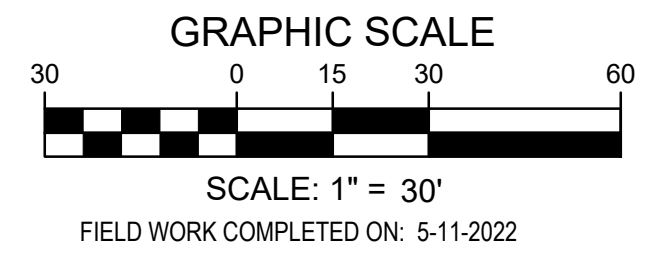
**POINT #9000, 5/8" IRON ROD W/ RED PLASTIC CAP**  
NORTHING = 3,467,473.42  
EASTING = 4,891,677.22  
ELEVATION = 889.28  
DESCRIPTION: 125' NORTH OF EASTERN MOST RECTANGULAR INTAKE

**ABBREVIATIONS:**

- AC ACRES
- ASPH ASPHALT
- BK BOOK
- CONC CONCRETE
- D DEEDED DISTANCE
- EX EXISTING
- ENCL ENCLOSURE
- FF FINISHED FLOOR
- FL FLOW LINE
- FRAC FRACTIONAL
- M MEASURED DISTANCE
- MH MANHOLE
- OPC ORANGE PLASTIC CAP
- P PLATTED DISTANCE
- PG PAGE
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- PRA PREVIOUSLY RECORDED AS
- PUE PUBLIC UTILITY EASEMENT
- ROW RIGHT OF WAY
- RPC RED PLASTIC CAP
- SF SQUARE FEET
- SAN SANITARY
- TYP TYPICAL
- YPC YELLOW PLASTIC CAP
- N NORTH
- S SOUTH
- E EAST
- W WEST

**REMOVAL NOTES:**

1. SAWCUT & REMOVE ALL PAVEMENT TO FULL DEPTH OF SLAB.
2. CONTRACTOR TO COORDINATE SIGNAGE AND PERMITS WITH THE CITY FOR ANY WORK WITHIN THE ROAD RIGHT-OF-WAY
3. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDERS FOR ANY DISCONNECT AND REMOVAL OF EXISTING UTILITY SERVICES ASSOCIATED WITH THE BUILDING STRUCTURE DEMOLITION/REMOVAL
4. CONTRACTOR TO PROTECT ALL UTILITIES, PAVEMENTS AND STRUCTURES THAT ARE NOT SCHEDULED FOR REMOVAL. CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY DAMAGED UTILITIES, PAVEMENTS AND STRUCTURES NOT SCHEDULED FOR REMOVAL AT THE CONTRACTORS EXPENSE
5. CONTRACTOR TO LOCATE AND VERIFY DEPTH OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND CONTACT THE OWNER/ENGINEER IF DIFFERENT FROM THE PLANS OR IN CONFLICT WITH PROPOSED IMPROVEMENTS
6. CONTRACTOR TO MAINTAIN THE SITE AND KEEP THE SURROUNDING ROADS AND PARKING AREAS CLEAN FROM CONSTRUCTION DIRT AND DEBRIS



**LEGEND:**

- |        |                      |   |                    |   |                          |   |                       |   |                        |
|--------|----------------------|---|--------------------|---|--------------------------|---|-----------------------|---|------------------------|
| —SAN—  | SANITARY SEWER       | ⊙ | STORM MANHOLE      | ⊙ | SPRINKLER                | ⊞ | ELECTRIC RISER        | ⊙ | GUY WIRE               |
| —ST—   | STORM SEWER          | ⊙ | CURB INTAKE        | ⊙ | IRRIGATION CONTROL VALVE | ⊞ | ELECTRIC VAULT        | ⊙ | ELECTRIC HANDHOLE      |
| —W—    | WATER LINE           | ⊙ | SURFACE INTAKE     | ⊙ | WATER MANHOLE            | ⊞ | POWER POLE            | ⊙ | GAS METER              |
| —G—    | GAS LINE             | ⊙ | FLARED END SECTION | ⊙ | WELL                     | ⊞ | TRANSFORMER POLE      | ⊙ | GAS VALVE              |
| —U/E—  | UNDERGROUND ELECTRIC | ⊙ | ROOF DRAIN         | ⊙ | WATER VALVE              | ⊞ | LIGHT POLE            | ⊙ | AIR CONDITIONING UNIT  |
| —O/E—  | OVERHEAD ELECTRIC    | ⊙ | DOWNSPOUT          | ⊙ | WATER SHUT OFF           | ⊞ | ELECTRIC JUNCTION BOX | ⊙ | TELEPHONE RISER        |
| —TELE— | TELEPHONE LINE       | ⊙ | SANITARY MANHOLE   | ⊙ | YARD HYDRANT             | ⊞ | ELECTRIC PANEL        | ⊙ | TELEPHONE VAULT        |
| —F/O—  | FIBER OPTIC          | ⊙ | CLEANOUT           | ⊙ | ELECTRIC MANHOLE         | ⊞ | TRANSFORMER           | ⊙ | TELEPHONE MANHOLE      |
| —CATV— | CABLE TV             | ⊙ | FIRE HYDRANT       | ⊙ | ELECTRIC METER           | ⊞ | GROUND LIGHT          | ⊙ | TRAFFIC SIGNAL MANHOLE |

**UTILITY MAPS PROVIDED BY:**

1. GAS (ALLIANT ENERGY / (800) 255-4268)
2. ELECTRIC (CITY OF AMES / (515) 239-5162)
3. FIBER OPTIC (CENTURYLINK / (818) 547-0147)
4. FIBER OPTIC (MEDIACOM / (515) 246-6668)
5. FIBER OPTIC (UNITE PRIVATE NETWORKS / (816) 425-3556)



**UTILITY NOTE:**

THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT. A REQUEST WAS MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.

**NOTES:**

1. ADJACENT PROPERTY OWNER INFORMATION OBTAINED FROM STORY COUNTY ASSESSORS WEB PAGE
  2. PARENTHESIS ( ) DENOTES PREVIOUSLY RECORDED BEARINGS AND DISTANCES
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Established 1959

1200 SOUTH DUFF AVENUE COFFEE SHOP  
INTEGRATED SITE PLAN  
**SITE SURVEY AND REMOVALS**

REFERENCE NUMBER:	
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PROJECT NUMBER:	220055
SHEET NUMBER:	C1.1



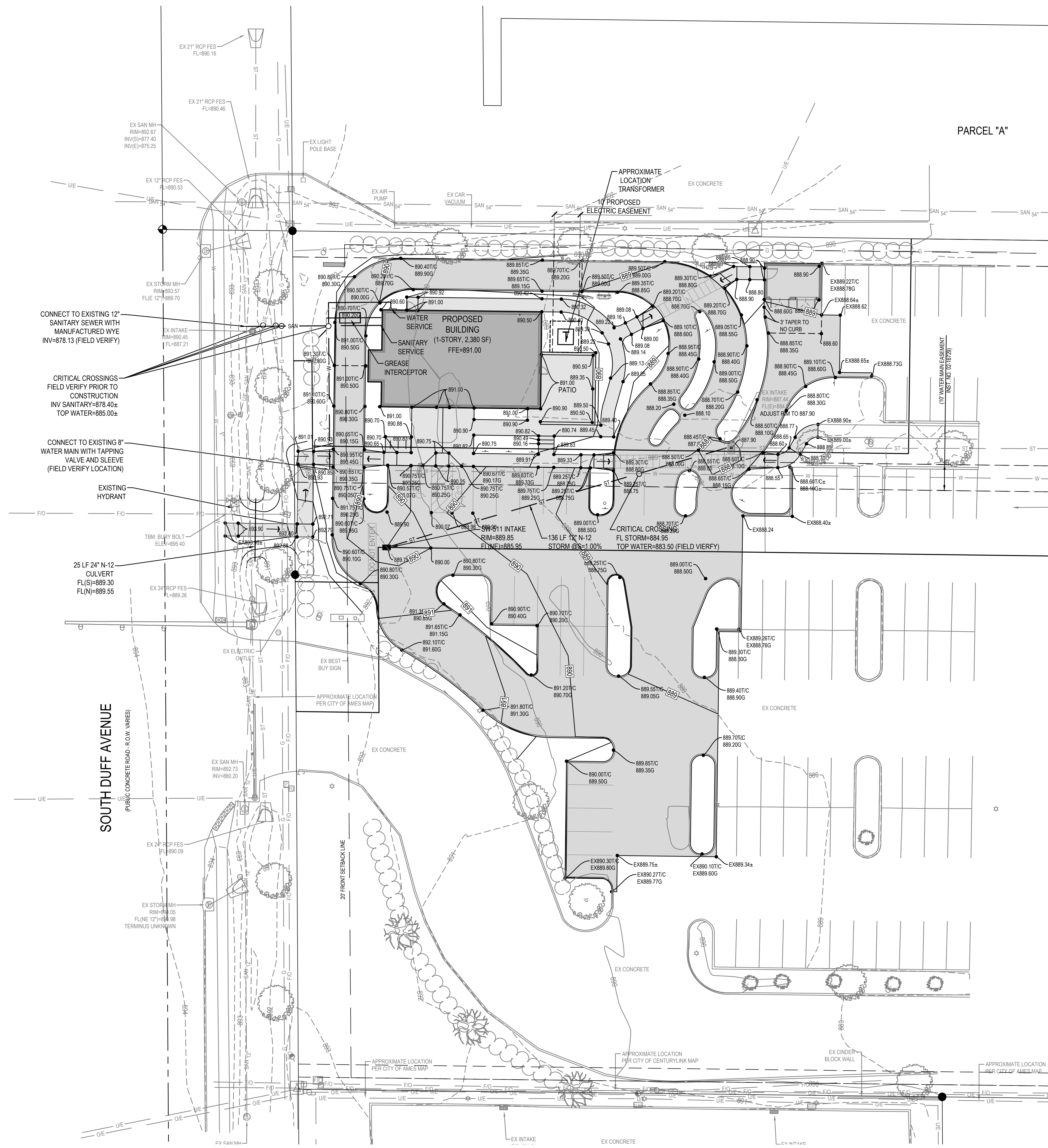
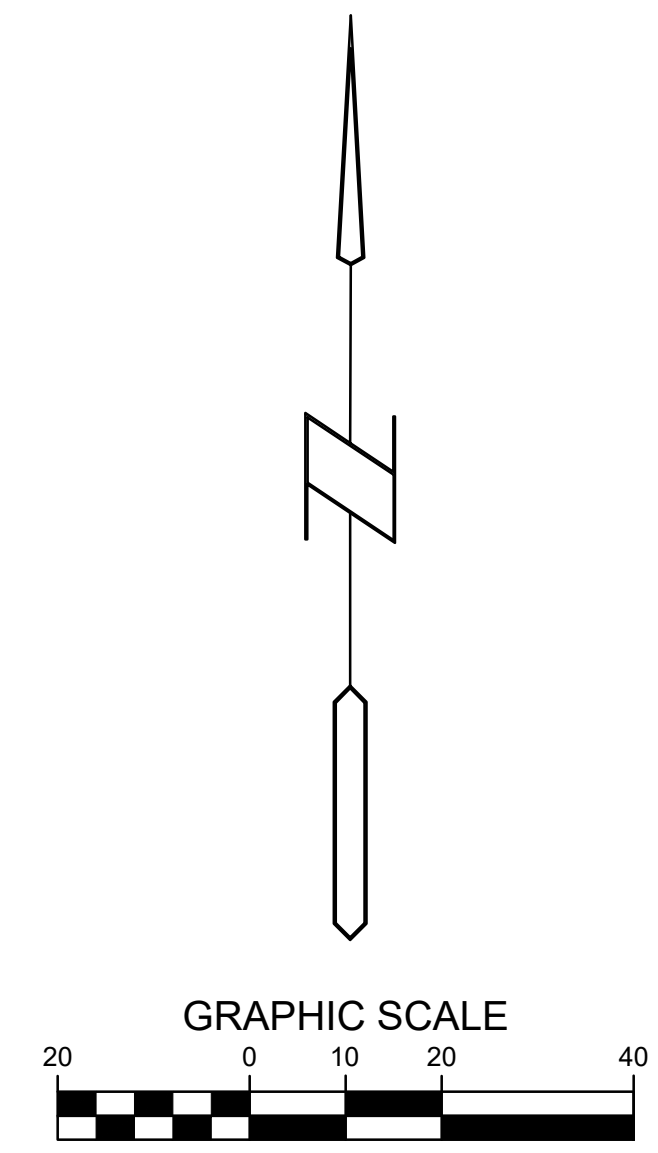


PRELIMINARY- NOT FOR CONSTRUCTION

3/8/2023 10:40:05 AM L:\LAND PROJECTS 2022\220055 - AMES COFFEE SHOP AT BEST BUY\DWG\3 GRADING-UTILITY.DWG

UTILITY NOTES:

1. ALL PROPOSED UTILITIES SHALL BE PRIVATE, UNLESS NOTED OTHERWISE.
2. ALL WATER LINES SHALL HAVE A MINIMUM OF 5.5' OF COVER UNLESS NOTED OTHERWISE.
3. FIRE HYDRANT ASSEMBLY SHALL INCLUDE THE TEE, BRANCH, VALVE AND HYDRANT.
4. PIPE LENGTHS CALLED OUT ON PLANS INCLUDE FLARED END SECTION, WHERE APPLICABLE.
5. STORM SEWER CALLED OUT AS RCP MUST BE CLASS III RCP.
6. STORM SEWER CALLED OUT AS N-12 MAY BE EITHER N-12 OR CLASS III RCP.
7. FOR RCP PIPE, ASSOCIATED F.E.S. MUST BE RCP. FOR N-12 PIPE, ASSOCIATED F.E.S. SHALL BE CMP.
8. ALL NYLOPLAST BASINS SHALL HAVE CASTINGS SECURELY FASTENED TO THE BASIN BODY, AND ALL GRATES/LIDS SHALL BE BOLTED DOWN TO THE CASTINGS.
9. TRANSFORMER PAD IS SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE. PAD SHALL CONFORM TO ALL UTILITY COMPANY DESIGN STANDARDS AND SPECIFICATIONS.
10. GREASE INTERCEPTOR AND ANY VENT LINES ARE SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE. REFER TO PLUMBING PLANS FOR DETAILED DRAWINGS AND SPECIFICATIONS. PLUMBING PLANS SHALL TIE INTO SANITARY SERVICE AT LOCATION AND ELEVATION SHOWN ON PLANS.



PARCEL "A"

1200 SOUTH DUFF AVENUE COFFEE SHOP  
 INTEGRATED SITE PLAN  
 GRADING AND UTILITY PLAN

REFERENCE NUMBER:	
DRAWN BY:	BK
CHECKED BY:	DB
REVISION DATE:	07-12-2022 CHECK 07-14-2022 CITY 08-08-2022 CITY 08-25-2022 CITY 08-31-2022 CITY 10-27-2022 12-21-2022 DTHRU 02-10-2023 CITY 03-03-2023 CITY
PROJECT NUMBER:	220055
SHEET NUMBER:	C3.1

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