ITEM #: 35

DATE: 03-28-23

DEPT: P&H

### **COUNCIL ACTION FORM**

SUBJECT: SUBDIVISION FOR INTEGRATED SITE PLAN FINAL PLAT AND MINOR AMENDMENT TO SITE DEVELOPMENT PLAN FOR DANIEL'S SECOND ADDITION

### **BACKGROUND:**

The City's subdivision regulations are included in Chapter 23 of the *Ames Municipal Code*. A Final Plat must be found to conform to the ordinances of the City and any conditions placed upon the Preliminary Plat approval. After City Council approval of the Final Plat, it must then be recorded with the County Recorder to become an officially recognized subdivision plat with new lots.

Duff Development, LLC; Duff Daniels LLC; Westbrooke Daniels, LLC; and Westbrook Wolf, LLC have submitted a final subdivision plat for Daniel's Subdivision, Second Addition. The Preliminary Plat was approved by the Council on September 27, 2022, as a part of an Integrated Site Plan Subdivision that included a Major Site Development Plan approval at the same meeting.

The proposal allows for the creation of two additional lots, one lot for development of a new drive-through coffee shop and an outlot for shopping center signage to benefit the existing Best Buy and BAM stores that are already located on their own lots. The proposed final plat is part of an Integrated Site Plan that accompanies the subdivision approval to allow for development review of a combined site rather than an individual parcel.

Since approval, there has been a minor amendment to the Site Development Plan for the coffee shop proposed at the northwest corner of the plat. The amendment includes a double drive-thru lane rather than the single drive-thru lane originally approved. This change results in a reduction in the excess parking included within the subdivision from 39 spaces to 28 spaces and some minor adjustments to the proposed landscaping. Circulation through the parking lot has also been modified to include a one-way direction for circulating out of the BAM parking area along the north property line. Attachment D illustrates the area of change and includes all of the final Site Plan and Plat plans.

There is no change in the building location, total impervious area, or the lot configurations. Approval of the minor amendment to the Site Development Plan is requested from Council and is included below within the Alternatives.

The existing plat includes two commercial lots that are the location of Best Buy and Books-A-Million. The proposed Final Plat includes one new 19,390 sq. ft. commercial lot

at the northwest corner along Duff Avenue, where a building for a coffee shop will be constructed. The plat includes a total of three developable lots and one outlot (1,597 sq. ft.) reserved for signage. Each lot has frontage on S. Duff Avenue. Vehicle access from S. Duff Avenue is unchanged.

As discussed during approval of the Preliminary Plat, the outlot will create a nonconforming sign for the shopping center. The sign can be maintained but cannot be altered in the future without coming into conformance. Each of the lots with buildings will have their own sign allowances separate from the shopping center sign.

Per the requirements of the Subdivision Code for an Integrated Site Plan, the lots will operate collectively for site improvement and maintenance purposes. This is memorialized within the Reciprocal Easement and Operation Agreement (REOA, recorded as instrument number 02-16733) and the Amended REOA (recorded as instrument number 2023-01083). Notes have also been placed on the plat that acknowledge shared use of parking, pedestrian ways, circulation, common spaces, and maintenance of improvements and landscaping. These notes are a requirement of an Integrated Site Plan Subdivision.

Full development of the site consistent with the approved Site Development Plan is required within two years, per the Subdivision Code requirements.

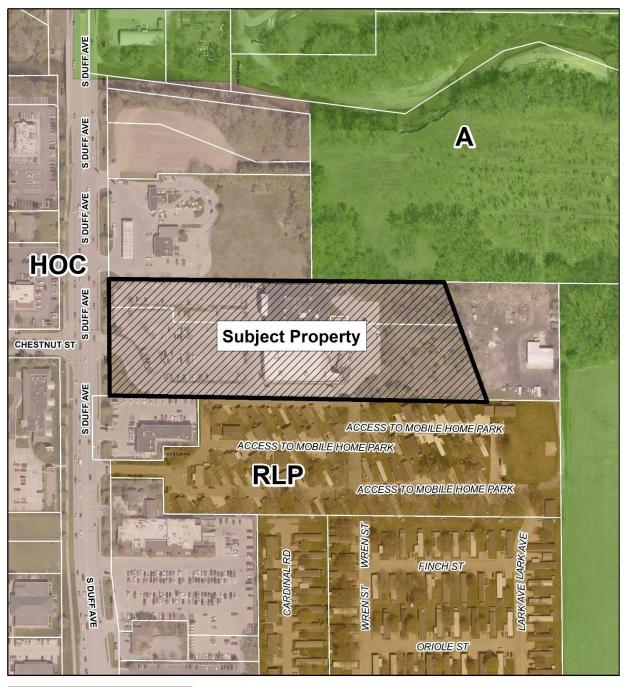
### **ALTERNATIVES:**

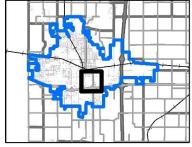
- 1. Accept the Minor Amendment to the Site Development Plan and approve the Final Plat of the Second Addition to Daniel's Subdivision, based upon findings that the Final Plat conforms to relevant and applicable design standards, ordinances, policies, and plans with the following condition:
- 2. Deny the Final Plat of the Second Addition to Daniel's Subdivision on the basis that the development creates a burden on existing public improvements, creates a need for new public improvements that have not yet been installed, or does not have an appropriate plan for the common use of the site.
- 3. Defer approval and request further information.

### **CITY MANAGER'S RECOMMENDED ACTION:**

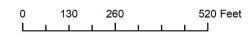
City staff has evaluated the proposed final subdivision plat and determined that the proposal is consistent with the preliminary plat approved by City Council and that the plat conforms to the adopted ordinances and policies of the City as required by Code. No public improvements are required for approval of the Plat. Therefore, it is the recommendation of the City Manager that the City Council adopt Alternative No.1, as described above.

### **Attachment A: Location Map**



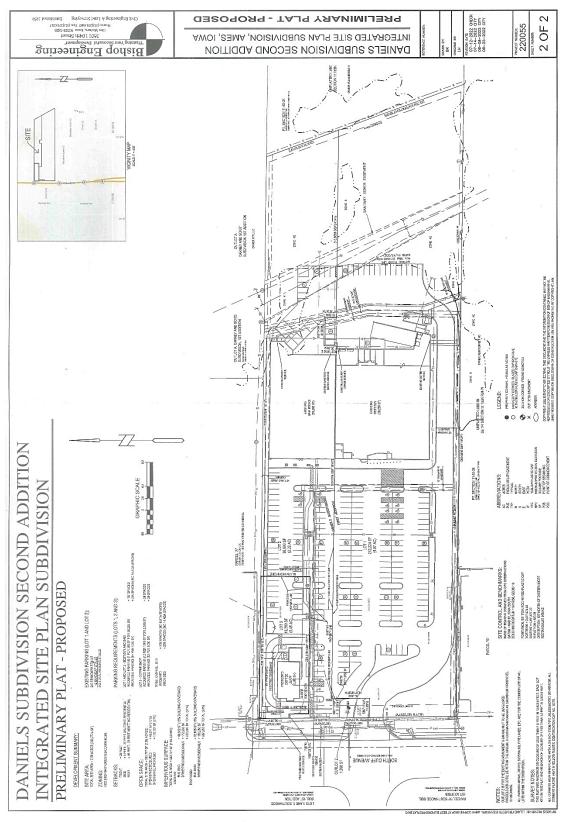


### LOCATION & ZONING MAP 1200 & 1220 S Duff Avenue

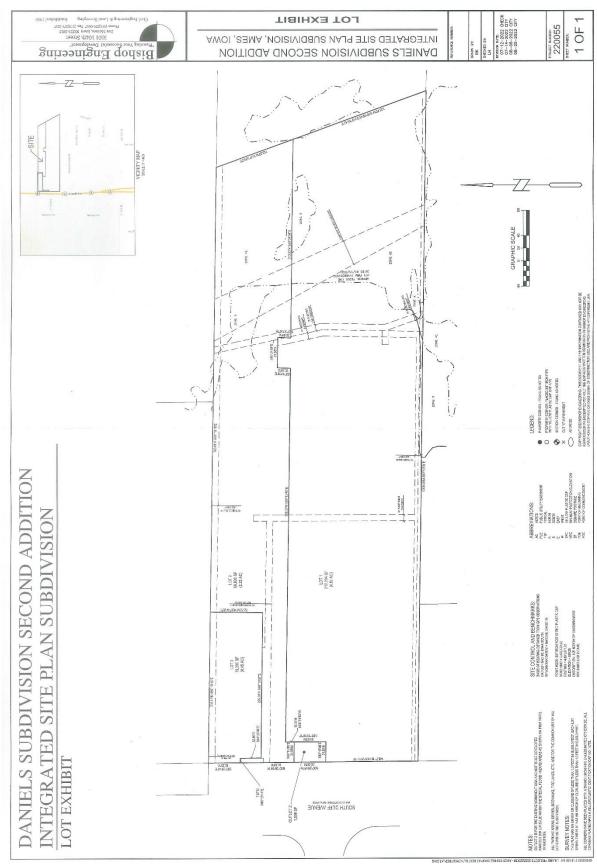




### Attachment B: Preliminary Plat/Site Plan (09.27.22)



### Attachment B-Lot Exhibit (09.27.22)



### **Attachment C: Applicable Subdivision Law**

The laws applicable to this Preliminary Plat Subdivision include, but are not limited to, the following: (verbatim language is shown in *italics*, other references are paraphrased):

<u>Code of Iowa</u> Chapter 354, Section 8 requires that the governing body shall determine whether the subdivision conforms to its Land Use Policy Plan.

Ames <u>Municipal Code</u> Chapter 23, Subdivisions, Division I, outlines the general provisions for subdivisions within the City limits and within two miles of the City limits of Ames.

### Ames Municipal Code Section 23.302(10):

- (10) City Council Action on Final Plat for Major Subdivision:
  - (a) All proposed subdivision plats shall be submitted to the City Council for review and approval. Upon receipt of any Final Plat forwarded to it for review and approval, the City Council shall examine the Application Form, the Final Plat, any comments, recommendations or reports examined or made by the Department of Planning and Housing, and such other information as it deems necessary or reasonable to consider.
  - (b) Based upon such examination, the City Council shall ascertain whether the Final Plat conforms to relevant and applicable design and improvement standards in these Regulations, to other City ordinances and standards, to the City's Land Use Policy Plan and to the City's other duly adopted plans.
  - (c) The City Council may:
    - (i) deny any subdivision where the reasonably anticipated impact of such subdivision will create such a burden on existing public improvements or such a need for new public improvements that the area of the City affected by such impact will be unable to conform to level of service standards set forth in the Land Use Policy Plan or other capital project or growth management plan of the City until such time that the City upgrades such public improvements in accordance with schedules set forth in such plans; or,
    - (ii) approve any subdivision subject to the condition that the Applicant contribute to so much of such upgrade of public improvements as the need for such upgrade is directly and proportionately attributable to such impact as determined at the sole discretion of the City. The terms, conditions and amortization schedule for such contribution may be incorporated within an Improvement Agreement as set forth in Section 23.304 of the Regulations.
  - (d) Prior to granting approval of a major subdivision Final Plat, the City Council may permit the plat to be divided into two or more sections and may impose such conditions upon approval of each section as it deems necessary to assure orderly development of the subdivision.
  - (e) Following such examination, and within 60 days of the Applicant's filing of the complete Application for Final Plat Approval of a Major Subdivision with the Department of Planning and Housing, the City Council shall approve, approve subject to conditions, or disapprove the Application for Final Plat Approval of a Major Subdivision. The City Council shall set forth its reasons for disapproving any Application or for conditioning its approval of any Application in its official records and shall provide a written copy of such reasons to the developer. The City Council shall pass a resolution accepting the Final Plat for any Application that it approves. (Ord. No. 3524, 5-25-99)

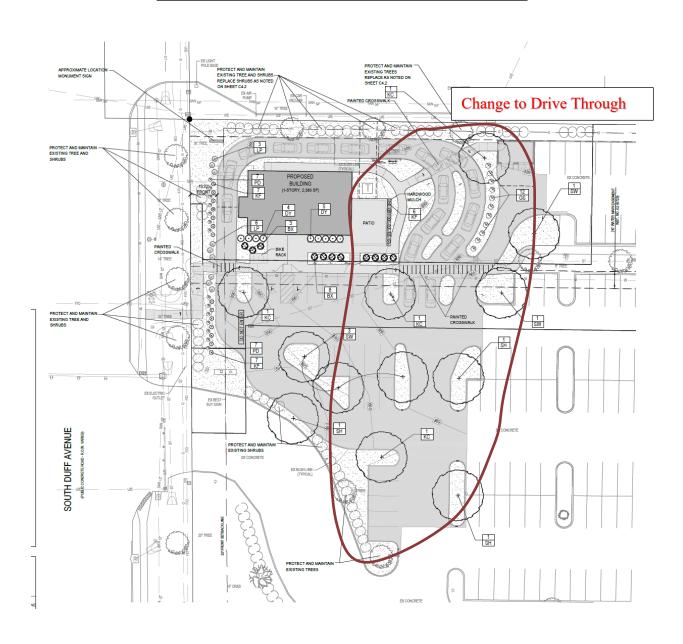
### Ames Municipal Code Section 23.704:

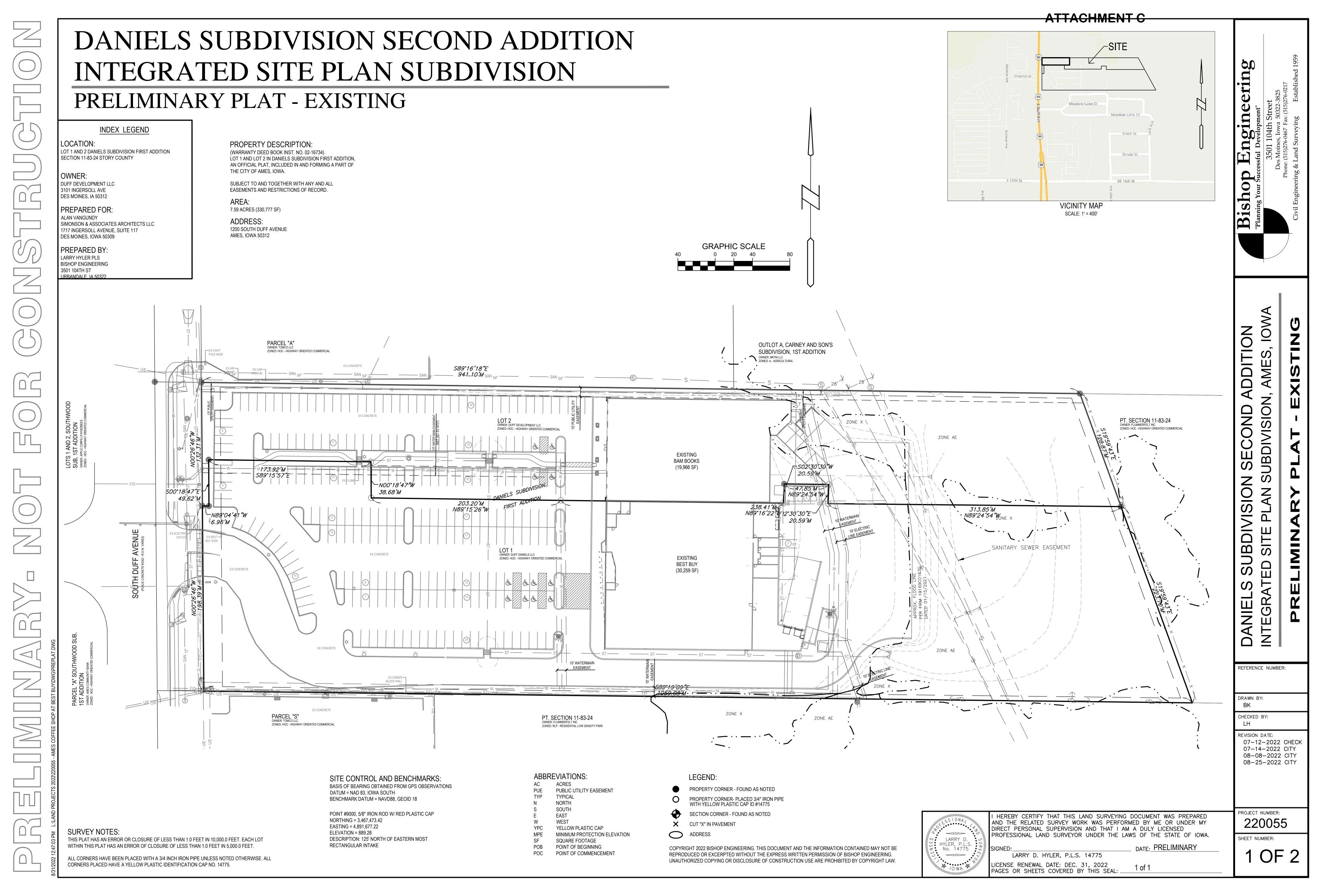
### 23.704. REQUIREMENTS FOR INTEGRATED SITE PLAN SUBDIVISION.

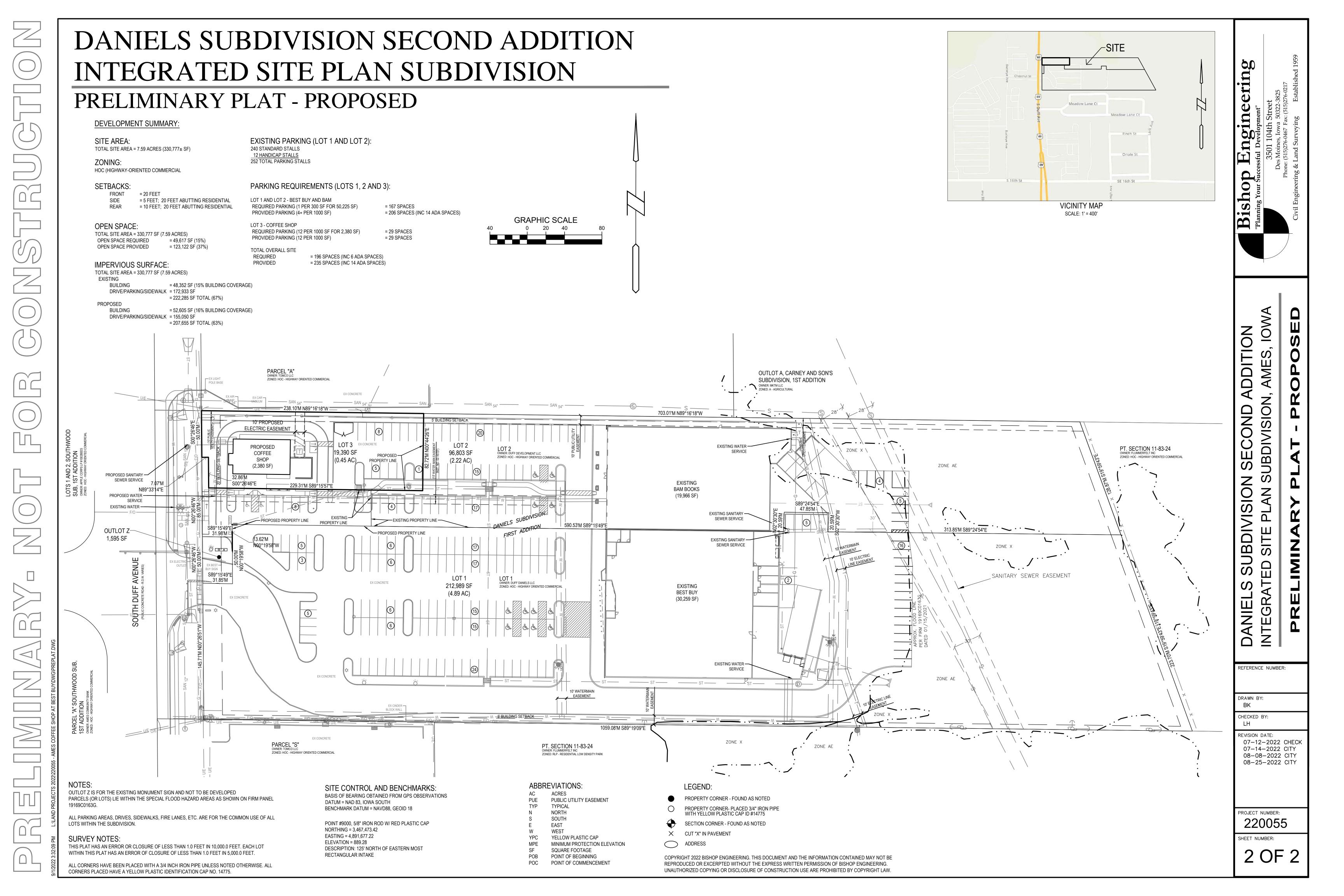
- (1) An Integrated Site Plan Subdivision must include a descriptive title for the subdivision, and a descriptive title for the associated Integrated Site Plan.
  - (a) The subdivision title must be clearly shown on the face of the plat as:
- "[Descriptive Title] Integrated Site Plan Subdivision", and
  - (b) The site plan and associated documents must be clearly titled as:
- "[Descriptive Title] Integrated Site Plan".
- (2) The Integrated Site Plan Subdivision plat shall include all of the following declarations on the plat:
- (a) "Circulation and Parking Unless otherwise specified, all driveways, parking areas, roadways, fire lanes, sidewalks, plazas, courtyards, and other vehicular or pedestrian ways or spaces identified on the approved Integrated Site Plan associated with this Integrated Site Plan Subdivision are for the common use of the owners, tenants, customers and related operational interests associated with each lot contained within this subdivision."
- (b) "Maintenance Area. Unless otherwise specified, a maintenance area is provided within 10 feet of any building or structure identified on the approved Integrated Site Plan associated with this Integrated Site Plan Subdivision, even when said area extends onto other lots within this subdivision, provided that disturbance of improvements or landscaping shall be minimized and repaired/replaced if damaged." "All development and use of the land described herein shall be in accordance with this subdivision and the associated [Descriptive Title] Integrated Site Plan, as they may be amended with the approval of the City of Ames, and in accordance with such other governmental permits, approvals, regulations, requirements, and restrictions that may be imposed upon such land and the development and use thereof."
- (3) Setbacks. All buildings and structures contained in the Integrated Site Plan Subdivision are subject to the following setback provisions:
- (a) Setbacks along the outer perimeter of the subdivision plat shall conform to the setbacks of the underlying zone.
- (b) Setbacks are not required from interior property lines within the Integrated Site Plan Subdivision. However, property lines may not bisect buildings unless a firewall is located along said property line.
- (4) Landscaping. The landscaping standards of the underlying zone apply to each lot within the subdivision, except as follows:
- (a) Minimum area landscaping calculations may be based on the area of landscaping in the entire subdivision rather than the area of landscaping on individual lots within the subdivision subject to conformance with phasing provisions in Section 23.705.
- (b) Required parking lot perimeter landscaping along interior property lines may (subject to conformance with phasing provisions in Section 23.705 be relocated to the other areas of the subdivision, provided that:
- (i) the total amount of parking lot landscaping is not diminished from that which would be required if each lot were platted and developed independently; and
  - (ii) Any required landscape medians and islands are provided in all parking areas.
- (5) Frontage Improvements. All Integrated Site Plan Subdivisions shall include street improvements specified in Section 23.403.
- (6) All circulation and parking improvements defined on the face of the plat or on the associated Integrated Site Plan, as well as exterior lighting fixtures, landscaping, signage, fixtures and other improvements required by the provisions of the Integrated Site Plan, and/or which serve multiple lots within the subdivision, are to be included in or owned by an association or legal entity in which the owners of each lot or parcel in the divided property have a legal or beneficial interest.
- (7) Maintenance of Improvements. All improvements required to comply with the minimum provisions of the Integrated Site Plan, including areas and features on individual lots that collectively contribute to total compliance with minimum standards for parking, circulation, pedestrian access, landscaping, as well as any improvements that are for the collective use of all property owners and/or tenants (such as signage, fixtures, dumpster enclosures, etc.), shall be maintained by an owners association or other legal entity, in which each property owner has a legal interest and obligation. Maintenance obligations shall be included in covenants and restrictions that are administered by the association or legal entity, and which run with the land. The City shall be furnished for review and approval the covenants and restrictions and the legal instruments creating the association or legal entity as part of the Integrated Site Plan Subdivision approval process.
- (8) The property owners must execute written agreements which are recorded against the affected property, ensuring that all lots within the Integrated Site Plan Subdivision will continue to function as one site for any number of purposes, including but not limited to: lot access; interior circulation; common utilities; open space; landscaping and drainage; common facilities maintenance; and coordinated parking. Such approved Integrated Site Plan Subdivision and associated Integrated Site Plan is recorded in the county in which such land is located.

- (a) Minimum area landscaping calculations may be based on the area of landscaping in the entire subdivision rather than the area of landscaping on individual lots within the subdivision subject to conformance with phasing provisions in Section 23.705.
- (b) Required parking lot perimeter landscaping along interior property lines may (subject to conformance with phasing provisions in Section 23.705 be relocated to the other areas of the subdivision, provided that:
- (i) the total amount of parking lot landscaping is not diminished from that which would be required if each lot were platted and developed independently; and
  - Any required landscape medians and islands are provided in all parking areas.
- (5) Frontage Improvements. All Integrated Site Plan Subdivisions shall include street improvements specified in Section 23.403.
- (6) All circulation and parking improvements defined on the face of the plat or on the associated Integrated Site Plan, as well as exterior lighting fixtures, landscaping, signage, fixtures and other improvements required by the provisions of the Integrated Site Plan, and/or which serve multiple lots within the subdivision, are to be included in or owned by an association or legal entity in which the owners of each lot or parcel in the divided property have a legal or beneficial interest.
- (7) Maintenance of Improvements. All improvements required to comply with the minimum provisions of the Integrated Site Plan, including areas and features on individual lots that collectively contribute to total compliance with minimum standards for parking, circulation, pedestrian access, landscaping, as well as any improvements that are for the collective use of all property owners and/or tenants (such as signage, fixtures, dumpster enclosures, etc.), shall be maintained by an owners association or other legal entity, in which each property owner has a legal interest and obligation. Maintenance obligations shall be included in covenants and restrictions that are administered by the association or legal entity, and which run with the land. The City shall be furnished for review and approval the covenants and restrictions and the legal instruments creating the association or legal entity as part of the Integrated Site Plan Subdivision approval process.
- (8) The property owners must execute written agreements which are recorded against the affected property, ensuring that all lots within the Integrated Site Plan Subdivision will continue to function as one site for any number of purposes, including but not limited to: lot access; interior circulation; common utilities; open space; landscaping and drainage; common facilities maintenance; and coordinated parking. Such approved Integrated Site Plan Subdivision and associated Integrated Site Plan is recorded in the county in which such land is located.

### Attachment D-Site Plan Excerpt and Final Plat Plans







Bishop Engineering & Land Surveving Established 1959

TE PLAN SUBDIVISION, AME

REFERENCE NUMBER:

ED

DRAWN BY:
BK
CHECKED BY:

LH

REVISION DATE:

07-12-2022 CH
07-14-2022 CI

07-12-2022 CHECK 07-14-2022 CITY 08-08-2022 CITY 08-25-2022 CITY

PROJECT NUMBER: 220055

SHEET NUMBER

1 OF

# 1200 SOUTH DUFF AVENUE - COFFEE SHOP

# INTEGRATED SITE PLAN

# SHEET INDEX:

COVER SHEET

OVERALL SITE PLAN

SITE SURVEY AND REMOVALS

LAYOUT PLAN

GRADING AND UTILITY PLAN

LANDSCAPE PLAN

OVERALL LANDSCAPE PLAN

### PROPERTY DESCRIPTION:

(STORY COUNTY, IOWA RECORDER, WARRANTY DEED BOOK INST. NO. 02-16727) A PART OF LOT 1 AND LOT 2 IN DANIELS SUBDIVISION FIRST

ADDITION, AN OFFICIAL PLAT IN AND FORMING A PART OF THE CITY OF AMES, IOWA. SUBJECT TO AND TOGETHER WITH ANY AND ALL EASEMENTS AND RESTRICTIONS OF RECORD.

= ± 7.58 ACRES OVERALL = ±19,390 SQUARE FEET - 0.45 ACRES

### ADDRESS: 1200 SOUTH DUFF AVENUE

AMES, IOWA 50312

# **OWNERS:**

DUFF DEVELOPMENT LLC DUFF DANIELS, LLC WESTBROOKE DANIELS, LLC RONALD DANIELS WESTBROOKE WOLF, LLC 3101 INGERSOLL AVENUE DES MOINES, IOWA 50312

### PREPARED FOR:

917-238-9785

ALAN VANGUNDY SIMPSON & ASSOCIATES ARCHITECTS LLC 1717 INGERSOLL AVENUE. SUITE 117 DES MOINES, IOWA 50309

INFORMATION OBTAINED FROM THE STORY COUNTY ASSESSORS PAGE HOC (HIGHWAY ORIENTED COMMERCIAL ZONE) FOR AN OFFICIAL ZONING REPORT PLEASE CALL THE CITY OF AMES AT (515) 239-5101

### SITE CONTROL AND BENCHMARKS:

BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS DATUM = NAD 83, IOWA SOUTH BENCHMARK DATUM = NAVD88, GEOID 18

POINT #9000, 5/8" IRON ROD W/ RED PLASTIC CAP NORTHING = 3,467,473.42 EASTING = 4,891,677.22 ELEVATION = 889.28 DESCRIPTION: 125' NORTH OF EASTERN MOST

RECTANGULAR INTAKE

### **GENERAL NOTES:**

- 1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH SUDAS STANDARD SPECIFICATIONS AND ANY AND ALL CITY/COUNTY SUPPLEMENTAL SPECIFICATIONS. THE CITY OF AMES MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK
- IN EVENT OF A DISCREPANCY BETWEEN THE QUANTITY ESTIMATES AND THE DETAILED PLANS, THE DETAILED PLANS SHALL GOVERN.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES. ANY DAMAGE TO SAID UTILITIES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
- 4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT O.S.H.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE APPROPRIATE SAFETY REGULATIONS.
- 5. ALL NECESSARY CONSTRUCTION SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES REQUIRED DURING CONSTRUCTION WILL BE FURNISHED BY THE CONTRACTOR. SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES MUST BE IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS."
- BISHOP ENGINEERING SHALL NOT BE LIABLE FOR ANY INJURIES THAT HAPPEN ON SITE. THIS SHALL INCLUDE BUT NOT BE LIMITED TO TRENCH COLLAPSES FROM VARYING SOIL CONDITIONS OR INJURIES CAUSED BY UNDERGROUND UTILITIES INCLUDING UTILITIES THAT ARE NOT SHOWN ON PLAN.
- 7. THE CONTRACTOR IS LIABLE FOR ALL DAMAGES TO PUBLIC OR PRIVATE PROPERTY CAUSED BY THEIR ACTION OR INACTION IN PROVIDING FOR STORM WATER FLOW DURING CONSTRUCTION. DO NOT RESTRICT FLOWS IN EXISTING DRAINAGE CHANNELS, STORM SEWER, OR FACILITIES.
- 8. THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER A SCHEDULE FOR PERFORMANCE OF WORK ITEMS. THIS SCHEDULE SHALL BE PROVIDED BY THE CONTRACTOR AT THE PROJECT PRE-CONSTRUCTION CONFERENCE. NO WORK SHALL BEGIN UNTIL A SCHEDULE HAS BEEN SUBMITTED AND ACCEPTED. THE CONTRACTOR SHALL THEN PERFORM WORK TO CONFORM TO THE ACCEPTED SCHEDULE
- 9. LABORATORY TESTS SHALL BE PERFORMED BY THE OWNER UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE SAMPLES OF MATERIAL REQUIRED FOR LABORATORY TESTS AND TESTING IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS
- 10. SOIL IMPORT OR EXPORT ON THIS PROJECT SHALL BE CONSIDERED INCIDENTAL AND WILL NOT BE MEASURED OR PAID FOR SEPARATELY
- 11. THE CONTRACTOR SHALL PROTECT ALL STRUCTURES NOT SHOWN AS REMOVALS ON THE PLANS.
- 12. THE CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL WORK WITH OWNER OR OWNERS REPRESENTATIVE ON ALL REQUIRED STORM WATER DISCHARGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES AND THE CITY OF AMES.
- 13. GRADING AND EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE APPROVED GRADING PLAN, SWPPP, NPDES DOCUMENTS, AND IOWA DEPARTMENT OF
- NATURAL RESOURCES REQUIREMENTS. 14. THE CONTRACTOR SHALL PICK UP ANY DEBRIS SPILLED ONTO THE ADJACENT RIGHT OF WAY OR ABUTTING PROPERTIES AS THE RESULT OF CONSTRUCTION, AT THE END OF EACH WORK DAY
- 15. THE CONTRACTOR IS RESPONSIBLE FOR THE PROMPT REMOVAL OF ALL MUD THAT HAS BEEN TRACKED OR WASHED UNTO ADJACENT PROPERTY OR RIGHT OF WAY UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED.
- 16. DISPOSE OF ALL EXCESS MATERIALS AND TRASH IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS. PROVIDE WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIALS NOT DESIRABLE FOR INCORPORATION INTO THE PROJECT.

### **PAVING NOTES:**

- 1. THE PAVING/ GRADING CONTRACTOR SHALL BACKFILL THE PAVING SLAB AND FINE GRADE THE RIGHT OF WAY AS SOON AFTER THE PAVING AS POSSIBLE. ALL AREAS SHALL BE SEEDED IN ACCORDANCE WITH CITY OF AMES STANDARD SPECIFICATIONS AND THE CURRENT VERSION OF SUDAS
- 2. SUBGRADE PREPARATION AND PAVEMENTS WILL BE CONSTRUCTED FOLLOWING RECOMMENDATIONS IN THE SOILS REPORT. APPROVED SOILS ENGINEER MUST SIGN OFF ON SUBASE PRIOR TO ANY PAVEMENT BEING PLACED.
- SEE DETAILS FOR ALL PAVEMENT THICKNESS
- 4. ALL PEDESTRIAN WALKWAYS THAT UNLOAD INTO A VEHICLES TRAVELED PATH MUST HAVE A.D.A. DETECTABLE WARNING PANEL(S) AS PER A.D.A. REGULATIONS. PANEL TYPE & COLOR SHALL BE PER CITY STANDARD.
- 5. ALL WALKS, PARKING LOTS, HANDICAP PARKING, RAMPS, ETC. SHALL COMPLY WITH ALL A.D.A. AND CITY CODES. HANDICAP PARKING SIGNAGE IS REQUIRED FOR ALL HANDICAP STALLS AND SHALL BE CONSIDERED INCIDENTAL. IN EVENT OF A DISCREPANCY BETWEEN THE PLANS AND THE A.D.A./CITY CODES THE A.D.A./CITY CODES SHALL GOVERN. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING A.D.A. CODES ARE MET.

- 1. QUANTITY CALLOUTS ON PIPE LENGTHS ARE APPROXIMATE AND SHOULD BE USED FOR REFERENCE ONLY.
- 2. THE CONTRACTOR SHALL PROVIDE AS-BUILT OF ALL UTILITIES, INCLUDING DEPTH AND LOCATION OF ALL SERVICES.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND ALL COSTS ASSOCIATED WITH AS-BUILT TOPO OF DETENTION POND & DETENTION POND STORM SEWER. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING BISHOP ENGINEERING (DAVID BENTZ AT 515-276-0467) TO PERFORM SAID AS-BUILT SURVEY. IF DETENTION PONDS HAVE BEEN GRADED INCORRECTLY, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBSEQUENT AS-BUILT TOPO SURVEYS UNTIL ISSUES HAVE BEEN RECTIFIED.
- 4. THE CONTRACTOR SHALL COORDINATE THE ADJUSTMENT OF ANY AND ALL EXISTING AND PROPOSED UTILITIES TO PROPOSED GRADES. EXISTING UTILITIES SHALL BE RAISED OR LOWERED IN ACCORDANCE WITH THE UTILITY OWNER REQUIREMENTS. ANY NECESSARY ADJUSTMENTS SHALL BE CONSIDERED INCIDENTAL TO
- 5. ACTIVE EXISTING FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE REPAIRED, REROUTED, OR CONNECTED TO PUBLIC OR PRIVATE STORM SEWER TO
- 6. ALL PROPOSED RCP STORM SEWER PIPE JOINTS SHALL BE FABRIC WRAPPED AND THE LAST 3 PIPE SECTIONS ON THE APRON SHALL BE TIED WITH RF-14 TYPE II CONNECTORS. ALL APRONS SHALL HAVE A STANDARD FOOTING AND TRASH GUARD.
- ALL RIP RAP CALLED OUT ON PLANS SHALL BE UNDERLAIN WITH ENGINEERING FABRIC.
- 8. SANITARY SEWER SERVICE CONNECTIONS SHALL BE PLACED AT A SLOPE OF NO LESS THAN 2%. SERVICES SHALL MAINTAIN 18" OF VERTICAL SEPARATION FROM THE WATERMAIN WITH 18" OF COMPACTED LOW PERMEABILITY SOIL BETWEEN THE UTILITIES WITHIN 10' OF THE CROSSING.
- 9. MANDREL AND PRESSURE TESTS SHALL BE REQUIRED FOR ALL PROPOSED SANITARY LINES. TELEVISING OF THE SANITARY SEWER SYSTEM SHALL BE COMPLETED PRIOR TO PAVING UNLESS OTHERWISE APPROVED BY JURISDICTION.
- 10. WATERMAINS SHALL BE C-900. SIZE OF WATERMAIN AS SHOWN ON PLANS.
- 11. THRUST BLOCKS SHALL BE INSTALLED AS REQUIRED AND SHALL BE CONSIDERED INCIDENTAL TO WATERMAIN CONSTRUCTION.
- 12. PROPOSED WATERMAIN SHALL BE PRESSURE TESTED, BACTERIA TESTED AND CHLORINATED. THE FILLING OF THE WATER MAIN SHALL BE DONE BY THE CITY OF AMES.
- 13. TRACER WIRE SHALL BE ADDED TO ALL WATER MAIN, AND BROUGHT TO THE SURFACE AT EVERY HYDRANT.
- 14. ALL HYDRANTS WILL IMMEDIATELY BE COVERED WITH A BLACK PLASTIC BAG (OR EQUIVALENT) ONCE THE HYDRANT IS INSTALLED. THE CITY OF AMES WILL NOTIFY THE CONTRACTOR WHEN THE BAGS CAN BE REMOVED.
- 15. THE MINIMUM HYDRANT LEAD SHALL BE 3.5 FEET.

### UTILITY CONFLICT NOTES

- 1. UTILITY CONFLICTS MAY EXIST ACROSS THE SITE WITH NEW UTILITIES, GRADING, PAVING ETC. MOST UTILITY CONFLICTS HAVE BEEN CALLED OUT FOR CONTRACTOR CONVENIENCE.
- 2. CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONFLICTS THAT ARE EITHER CALLED OUT ON THE PLANS OR THAT CAN BE SEEN ON THE PLANS BETWEEN AN EXISTING UTILITY AND PROPOSED CONSTRUCTION

### WETLAND NOTES

1. BISHOP ENGINEERING DOES NOT PERFORM WETLAND STUDIES OR WETLAND MITIGATION. IT IS THE OWNER'S RESPONSIBILITY TO DETERMINE IF ANY WETLANDS ARE LOCATED ON THE PROJECT SITE AND PERFORM ANY NECESSARY MITIGATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.

### SURVEY NOTES:

1. SURVEY WORK WAS COMPLETED BY LARRY HYLER ON 05/16/2022. SEE SITE SURVEY PROVIDED AS PART OF THIS SET OF PLANS FOR EXISTING SITE CONDITIONS AND BOUNDARY INFORMATION.



# ABBREVIATIONS:

ASPHALT BOOK CONCRETE DEEDED DISTANCE **EXISTING ENCLOSURE** FINISHED FLOOP FLOW LINE **FRACTIONAL** MEASURED DISTANCE ORANGE PLASTIC CAP PLATTED DISTANCE POINT OF BEGINNING

POINT OF COMMENCEMENT PREVIOUSLY RECORDED AS PUBLIC UTILITY EASEMENT RIGHT OF WAY **RED PLASTIC CAP** 

SQUARE FEET SANITARY **TYPICAL** YELLOW PLASTIC CAP

### LEGEND: —— SAN— SANITARY SEWER

— W — WATER LINE

— G—— GAS LINE —U/E— UNDERGROUND ELECTRIC

— TELE — TELEPHONE LINE — F/O — FIBER OPTIC

— CATV— CABLE TV STORM MANHOLE

CURB INTAKE

SURFACE INTAKE

FLARED END SECTION S SANITARY MANHOLE

© CLEANOUT

FIRE HYDRANT

SPRINKLER

IRRIGATION CONTROL VALVE

**W** WATER MANHOLE

WV WATER VALVE

WATER SHUT OFF

A YARD HYDRANT

E ELECTRIC MANHOLE

ELECTRIC METER

E ELECTRIC RISER

ELECTRIC VAULT

O POWER POLE

TRANSFORMER POLE

□ LIGHT POLE

■ ELECTRIC JUNCTION BOX

E ELECTRIC PANEL △ TRANSFORMER

─ GUY WIRE

ELECTRIC HANDHOLE GAS METER

SAS VALVE

AIR CONDITIONING UNIT 

TELEPHONE VAULT

TELEPHONE MANHOLE

TRAFFIC SIGNAL MANHOLE

FIBER OPTIC MANHOLE

FIBER OPTIC RISER F/O FIBER OPTIC FAULT

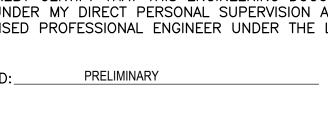
□ CABLE TV RISER

→ SIGN BOLLARD

7 DENOTES NUMBER OF PARKING STALLS

PROPERTY CORNER - FOUND AS NOTED PROPERTY CORNER- PLACED AS NOTED

SECTION CORNER - FOUND AS NOTED



HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

REFERENCE NUMBER:

DRAWN BY:

CHECKED BY:

REVISION DATE:

07-12-2022 CHECK

07-14-2022 CITY

08-08-2022 CITY 08-25-2022 CITY

08-31-2022 CITY

12-21-2022 DTHRU

02-10-2023 CITY

03-03-2023 CITY

10-27-2022

ROJECT NUMBER:

SHEET NUMBER: PAGES OR SHEETS COVERED BY THIS SEAL:

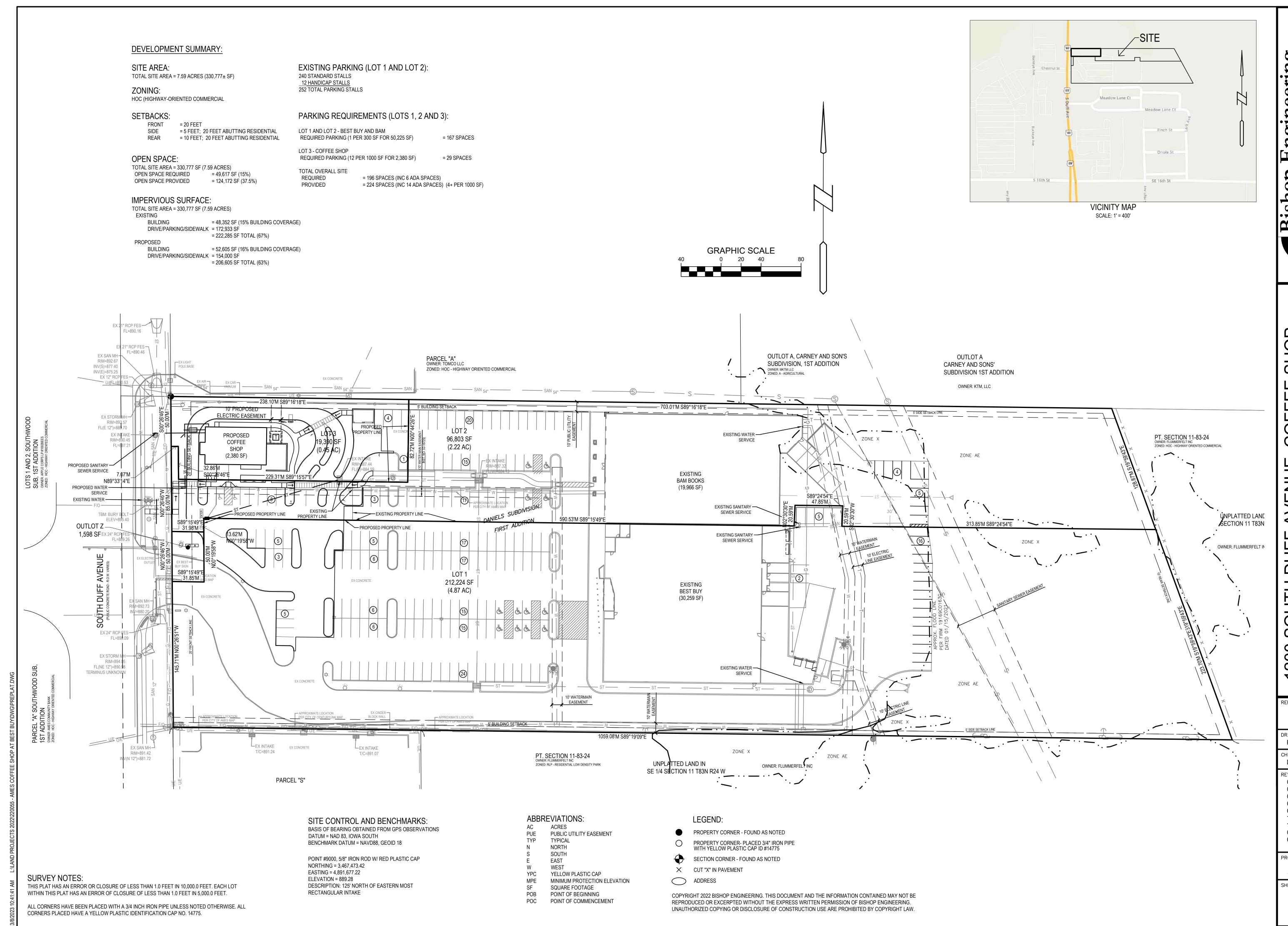
1. GAS (ALLIANT ENERGY / (800) 255-4268) 2. ELECTRIC (CITY OF AMES / (515) 239-5162) 3. FIBER OPTIC (CENTURYLINK / (918) 547-0147) 4. FIBER OPTIC (MEDIACOM / (515) 246-6668)

5. FIBER OPTIC (UNITE PRIVATE NETWORKS / (816) 425-3556)

UTILITY MAPS PROVIDED BY:

THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN COPYRIGHT 2021 BISHOP ENGINEERING. THIS DOCUMENT AND THE INFORMATION CONTAINED MAY NOT BE AND IF ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT. A REQUEST WAS MADE REPRODUCED OR EXCERPTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF BISHOP ENGINEERING.  $oldsymbol{
floor}$  To Iowa one call for utility providers to verify, locate, and mark their utilities in the field

UNAUTHORIZED COPYING OR DISCLOSURE OF CONSTRUCTION USE ARE PROHIBITED BY COPYRIGHT LAW.



INTEGR 0 Ō

REFERENCE NUMBER:

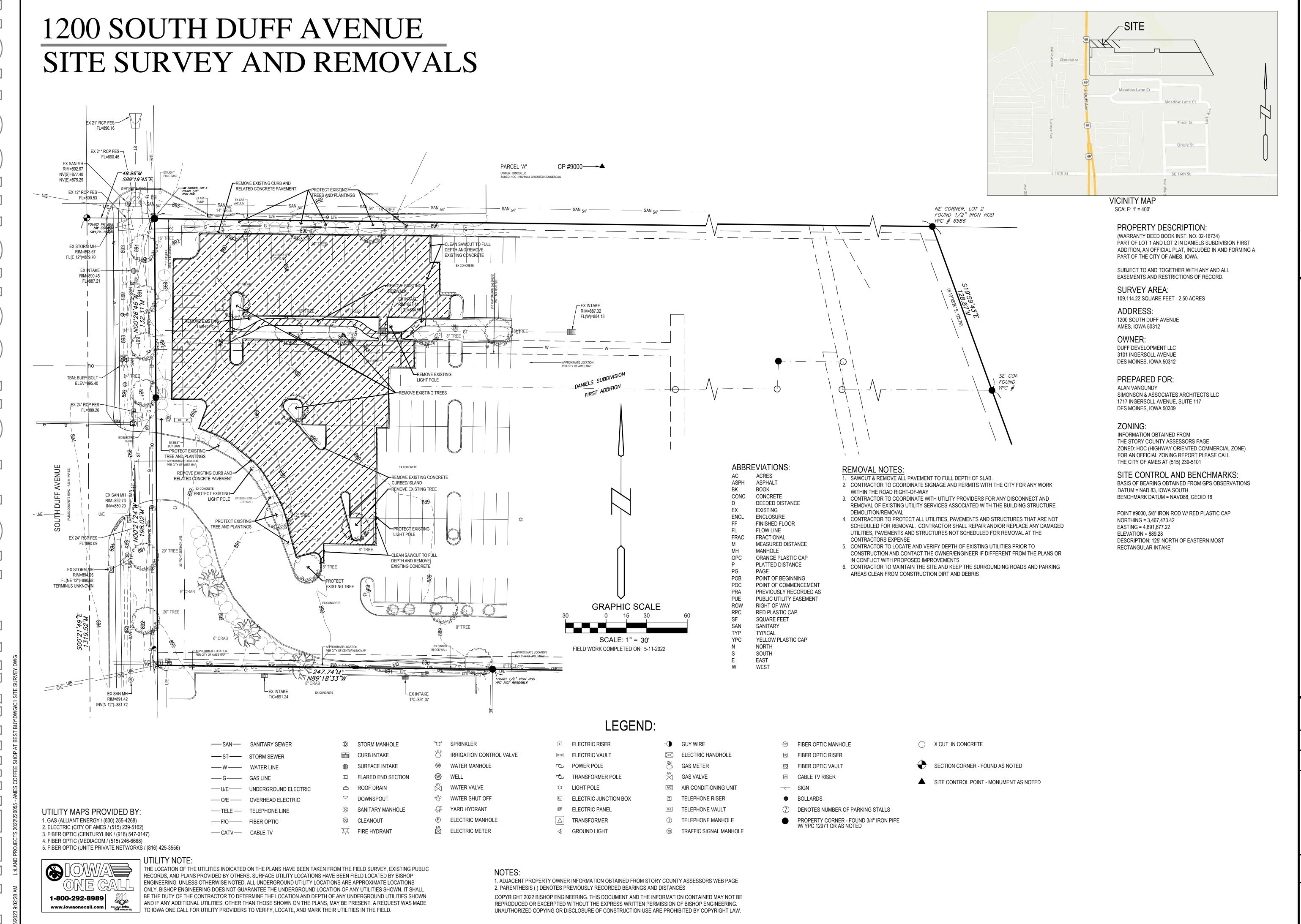
DRAWN BY:

CHECKED BY:

REVISION DATE: 07-12-2022 CHECK 07-14-2022 CITY 08-08-2022 CITY 08-25-2022 CITY 08-31-2022 CITY 10-27-2022 12-21-2022 DTHRU 02-10-2023 CITY 03-03-2023 CITY

PROJECT NUMBER: 220055

SHEET NUMBER:



Bishop Engineering & Land Surveying Established 1959

REFERENCE NUMBER:

0

0

DRAWN BY: BK

CHECKED BY:

### REVISION DATE: 07-12-2022 CHECK 07-14-2022 CITY 08-08-2022 CITY 08-25-2022 CITY 08-31-2022 CITY

08-25-2022 CITY 08-31-2022 CITY 10-27-2022 12-21-2022 DTHRU 02-10-2023 CITY 03-03-2023 CITY

PROJECT NUMBER: 220055

SHEET NUMBER:

C1.1

Bishop Engineering & Land Surveving Established 1959

-TRASH ENCLOSURE

(REFER TO ARCH)

-PRE-MENU BOARD WITH

CONCRETE KNEE WALL

BOLLARD AT 9TH CAR

(12"WX24"T) WITH

(REFER TO ARCH)

-"ONE-WAY ONLY"

213,946 SF (4.91 AC)

EX CONCRETE

SIGNAGE

6" PCC /

**EMBEDDED SLEEVES** 

FOR PATIO LIGHT POLES

EX CONCRET

LOT 3

19,390 SF

(0.45 AC)

DO NOT ENTER"

SIGNAGE

LOT 2

96,599 SF

(2.22 AC)

1200 SOUTH DUFF AVENUE COFFEE SHOINTEGRATED SITE PLAN

REFERENCE NUMBER:

DRAWN BY:

DB

REVISION DATE:

07-12-2022 CHECK

07-14-2022 CITY

08-08-2022 CITY

08-25-2022 CITY

08-31-2022 CITY

10-27-2022

12-21-2022 DTHRU

02-10-2023 CITY

03-03-2023 CITY

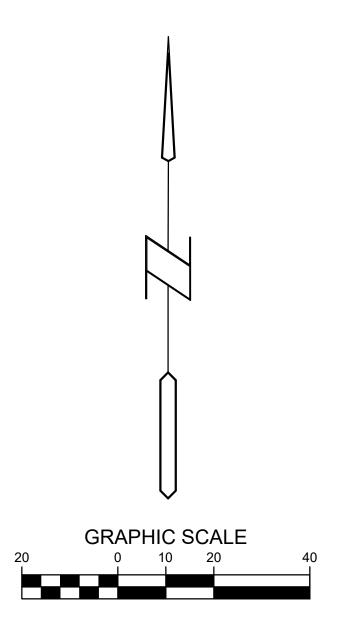
PROJECT NUMBER: 220055

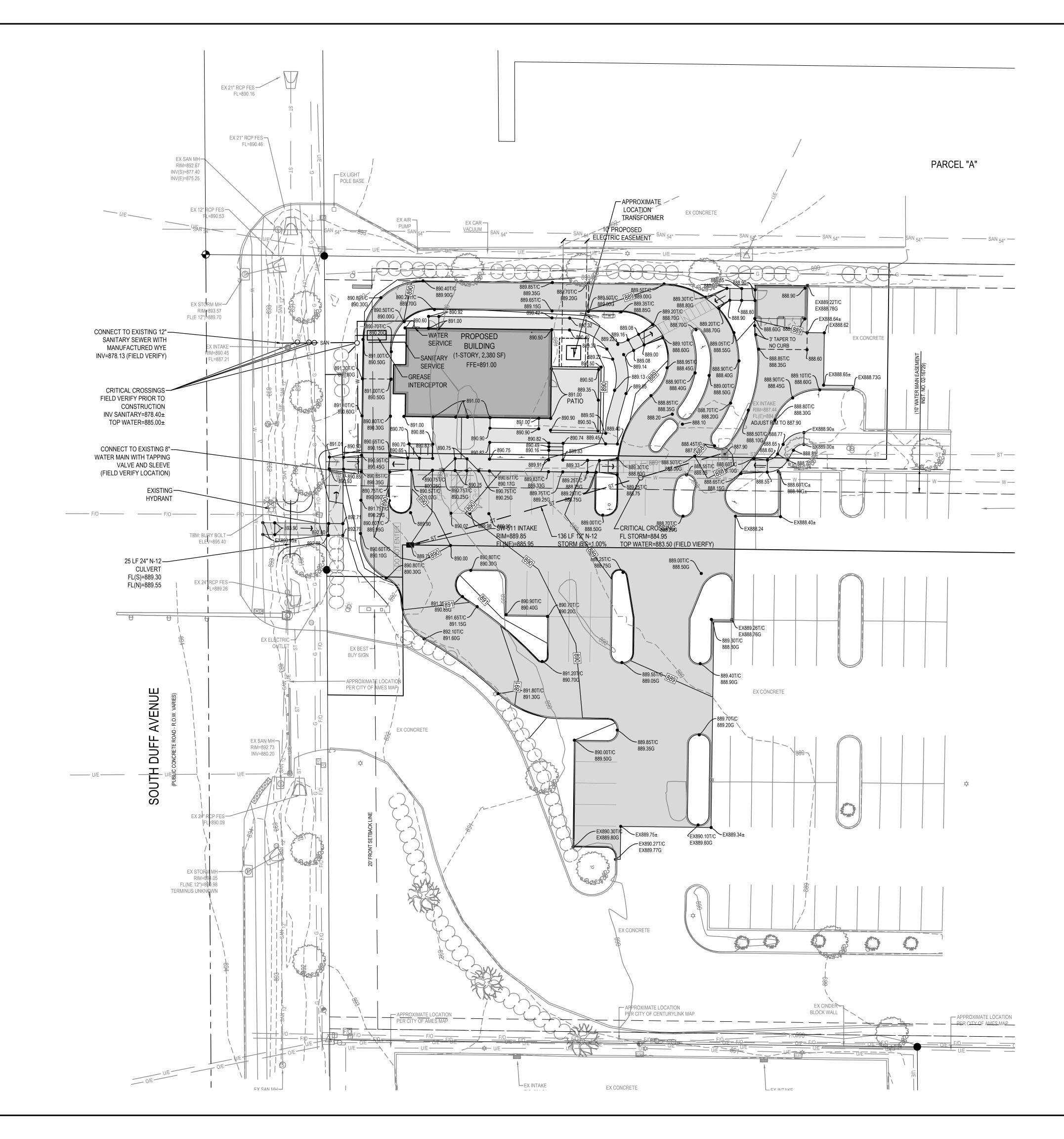
SHEET NUMBER:

C2.1

- 1. ALL PROPOSED UTILTIES SHALL BE PRIVATE, UNLESS NOTED OTHERWISE.
- 2. ALL WATER LINES SHALL HAVE A MINIMUM OF 5.5' OF COVER UNLESS NOTED OTHERWISE.
- FIRE HYDRANT ASSEMBLY SHALL INCLUDE THE TEE, BRANCH, VALVE AND HYDRANT.
   PIPE LENGTHS CALLED OUT ON PLANS INCLUDE FLARED END SECTION, WHERE APPLICABLE.
- 5. STORM SEWER CALLED OUT AS RCP MUST BE CLASS III RCP.
- STORM SEWER CALLED OUT AS N-12 MAY BE EITHER N-12 OR CLASS III RCP.
   FOR RCP PIPE, ASSOCIATED F.E.S. MUST BE RCP. FOR N-12 PIPE, ASSOCIATED F.E.S. SHALL BE CMP.
   ALL NYLOPI AST BASING SHALL HAVE CASTINGS SECURELY FASTENED TO THE BASIN BODY. AND
- 8. ALL NYLOPLAST BASINS SHALL HAVE CASTINGS SECURELY FASTENED TO THE BASIN BODY, AND ALL GRATES/LIDS SHALL BE BOLTED DOWN TO THE CASTINGS.
- 9. TRANSFORMER PAD IS SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE.
- PAD SHALL CONFORM TO ALL UTILITY COMPANY DESIGN STANDARDS AND SPECIFICATIONS.

  10. GREASE INTERCEPTOR AND ANY VENT LINES ARE SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE REFER TO PLUMBING PLANS FOR DETAILED DRAWINGS AND
- DRAWN TO ACTUAL SIZE. REFER TO PLUMBING PLANS FOR DETAILED DRAWINGS AND SPECIFICATIONS. PLUMBING PLANS SHALL TIE INTO SANITARY SERVICE AT LOCATION AND ELEVATION SHOWN ON PLANS.





Bishop Engineering
"Planning Your Successful Development"
3501 104th Street
Des Moines, Iowa 50322-3825

1200 SOUTH DUFF AVENUE COFFEE SHOINTEGRATED SITE PLAN

REFERENCE NUMBER:

DRAWN BY:

CHECKED BY: DB

REVISION DATE:

07-12-2022 CHECK
07-14-2022 CITY
08-08-2022 CITY
08-25-2022 CITY
08-31-2022 CITY
10-27-2022
12-21-2022 DTHRU
02-10-2023 CITY
03-03-2023 CITY

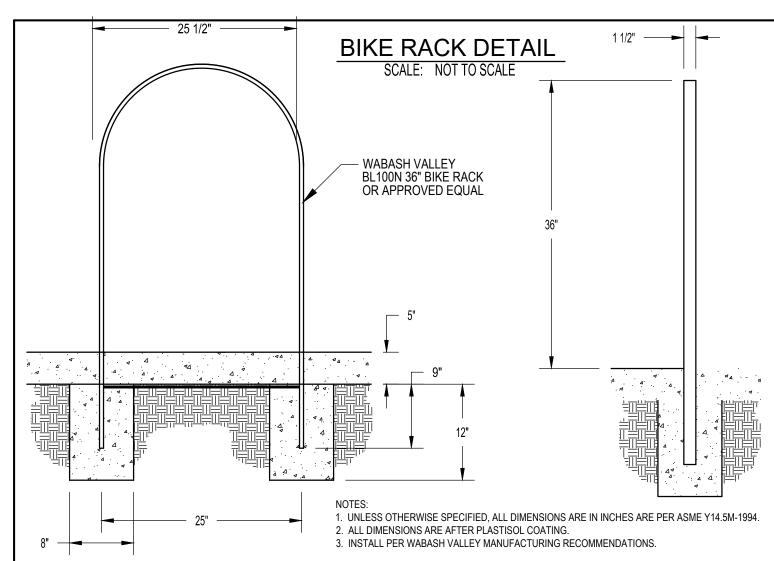
PROJECT NUMBER: 220055

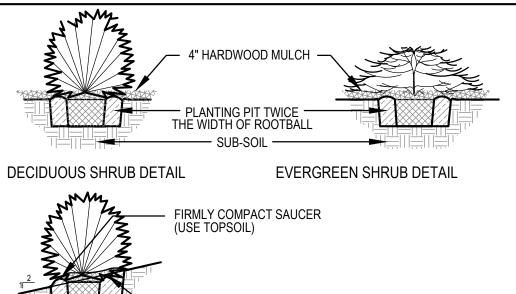
SHEET NUMBER:

C3.1

### LANDSCAPE NOTES:

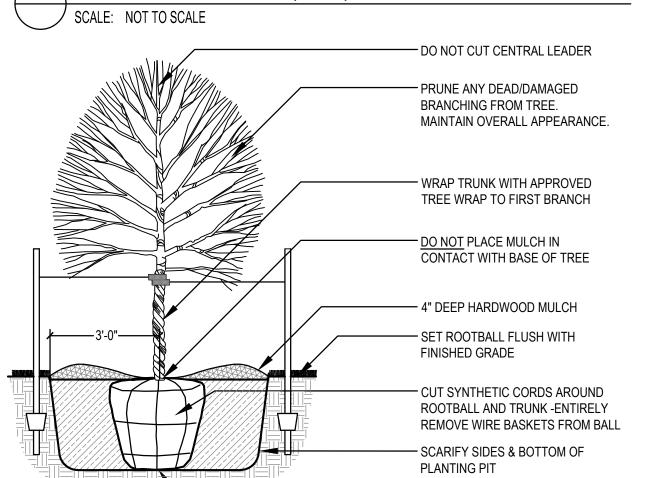
- . ALL SODDING & LANDSCAPE PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS, UNLESS SPECIFIED OTHERWISE.
- 2. SOD ALL DISTURBED AREAS WITHIN THE CONTRACT LIMITS, UNLESS NOTED OTHERWISE. SOD LIMITS SHOWN ON PLAN ARE FOR REFERENCE ONLY. FINAL LIMITS MAY CHANGE BASED ON CONSTRUCTION ACTIVITIES.
- 3. SOD ALL DISTURBED RIGHT-OF-WAY AREAS.
- 4. STAKE SOD ON ALL SLOPES 3:1 OR GREATER.
- 5. PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE, THE DRAWING SHALL PREVAIL IF A CONFLICT OCCURS.
- 6. ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
- 7. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE.
- 8. IT IS THE CONTRACTORS RESPONSIBILITY TO REMOVE IDENTIFICATION TAGS AND CORDS ON ALL PLANT MATERIAL PRIOR TO THE COMPLETION OF THE CONTRACT. IDENTIFICATION TAGS MUST BE LEFT ON UNTIL AFTER ACCEPTANCE BY OWNER OR OWNER'S REPRESENTATIVE.
- 9. CONTRACTOR SHALL PLACE SHREDDED HARDWOOD MULCH AROUND ALL TREES (IN LAWN AREAS) TO A DEPTH OF 4 INCHES, UNLESS NOTED.
- 10. STAKE AND WRAP ALL DECIDUOUS TREES IMMEDIATELY AFTER PLANTING. STAKE ALL TREES ACCORDING TO THE STAKING DETAILS. CONTRACTOR SHALL ADJUST AND MAINTAIN GUYING TENSION THROUGHOUT THE PLANT ESTABLISHMENT PERIOD.
- 11. THE LANDSCAPING CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED BEFORE STARTING ANY SITE WORK OR PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
- 12. NO LANDSCAPE MATERIAL SHALL BE SUBSTITUTED WITHOUT THE AUTHORIZATION OF THE LANDSCAPE ARCHITECT.
- 12. ALL EDGING SHALL BE DURAEDGE 1/8" STEEL EDGING COLOR GREEN, OR APPROVED EQUAL.
- 13. CONTRACTOR SHALL BE RESPONSIBLE MAINTAINING APPROPRIATE LEVEL OF WATERING FOR ALL NEW PLANTS FOR A PERIOD OF 30 DAYS.
- 14. ALL SHRUB AND PERENNIAL PLANTING BEDS SHALL BE MULCHED WITH 4" THICK SHREDDED HARDWOOD MULCH...
- 15. SOIL LOCATED IN REQUIRED PLANTING AREAS (YARD AREAS, BUFFERYARDS OR PLANTERS) MUST EITHER BE TOPSOIL FROM THE SITE (PRE-APPROVED BY THE CITY) OR SOIL CONDITIONED AND TILLED INTO THE TOP 6 INCHES WITH AT LEAST 5% ORGANIC CONTENT. CERTIFICATION OF THE SOIL CONDITIONING AND QUALITY MUST BE PROVIDED BY THE CONTRACTOR, LICENSED ENGINEER OR LANDSCAPE SPECIALIST PRIOR TO APPOVAL OF FINAL OCCUPANCY FOR A BUILDING.





PLANTING ON SLOPES

SHRUB PLANTING (TYP)



SET ROOTBALL ON UNDISTURBED

# DECIDUOUS TREE PLANTING (TYP.) SCALE: NOT TO SCALE

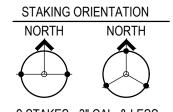
# LANDSCAPE REQUIREMENTS:

GENERAL FOR THE PROPOSED PARKING AREA

FRONT YARD LANDSCAPING (155 LF FRONTAGE, WIDTH VARIES, 15' MIN, 2,325 SF)
TREES REQUIRED (1 OVERSTORY TREE PER 50 LF) = 3 TREES
TREES PROVIDED (AROUND THE SITE) = 3 TREES
SHRUBS REQUIRED (8 SHRUBS AND 12 GRASSES PER 1000 SF) = 19 AND 28
SHRUBS PROVIDED (10 EXISTING SHRUBS) = 9 AND 28

10% OF THE TOTAL GROSS PARKING AREA (7,700 SF)= 770 SFTREES REQUIRED (1 PER 200 SF OF THE 10% AREA)= 4 TREESTREES PROVIDED= 8 TREESSHRUBS PROVIDED= 32 SHRUBS

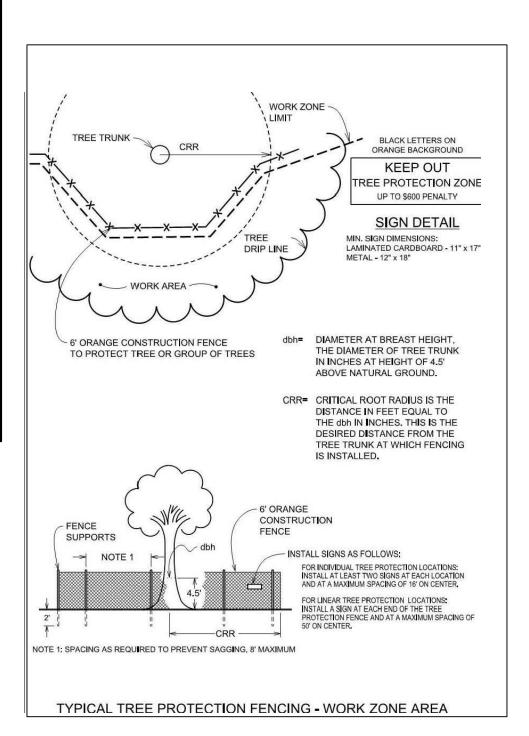
NOTE: 5 EXISTING TREES FROM THE EXISTING PARKING AREA BEING REMOVED AND REPLACED WITH 7 TREES AS NOTED ABOVE THE EXISTING SCREENING IS BEING PROTECTED AND MAINTAINED

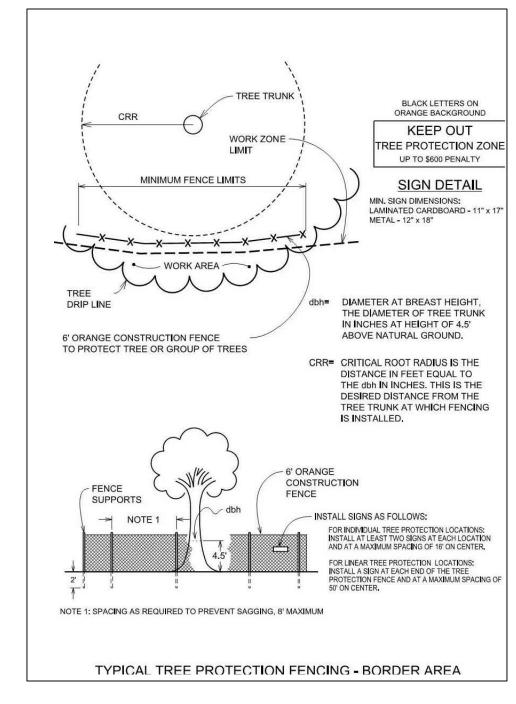


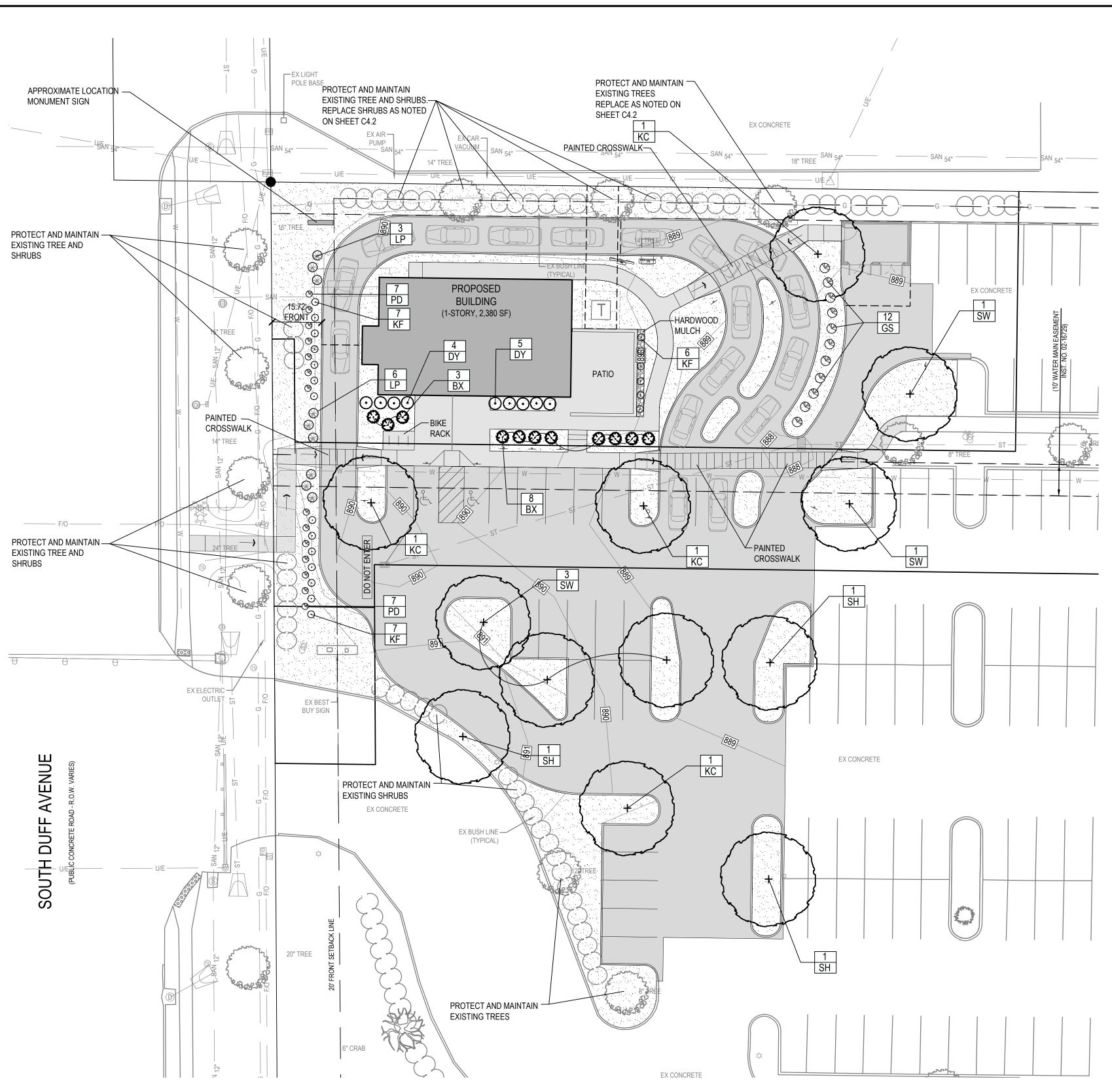
2 STAKES - 3" CAL. & LESS 3 STAKES - GREATER THAN 3" CAI

USE HOSE GUARDS AROUND TRUNK ON STAKING WIRE. TIE WIRE TO STEEL POSTS PLACED OUTSIDE PLANT PIT..

LEAVE STAKES IN PLACE NO MORE THAN 1 YEAR FROM INSTALLATION. CONTRACTOR RESPONSIBLE FOR REMOVAL.







# PLANTING SCHEDULE:

CODE	QUAN	COMMON NAME	LATIN NAME	SIZE	ROOT	NOTES
SH	3	SKYLINE HONEYLOCUST	GLEDITSIA TRIACANTHOS INERMIS 'SKYLINE'	2.0" CAL	B&B	MATCHED SPECIMENS
KC	4	KENTUCKY COFFEE TREE	GYMNOLADUS DIOICUS	2.0" CAL	B&B	MATCHED SPECIMENS
SW	5	SWAMP WHITE OAK	QUERCUS BICOLOR	2.0" CAL	B&B	MATCHED SPECIMENS
GS	12	GOLD FLAME SPIREA	SPIREA BUMALDA 'GOLD FLAME'	#3	CONT	FULL FORM-MATCHED
BX	11	CHICAGOLAND BOXWOOD	BUXUS X 'GLENCOE'	36"	B&B	FULL FORM-MATCHED
DY	9	DENSIFORMIS YEW	TAXUS MEDIA 'DENSIFORMIS'	36"	B&B	FULL FORM-MATCHED
LP	9	LITTLE PRINCESS SPIREA	SPIREA X 'LITTLE PRINCESS'	#3	CONT	FULL FORM-MATCHED
PD	14	PRAIRIE DROP SEED	SPOROBOLUS HETEROLEPIS	#1	CONT	FULL FORM-MATCHED
KF	20	KARL FOERSTER FEATHER REED GRASS	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	#1	CONT	FULL FORM-MATCHED



<u>SOD:</u> PROVIDE AND INSTALL SOD FROM LOCAL SUPPLIERS. AREAS TO BE SODDED MUST BE FREE OF ALL CONSTRUCTION DEBRIS AND ANY DIRT CLUMPS OVER 1" IN DIAMETER. THOROUGHLY WATER SOD UPON INSTALLATION. CONTRACTOR TO MAINTAIN WATERING UNTIL SOD IS ESTABLISHED (ROOTS KNITTED INTO SUBSURFACE)

DRAWN BY: BK

**GRAPHIC SCALE** 

REVISION DATE:

07-12-2022 CHECK

07-14-2022 CITY

08-08-2022 CITY

08-25-2022 CITY

08-31-2022 CITY

10-27-2022

12-21-2022 DTHRU

02-10-2023 CITY

A

SITE

田

IN IN IN

REFERENCE NUMBER:

CHECKED BY:

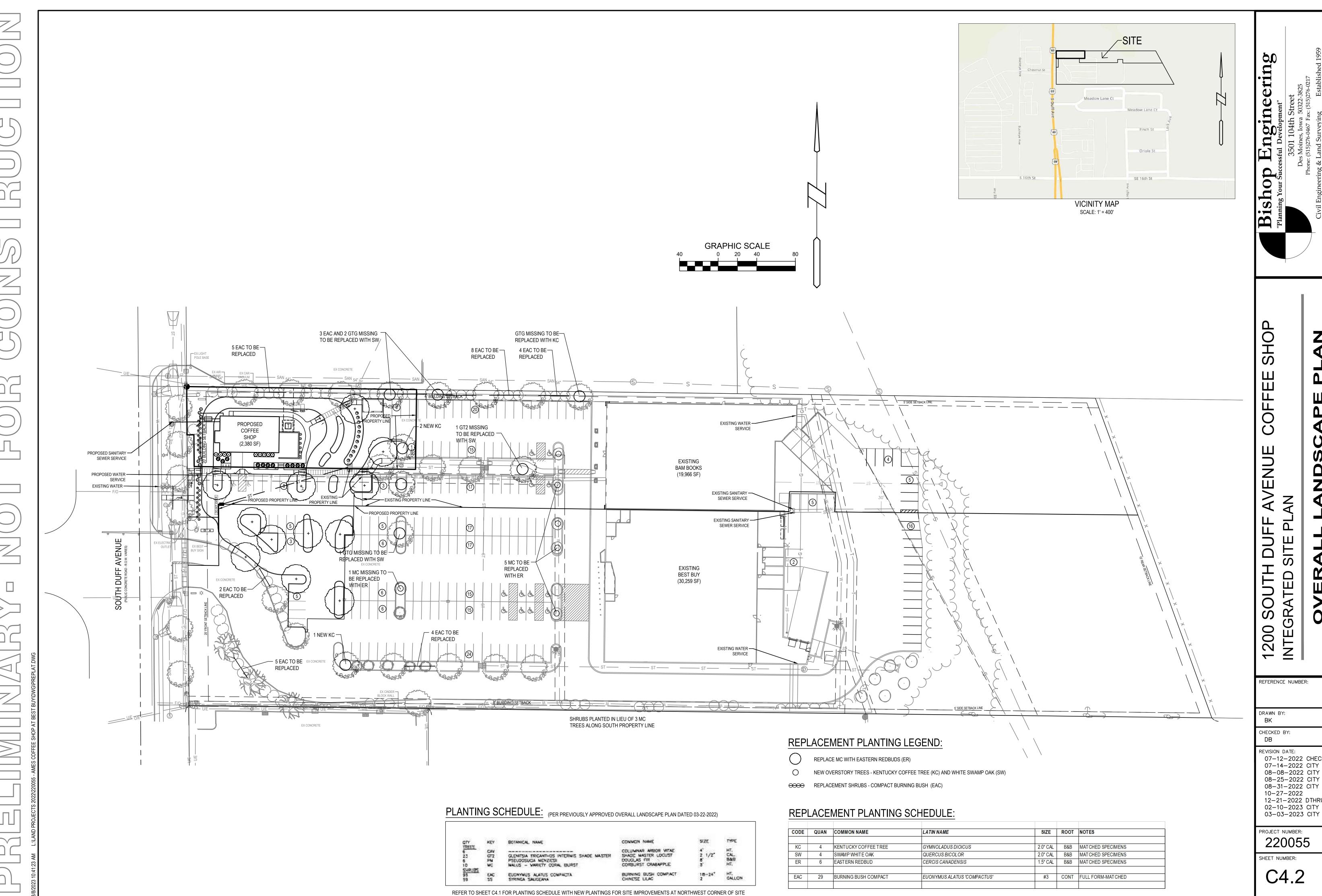
0

Ō

PROJECT NUMBER: 220055

03-03-2023 CITY

SHEET NUMBER:



INTEGRATED 200

REFERENCE NUMBER:

DRAWN BY:

CHECKED BY: REVISION DATE:

07-12-2022 CHECK 07-14-2022 CITY 08-08-2022 CITY 08-25-2022 CITY 08-31-2022 CITY 10-27-2022 12-21-2022 DTHRU 02-10-2023 CITY

PROJECT NUMBER: 220055

SHEET NUMBER:

C4.2

ATTACHMENT E

# VICINITY MAP

SCALE: 1' = 1,000'

FOUND 1/2" IRON ROD

**GRAPHIC SCALE** 

SCALE: 1" = 50'

PROPERTY CORNER - FOUND AS NOTED

WITH YELLOW PLASTIC CAP ID # 14775 OR AS NOTED

PROPERTY CORNER- PLACED 5/8" IRON ROD

LEGEND:

REFERENCE NUMBER: 020303

DRAWN BY:

CHECKED BY:

REVISION DATE:

SECTION CORNER - FOUND AS NOTED

LARRY LICENSE RENEWAL DATE: DEC. 31, 2024 PAGES OR SHEETS COVERED BY THIS SEAL:

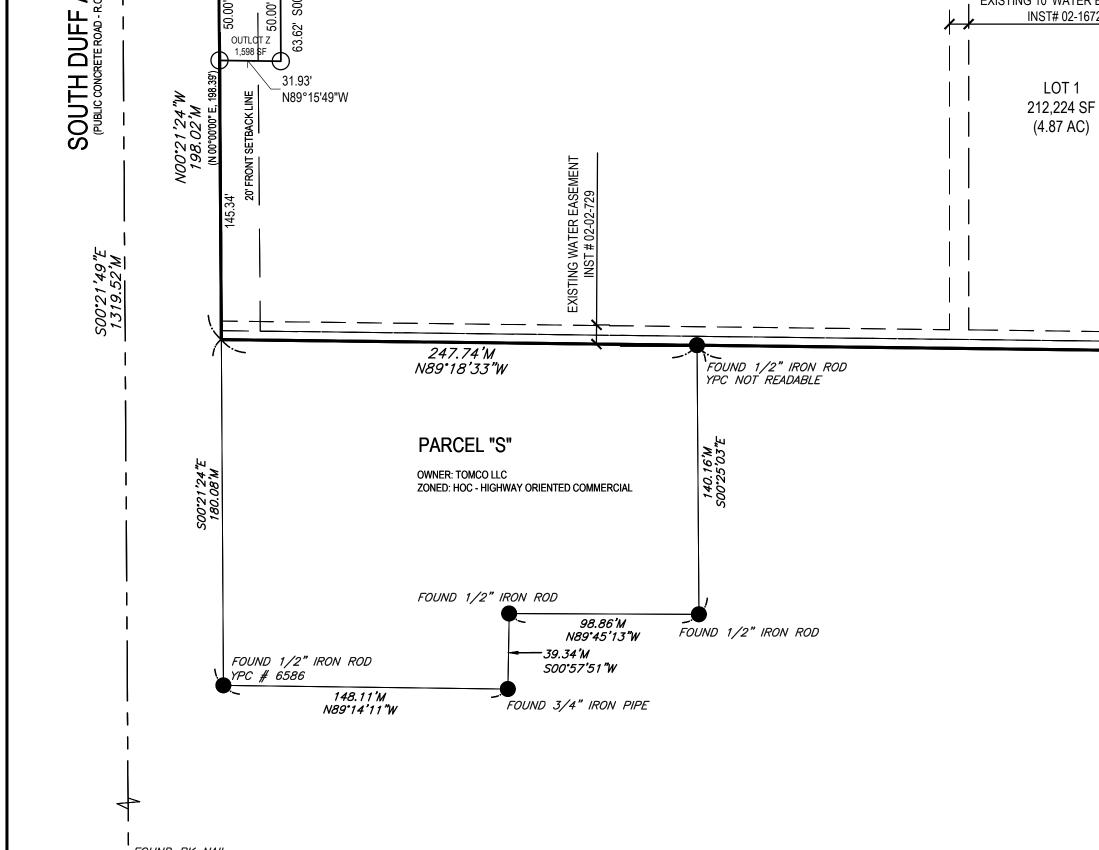
HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

LARRY D. HYLER, P.L.S. 14775

SHEET NUMBER:

OF

ROJECT NUMBER:



THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC

RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP

ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL

www.iowaonecall.com Know what's below.
TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.

BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN

AND IF ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT. A REQUEST WAS MADE

S1/4 CORNER

UTILITY MAPS PROVIDED BY:

1. ELECTRIC (PROVIDER / CONTACT INFO)

4. CABLE (PROVIDER / CONTACT INFO)

6. WATER (PROVIDER / CONTACT INFO)

7. OTHERS (PROVIDER / CONTACT INFO)

5. GAS (PROVIDER / CONTACT INFO)

3. FIBER OPTIC (PROVIDER / CONTACT INFO)

2. STORM AND SANITARY (PROVIDER / CONTACT INFO)

OUTLOT Z IS FOR THE EXISTING MONUMENT SIGN AND NOT TO BE DEVELOPED

ZONE X N89°18'33"W

PARCELS (OR LOTS) LIE WITHIN THE SPECIAL FLOOD HAZARD AREAS AS SHOWN ON FIRM PANEL 19169C0163G, EFFECTIVE 1/15/2021. ALL PARKING AREAS, DRIVES, SIDEWALKS, FIRE LANES, ETC. ARE FOR THE COMMON USE OF ALL LOTS WITHIN THE SUBDIVISION. RECIPROCAL EASEMENTS AND OPERATION AGREEMENT RECORDED IN INST # 02-16733 AND

EXISTING WATER EASEMENT INST # 02-02-729

CIRCULATION AND PARKING - UNLESS OTHERWISE SPECIFIED, ALL DRIVEWAYS, PARKING AREAS, ROADWAYS, FIRE LANES, SIDEWALKS, PLAZAS, COURTYARDS, AND OTHER VEHICULAR OR PEDESTRIAN WAYS OR SPACES IDENTIFIED ON THE APPROVED INTEGRATED SITE PLAN ASSOCIATED WITH THIS INTEGRATED SITE PLAN SUBDIVISION ARE FOR THE COMMON USE OF THE OWNERS, TENANTS, CUSTOMERS AND RELATED

MAINTENANCE AREA. UNLESS OTHERWISE SPECIFIED, A MAINTENANCE AREA IS PROVIDED WITHIN 10 FEET OF ANY BUILDING OR STRUCTURE IDENTIFIED ON THE APPROVED INTEGRATED SITE PLAN ASSOCIATED WITH THIS INTEGRATED SITE PLAN SUBDIVISION, EVEN WHEN SAID AREA EXTENDS ONTO OTHER LOTS WITHIN THIS SUBDIVISION, PROVIDED THAT DISTURBANCE OF IMPROVEMENTS OR LANDSCAPING SHALL BE MINIMIZED AND REPAIRED/REPLACED IF DAMAGED. ALL DEVELOPMENT AND USE OF THE LAND DESCRIBED HEREIN SHALL BE IN ACCORDANCE WITH THIS SUBDIVISION AND THE ASSOCIATED [DESCRIPTIVE TITLE] INTEGRATED SITE PLAN, AS THEY MAY BE AMENDED WITH THE APPROVAL OF THE CITY OF AMES, AND IN ACCORDANCE WITH SUCH OTHER GOVERNMENTAL PERMITS, APPROVALS, REGULATIONS, REQUIREMENTS, AND RESTRICTIONS THAT MAY BE

OPERATIONAL INTERESTS ASSOCIATED WITH EACH LOT CONTAINED WITHIN THIS SUBDIVISION.

THIS PLAT HAS AN ERROR OR CLOSURE OF LESS THAN 1.0 FEET IN 10,000.0 FEET. EACH LOT WITHIN THIS PLAT HAS AN ERROR OF CLOSURE OF LESS THAN 1.0 FEET IN 5,000.0 FEET.

ALL CORNERS HAVE BEEN PLACED WITH A 3/4 INCH IRON PIPE UNLESS NOTED OTHERWISE. ALL CORNERS PLACED HAVE A YELLOW PLASTIC IDENTIFICATION CAP NO. 14775.

ADJACENT PROPERTY OWNER INFORMATION OBTAINED FROM STORY COUNTY ASSESSORS WEB PAGE

PARENTHESIS ( ) DENOTES PREVIOUSLY RECORDED BEARINGS AND DISTANCES

IMPOSED UPON SUCH LAND AND THE DEVELOPMENT AND USE THEREOF.

COPYRIGHT 2023 BISHOP ENGINEERING. THIS DOCUMENT AND THE INFORMATION CONTAINED MAY NOT BE REPRODUCED OR EXCERPTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF BISHOP ENGINEERING. UNAUTHORIZED COPYING OR DISCLOSURE OF CONSTRUCTION USE ARE PROHIBITED BY COPYRIGHT LAW.

ASPHALT BOOK

ABBREVIATIONS:

EXISTING ELECTRIC EASEMENT

INST# 02-16730

ZONE AE

CONC CONCRETE DEEDED DISTANCE EXISTING **ENCLOSURE** FINISHED FLOOR FLOW LINE FRACTIONAL MEASURED DISTANCE NE CORNER, LOT 2

DANIEL'S SUBDIVISION FIRST ADDITION

FOUND 1/2" IRON ROD

SE CORNER, LOT 2 DANIEL'S SUBDIVIS**I**ON FIRST ADDITION

FOUND 1/2" IRON ROD

**VINPLATTED LAND IN** 

SECTION 11 T83N R24 W

SE CORNER, LOT 1 DANIEL'S SUBDIVISION FIRST ADDITION

PROPERTY DESCRIPTION:

CONTAINING 7.58 ACRES (330,014 SF)

HOC (HIGHWAY-ORIENTED COMMERCIAL

RESTRICTIONS OF RECORD.

ZONING:

SETBACKS:

PLAT, CITY OF AMES, STORY COUNTY, IOWA.

LOTS 1 AND 2, DANIELS SUBDIVISION FIRST ADDITION, AN OFFICIAL

SUBJECT TO AND TOGETHER WITH ANY AND ALL EASEMENTS AND

= 5 FEET; 20 FEET ABUTTING RESIDENTIAL

= 10 FEET; 20 FEET ABUTTING RESIDENTIAL

FOUND 1/2" IRON ROD

206.97°M

S89°18'29"E

YPC # 12971

MANHOLE ORANGE PLASTIC CAP POINT OF BEGINNING POINT OF COMMENCEMENT

PREVIOUSLY RECORDED AS PUBLIC UTILITY EASEMENT RIGHT OF WAY RED PLASTIC CAP SQUARE FEET

TYPICAL YELLOW PLASTIC CAP NORTH SOUTH

EAST WEST