

ITEM #: 25
DATE: 03-23-21

COUNCIL ACTION FORM

SUBJECT: DEMOLITION OF GREEK HOUSE AT 120 LYNN AVENUE

BACKGROUND:

Delta Omicron Chapter of Kappa Kappa Gamma sorority is seeking approval to demolish its existing sorority house at 120 Lynn Avenue in order to construct a new sorority house at the same location.

The zoning of the property is High Density Residential (RH). In addition, it is in the East University Impacted Area Overlay District (O-UIE). **This overlay requires City Council approval prior to demolition of any structure currently or formerly used by a “Greek” organization.** Ames Municipal Code (AMC) Section 29.1110 (O-UIE) describes the process and submittal requirements for obtaining demolition approval from the City Council. The demolition requirements can be found in the Addendum.

Kappa Kappa Gamma (KKG) received approval in December 2019 for demolition of this same house and shortly thereafter received approval of a Minor Site Development Plan for construction of the replacement sorority building. The structure was not demolished and KKG has now applied for a new Minor Site Development Plan. This new Minor Site Development Plan necessitates the City Council reapproving the demolition of the existing building based upon the new proposed building.

The major differences with the previous approved plan include a reduction in overall size, a change to the exterior roof design, and new façade materials. The current structure accommodates 62 members, while the proposal to build a new structure would accommodate 61. The proposal KKG submitted in 2019 would have accommodated 66 members. KKG believes the improvements associated with a new house will maintain the organization’s competitive position in relation to current trends within the Greek community.

The current house was constructed in 1930 as the Roger Williams Baptist Student Center. It has been a sorority since 1949 when it was purchased by Kappa Alumnae. In 1972 ownership was transferred to the Delta Omicron House Corporation. A sizable addition was completed in 1986. A location map can be found in Attachment A and a picture of the existing house can be found in Attachment B.

KKG, represented by their contact person, Naura Godar of RDG Design, has provided the required documentation. Required documentation includes cost for rehabilitation, structural analysis, cost estimates for new construction, economic feasibility, gross income and expenses, form of ownership, and a proposed Site Development Plan. The

applicant's demolition request is found in Attachment C, which is essentially structured as an appendix to the original application with new estimated construction costs.

At this time, the Minor Site Development Plan for the replacement structure has been submitted to staff for approval and is included as Attachment D. The Minor Site Development Plan is being finalized between staff and the applicant for compliance. The Planning and Housing Director, not the City Council, is authorized to approve the Minor Site Development Plan for the replacement building.

Staff notes that the property owners were granted an Exception by the Zoning Board of Adjustment in July 2019 for a reduced drive aisle width by two feet to allow for required parking to serve the new building. This allows the drive aisle to be two feet less in width than required while still allowing for adequate vehicle maneuvering. The current Minor Site Development Plan maintains this two-foot Exception in its design. **With the Exception approval, the Site Development Plan will be approvable by the Director of Planning and Housing, if the demolition request is approved by City Council.**

REQUIRED CRITERIA FOR DEMOLITION:

To approve demolition of a fraternity/sorority home, the City Council must find the request is consistent with Section 29.110 (2)b of the Municipal Code:

“The structure cannot be used for the original intended purpose and/or no alternative reasonable use can be identified and the property owner can show evidence that an economic hardship will be created if the structure cannot be removed.”

Section 29.110 (2)c describes the finding of economic hardship to include:

“Denial of a demolition request has deprived, or will deprive, the owner of the property of reasonable use of, or economic return on, the property.”

The applicant describes in their application the condition of the current property needing significant remodeling valued at approximately \$3,300,000 and a construction cost of at least \$4,500,000 dollars for a new house that achieves all their design interests and still provides adequate capacity. **The applicant believes they receive better value from demolishing and rebuilding than just remodeling the home, even though it costs substantially more. The updated cost of rehabilitation increased \$300,000 from the 2019 proposal with the cost of new construction increasing \$500,000. For comparison purposes the 2019 proposal included a rehabilitation cost of \$3,000,000 and a new construction cost of \$4,000,000.**

When dealing with prior requests for demolition in this Overlay District, the City Council has approved demolition contingent upon Staff's approval of the site plan and building permits. There has also been a condition that prior to demolition, the property owners provide verification of the financial feasibility of the building proposed to replace the current structure to ensure there is no speculative demolition that occurs without

assurance of the replacement building being constructed.

As City Council is aware, the site is within the East University Impact Urban Revitalization Area which allows for property tax abatement on the increased value of the property due to new improvements. **New construction is eligible to apply for this tax abatement upon completion of the project, if City Council has approved demolition request prior to April 1, 2021.** If City Council does not approve the new demolition request, the prior approval would still stand for KKG to proceed with the original 66 bed house. The entire URA will cease to operate on April 1, 2024, meaning any claimed tax abatement must be approved by the City Council prior to this date.

ALTERNATIVES:

1. Approve the request for demolition of the Greek residence at 120 Lynn Avenue with the conditions that:
 - a. A Minor Site Development Plan is approved by the Director of Planning and Housing before a demolition permit is issued.
 - b. An application for a building permit consistent with the building elevations and floor plans submitted with the Minor Site Development Plan as represented by Attachment D is submitted before a demolition permit is issued.
 - c. Approval of the demolition request is valid for the life of the Minor Site Development Plan permit SDP-001125 approval. *(This is for two years with a one-year extension)*
 - d. Proof of financing for the construction of the new structure submitted for review and acceptance by the Planning and Housing Director. *(This would likely be a letter or loan document from a financial institution that is willing to make a loan on the construction of the project.)*
2. Approve the request for demolition of the Greek residence at 120 Lynn Avenue without conditions.
3. Deny the request for demolition of the Greek residence at 120 Lynn Avenue on the basis that the criteria of Section 29.1110 (2) (c) are not satisfied.
4. Refer this request back to City staff and/or the applicant for additional information within the next 30 days.

CITY MANAGER'S RECOMMENDED ACTION:

The Greek neighborhood adds value to the community through, among other things, its distinct and diverse architecture and its desirability as a housing option for students at

Iowa State University. The East University Impacted Area Overlay District was created to preserve the existing Greek houses to the greatest extent possible in recognition of these valuable traits. If new construction occurs in the O-UIE, the City has established minimum design criteria that are intended to promote compatibility with the existing distinct and diverse architecture.

More than a dozen Greek homes have been renovated in order to improve safety and meet the needs of today's students. This has been a response to the trend of increased Greek membership and to preserve and improve the neighborhood. Four Greek houses have been demolished in recent years—three houses (Delta Tau Delta at 2121 Sunset Drive, Sigma Chi at 2136 Lincoln Way and Acacia at 138 Gray Ave) in order to construct new, larger homes for the increased Greek population and one (129 Ash Avenue) in order to allow the construction of a parking ramp for a church.

Kappa Kappa Gamma has been associated with Iowa State University since 1972 and many members have expressed a desire to live in the house. The Board of the Delta Omicron Chapter has provided evidence that it believes meets the zoning criteria for demolition and has proposed a new Greek house on the same site as the current building. Due to budgetary constraints Kappa Kappa Gamma is being forced to re-examine their previous plans for construction of a new home.

In staff's view of the criteria, the applicant is focused on whether reasonable use of the property is afforded to them if they must rehabilitate the existing building. As with other Greek houses, there has been an interest in reinvestment to continue to be competitive in maintaining membership. Cost comparison of the two options shows the new building option continuing to be more expensive as was the case with the 2019 approval.

However, in the applicant's view, new construction has greater value for the property in the long term and the rehabilitation option is not viable for meeting their desired membership needs. The applicant believes it has demonstrated that, as a Greek Organization that wants to maintain a sorority on the property it owns, the only economical and reasonable use of the land is to allow for demolition of the existing home.

Given the type of information provided in support of the application, it is difficult for staff to verify the economic feasibility or relative value of the rehabilitation compared to demolition. Staff believes that the increased cost of new construction and slight reduction in capacity with this proposal make the determination of economic feasibility more difficult than the previous proposal two years ago. However, the information provided by the applicant is similar to the justifications provided for the prior demolition requests that were ultimately approved by the City Council.

Therefore, it is the recommendation of the City Manager that the City Council approve Alternative #1 as described above.

ADDENDUM

Ames *Municipal Code* Section 29.1110(2)(b) criterion and staff's summary of information provided by the applicant.

29.1110 (2)(b) The structure cannot be used for the original intended purpose and or no alternative reasonable use can be identified and the property owner can show evidence that an economic hardship will be created if the structure cannot be removed. To prove economic hardship, the applicant shall submit where appropriate to the applicant's proposal, the following information to be considered.

(i) *Estimate of the cost of the proposed demolition*

- \$180,000

(ii) *Estimate of any additional cost that would be incurred to rehabilitate the building for the intended use.*

- \$3,300,000. The items included in the cost are listed on page 3 and 4 of Attachment 1 of the applicant's submittal (Attachment D).
- The architect states that this is the greatest amount of improvements that can be done to the existing structure which include structural rehab of the foundation along with electrical, accessibility, mechanical and dining area improvements. The rehabbed structure would continue to provide space for only the current 62 residents.

(iii) *A report from a licensed engineer or architect with experience in rehabilitation as to the structural soundness of the structure or structures on the property and their suitability for rehabilitation. (This shall be required only when the applicant's proposal is based on an argument of structural soundness.)*

- Architect's letter indicates that the demolition proposal is not primarily based on structural soundness though some small structural issues need to be addressed and investigated further in the current building.

(iv) *Estimated market value of the property in its current condition; after completion of demolition; after any changes recommended by the City Council; and after renovation of the existing property for continued use.*

- The estimated market value of the building in its current condition is \$539,600 with an additional \$303,100 of land value (2018- City Assessor).
- The value of the property (Land) after demolition is estimated at \$303,100.

- The construction cost estimate for rehabilitation is \$3,300,000 for a 62 bed house. The value after rehabilitation is estimated at \$1,500,000.
 - Neither construction cost estimate indicates whether it includes architect fees, permit fees, or other soft costs.

(v) *An estimate from an architect, developer, real estate consultant, appraiser, or other real estate professional experienced in rehabilitation as to the economic feasibility of rehabilitation or reuse of the existing structure on the property.*

- Architect RDG has provided an appendix to the previously approved demolition request with the following updated statement:

“As an appendix to the previously submitted demolition request, below is a summary of the financial needs to replace rather than remodel the KKG home. The cost to remodel currently is estimated at \$3,300,000, while the cost of a new home is estimated at \$4,500,000. While the immediate cost to renovate is lower, the long-term cost and opportunities provided in building a new house are critical to success for the sorority. Based on energy code changes, we conservatively anticipate a savings of nearly 35% over the current cost of utilities each year, approximately \$5,000 a year based on current pricing.

Cost of maintenance has remained steady since 2017 as Kappa Kappa Gamma has begun to defer non-essential maintenance in anticipation of a new building. If the home is not demolished, the sorority expects to maintain a \$30,000+ annual budget for upkeep on the home. Maintenance on a new home would be substantially lower, we estimate at \$7,000/year for the first several years. In addition to the costs outlined above please note that even with a \$3,300,000 remodel the needs of the women are unable to be met. Kappa Kappa Gamma would need to seek a new location to reside as a remodel cannot provide accessibility to the dining room and laundry area while maintaining the square footage currently allotted to essential programming. Also, there is not ample space on site to build an addition.

Further, yearly flooding has plagued the sorority’s basement. This flooding affects their kitchen space and their chapter room. Without site modification the storm water plan cannot reroute or retain the water to address this issue. This essential storm water management is not included in the \$3,300,000 remodeling budget as the footprint of the building would not change in this scenario. In addition to the financial aspects of the request for demolition, the current site does not meet the city standards for driveway approach and does not provide adequate parking (as prescribed by code) for the number of women living therein.

For a cost difference of \$1,200,000 the women of Kappa Kappa Gamma can:

- Reduce their utilities by 35%
- Increase their revenue by 7-10%
- Reduce the storm water run off to adjacent properties and public storm lines
- “Live in” a full class of women and provide additional opportunities for older students to live in the house
- Host the entire sorority at chapter meetings and at Sunday dinner

The overall cost savings and additional income conservatively measures at approximately \$50,000 annually.”

- **A breakdown of the difference between cost of rehabilitation versus a new building is provided in Attachment C.** New construction is estimated at 4.5 million dollars compared to 3.3 million dollars for rehabilitation. The breakout includes revenues and expenses under rehabilitation and the same under new construction with a difference shown between both over the next 4 years. Additionally, a small schedule is shown indicating a time period when the cumulative savings to break even for the cost of constructing a new building is achieved in the future.
- (vi) *Amount paid for the property, the date of purchase, and the party from whom purchased, including a description of the relationship, if any, between the owner of record or applicant and the person from whom the property was purchased, and any terms of financing between the seller and buyer.*
- The current structure was built as the Roger Williams Baptist Student Center in 1930 for \$25,000. The current Greek organization, Delta Omicron House Corporation has owned the property since 1972.
- (vii) *If the property is income-producing, the annual gross income from the property for the previous two years; itemized operating and maintenance expenses for the previous two years; and depreciation deduction and annual cash flow before and after debt service, if any, during the same period.*
- Attachment 4 of the attached applicant request provides the last two years of revenues and expenses.
- (viii) *Remaining balance on any mortgage or other financing secured by the property and annual debt service, if any, for the previous two years.*
- There is currently no mortgage balance. The property has been paid for in full.
- (ix) *All appraisals obtained within the previous two years by the owner or applicant in connection with the purchase, financing, or ownership of the property.*
- A report of insurance evaluation is included in Attachment 6 of the report. No specific appraisal information has been given to staff.
- (x) *Any listing of the property for sale or rent, price asked and offers received, if any, within the previous two years.*
- Has not been for sale.
- (xi) *Assessed value of the property according to the most recent assessments.*
- The 2017 assessed value of the property is \$842,700, with \$303,100 of that in the value of land.

(xii) Real estate taxes for the previous two years.

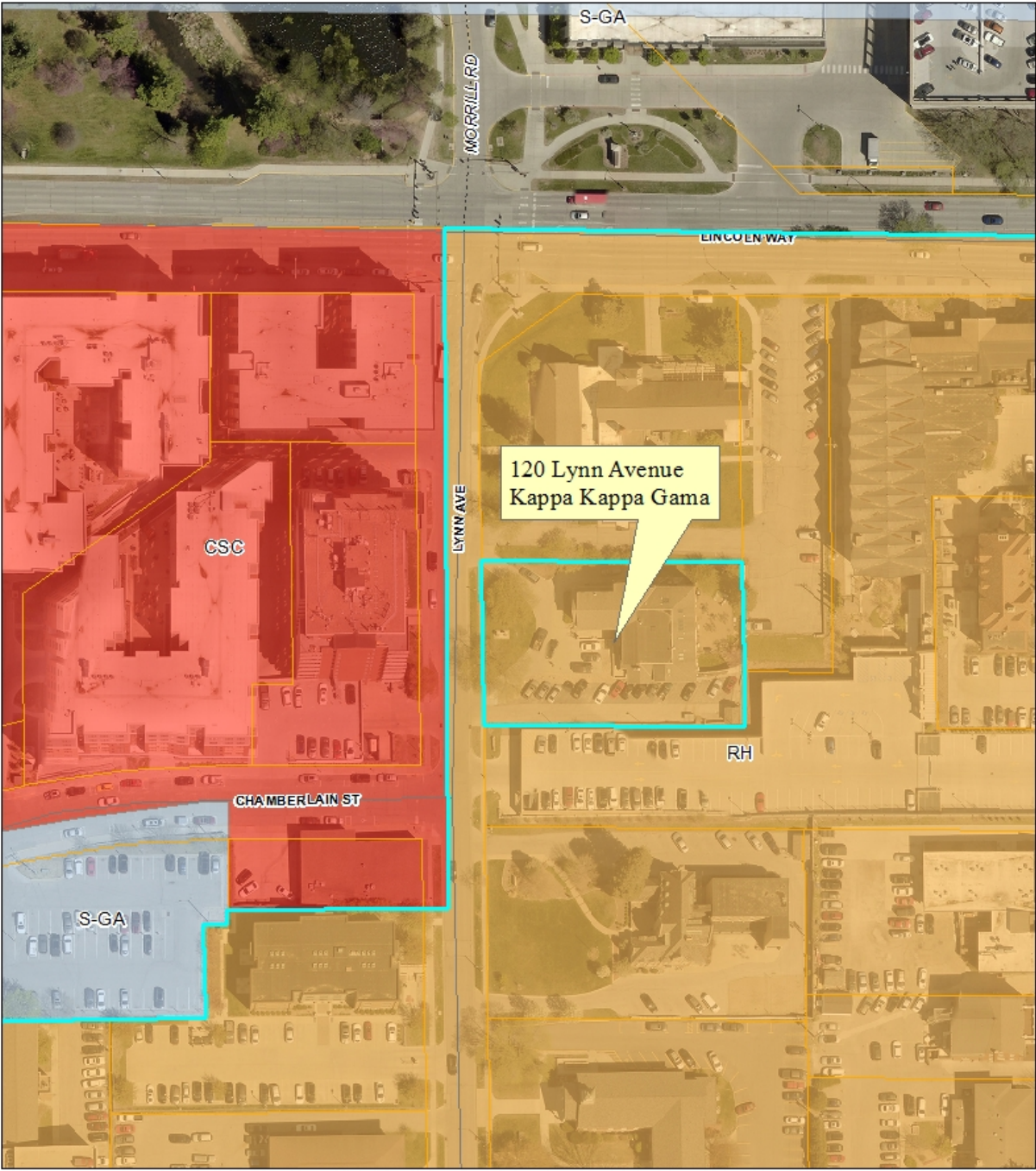
- 2016 taxes payable in September 2017 and March 2018 were \$7,590 each for a total of \$15,180.

(xiii) Form of ownership or operation of the property, whether sole proprietorship, for profit or not-for-profit corporation, limited partnership, joint venture, or other.

- Not-for-profit corporation registered with the Iowa Secretary of State.

(xiv) Approval of a minor site development plan and architectural drawings as meeting the requirements of subsection (3) through (6) below and all other applicable

Attachment A- Location Map



120 Lynn Avenue Location & Zoning

Attachment B- Existing Structure



Attachment C- Applicants Request with Financials

Attachment D- Minor Site Development Plan

March 11, 2021

Justin Moore
City of Ames
515 Clark Avenue
Ames, Iowa 50010

RE: Kappa Kappa Gamma, RDG #3003.102.00

Justin,

As an appendix to the previously submitted demolition request, below is a summary of the financial needs to replace rather than remodel the KKG home. The cost to remodel currently is estimated at \$3,300,000, while the cost of a new home is estimated at \$4,500,000. While the immediate cost to renovate is lower, the long-term cost and opportunities provided in building a new house are critical to success for the sorority.

Based on energy code changes, we conservatively anticipate a savings of nearly 35% over the current cost of utilities each year, approximately \$5,000 a year based on current pricing.

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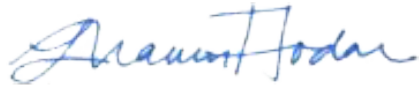
The overall cost savings and additional income conservatively measures at approximately \$50,000 annually.

Please see attached the breakout of anticipated long-term costs of remodeling versus constructing a new building.



The City of Ames also benefits from allowing demolition to occur at this site. In addition to an increased valuation of the building and higher tax burden, the city will be able to relocate a power box to extend buried power lines east to St. Thomas Aquinas Church.

Warmest Regards,



RDG Planning & Design

Naura Heiman Godar, AIA
Senior Partner



COST COMPARISON

	REMODEL		
	2022-2023	2023-2024	2024-2025
<i>income</i>			
Board Income	\$ 321,440.63	\$ 337,512.66	\$ 354,388.29
Board per Person	\$5,952.60	\$ 6,250.23	\$ 6,562.74
<i>expenses</i>			
Repairs & Maint	\$ 25,000.00	\$ 25,750.00	\$ 26,522.50
Electric	\$ 16,647.48	\$ 17,146.90	\$ 17,661.31
Gas	\$ 8,490.14	\$ 8,744.84	\$ 9,007.19
Utilities	\$ 25,137.62	\$ 25,891.75	\$ 26,668.50
Construction	\$ 3,300,000.00	\$ -	\$ -

	NEW BUILD		
	2022-2023	2023-2024	2024-2025
<i>income</i>			
Board Income	\$ 372,000.00	\$ 390,600.00	\$ 410,130.00
Board per Person	\$6,000.00	\$ 6,300.00	\$ 6,615.00
<i>expenses</i>			
Repairs & Maint	\$ -	\$ 7,000.00	\$ 7,000.00
Electric	\$ 10,820.86	\$ 11,145.49	\$ 11,479.85
Gas	\$ 5,518.59	\$ 5,684.15	\$ 5,854.67
Utilities	\$ 16,339.45	\$ 16,829.64	\$ 17,334.53
Construction	\$ 4,500,000.00		

SAVINGS PER YEAR FIRST THREE YEARS

\$ saved between a new build and a remodel in 2022-2023

Board Income	\$	50,559.37
Repairs & Maintenance	\$	(1,175,000.00)
Utilities	\$	8,798.17

Total	\$	(1,115,642.46)
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\$ saved between a new build and a remodel in 2023-2024

Board Income	\$	53,087.34
Repairs & Maintenance	\$	18,750.00
Utilities	\$	9,062.11

Total	\$	80,899.45
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\$ saved between a new build and a remodel in 2024-2025

Board Income	\$	55,741.71
Repairs & Maintenance	\$	19,522.50
Utilities	\$	9,333.98

Total	\$	84,598.18
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CUMULATIVE SAVINGS AND BREAK EVEN

est. cumulative savings in a new build over 3 school years

Board Income	\$	159,388.41
Repairs & Maintenance	\$	(1,136,727.50)
Utilities	\$	27,194.25

Total	\$	(950,144.83)
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est. cumulative savings in a new build over 12 school years

Board Income	\$	637,553.66
Repairs & Maintenance	\$	(947,422.31)
Utilities	\$	108,777.02

Total	\$	(201,091.64)
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est. cumulative savings in a new build over 21 school years

Board Income	\$	1,115,718.90
Repairs & Maintenance	\$	(859,769.71)
Utilities	\$	190,359.78

Total	\$	446,308.96
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City of Ames: Kelly Diekmann
Director of Planning and Housing
515 Clark Ave
Ames, Iowa 50010

Delta Omicron House Corporation of Kappa Kappa Gamma (Applicant) hereby submits a Statement of Economic Hardship as envisioned by the Land Use Policy statement applied to the East University Impacted Area.

The purpose of this submission is to obtain a demolition permit for the structure at 120 Lynn Avenue, the Greek chapter house for the Delta Omicron House Corporation of Kappa Kappa Gamma. A new chapter house will be constructed at the same location in in 2020-2021.

As further explained in this application, Kappa Kappa Gamma is unable to economically remodel the current chapter house constructed in 1947 to make it competitive with current University and Greek Community standards.

Please see the attached documents to represent our needs for an approved permit.



Ellen M. Chesnut

Kappa Kappa Gamma House Board President

Iowa State University

Background and History

The Applicant is associated with the Kappa Kappa Gamma Sorority generally and is specifically associated with the Delta Omicron chapter of the Sorority located at Iowa State University. The Applicant is a non-profit corporation exempt from federal income taxation under Section 501©(2) and the Chapter is a non-profit association exempt from federal income taxation under Section 501©(2). The Applicant owns the building of which is used as a residence, study hall, and chapter house by undergraduate members of the Sorority.

Purpose

The non-profit corporation was formed to provide procurement, ownership, financing, leasing, maintenance and managing the real estate ("Chapter House"), personal property, and furnishings for the use of the Delta Omicron Chapter (the "Chapter") of Kappa Kappa Gamma, a non-profit corporation exempt from federal income taxation under Code 501(c) (7), located at Iowa State University, Ames, Iowa. The Chapter House has training rooms, computer rooms, internet access and study rooms for the use of the alumni of the chapter and the undergraduate members of the Sorority. The Applicant will enter into an annual lease with and collect rent from the Chapter for occupancy. Such rent will in turn be used toward the payment of house operating expenses including: mortgage payments, insurance, real estate taxes, certain upkeep and maintenance costs, repairs, capital improvements, the provision of appropriate internet and intranet access to support academic course work required by the University, access to network printing and copying in support of coursework and expenses related to employment of a house mother and cook to provide respective services to undergraduate Chapter members, including socialization and quality room and board. These activities will be conducted by volunteers and staff of the Applicant.

The current total active undergraduate membership of the Delta Omicron chapter has averaged 100 women over the last five years. The capacity of the current structure is 63. Due to the growth of the university undergraduate enrollment and the chapter membership the capacity was increased. The proposed new building will increase the capacity.

Programs

As a national organization, Kappa Kappa Gamma partners with Reading Is Fundamental to help underserved kids discover the joy of reading and books. Each fall the Delta Omicron chapter of Kappa Kappa Gamma at Iowa State hosts a late night all-you-can-eat nacho bar called Kappa Con Queso and proceeds of this are donated to Reading is Fundamental and the Kappa Kappa Gamma National Foundation. We also share that love of learning and literature with the children of Collins-Maxwell Elementary and host an annual carnival where we play games, read, and hand out books. Our chapter locally sponsors the Iowa State Dance Marathon, a movement that raises money for the University of Iowa Children's Hospital. Our spring philanthropy event, Kakes For Kids, is an all-you-can-eat pancake breakfast that celebrates the great impact that the Iowa State Dance Marathon has made in the lives of children

Delta Omicron of Kappa Kappa Gamma

**Application for Demolition Permit
Based on Economic Hardship
For its Facility at
120 Lynn Avenue
Ames, IA**

“O-UIE” District

**Ellen Chestnut
President
emchesnut@gmail.com**

**Lorraine Whitney
ljwhitney@mac.com**

January 28, 2021

Attachment 1

(2) (b) (i) Estimate of the cost of the proposed demolition.

(2) (b) (ii) Estimate of any additional cost that would be incurred to rehabilitate the building for the intended use.

(2) (b) (iii) A report from a licensed engineer or architect with experience in rehabilitation as to the structural soundness of the structure or structures on the property and their suitability for rehabilitation.

(2) (b) (iv) An estimate from an architect, developer, real estate consultant, appraiser or other real estate professional experienced in rehabilitation as to the economic feasibility of rehabilitation or reuse of the existing structure on the property.

Summary of Attached items

RDG Planning & Design Assessment Report (addressing ii, iii,iv)

(2) (b) (i) Estimate of the cost of the proposed demolition.

In discussions with Harold Pike Construction, the estimated full building demolition is \$180,000 with the scope of work noted below:

1. Permits
2. Asbestos testing
3. Asbestos removal
4. Removal of all material including footings and foundations
5. Landfill costs

January 28, 2021

Mr. Kelly Diekmann
Planner, Department of Planning and Housing
City of Ames
515 Clark Street
Ames, IA 50010

RE: Kappa Kappa Gamma, RDG #3003.102.00

Dear Mr. Diekmann:

This letter is in reference to the Kappa Kappa Gamma Sorority House at 120 Lynn Avenue and the proposed update to its current facility. The current chapter house is owned by the Delta Omicron chapter of Kappa Kappa Gamma. The purpose of this letter is to present my firm's review of the condition of the existing building and its ability to meet current programmatic needs. This will also provide an opinion of costs related to viable improvements for remodeling to meet the current needs versus constructing a new facility.

History

Over the course of its nearly 70 year history, the Kappa Kappa Gamma Sorority House has undergone several additions and remodeling to deal with member size and academic/social needs of the chapter members. The initial structure was constructed as the Roger Williams Baptist Student Center in 1930, the women of Kappa purchased, built an addition and remodeled in spring of 1949. In 1971, the city's Building Inspector asked that five rooms in the northeast corner of the house not be used due to structural weakness in that corner of the building and major structural repair was done to the corner of the house. A significant addition was provided in 1986.

Currently the house has sixty live in members. The building is arranged as follows and totals approximately 13,298 square feet. The Chapter Room is located in the basement. The first floor has 5,083 gross square feet, the second floor has 5,041 gross square feet, and the third floor has 3,174 gross square feet. The basement has 5,041 square feet.



Evaluation

We have reviewed the existing building to ascertain how it must be modified to meet requirements for Kappa Kappa Gamma to maintain a standard of excellence as a nationally recognized sorority and viability at Iowa State University. The current structure has become outdated in conveniences and capacity. The sorority is unable to accommodate all their members, and their chapter currently requires all members to live in the house.

1. Students entering college today have increased expectations of their living conditions. They typically come from homes where they have never shared a bedroom and seek out housing that provides amenities and aesthetics consistent with the condition they came from. These include:
 - a. Upscale space amenities including access to the internet, video, privacy, recreation and ample storage space for personal belongings.
 - b. Dining options that allow for on the go and off hour access.

2. These housing environments need to provide flexibility of spaces.
 - a. Living/learning environments are now combined as students are increasing functioning in a multi-tasking mode.
 - b. Group/individual areas are needed for meeting and studying to support and encourage community building activities.
 - c. Providing space for informal socializing and small group studying as well as large spaces for whole-house functions is critical.

3. Restrictions on space and amenities of the existing spaces are becoming an increasing issue for the house.
 - a. KKG spends upwards of \$50,000 each year for small upgrades and maintenance, yet the offerings to women are not drastic improvements due to the constraints of the current structure.
 - b. The cost of operating expenses is considered as a key factor in the ongoing viability of the houses.
 - i. Efficient energy usage is critical and has a major economic impact.
 - ii. Lower maintenance costs related to construction materials and finishes have an impact on the long-term operations.

Chapter 29.1110 – Demolition Requirements

Estimated Cost for Rehabilitation

\$3,000,000

For the women of Kappa Kappa Gamma to continue living in the existing house, a remodel would require gutting



the home to make several key modifications.

1. Waterproofing of the basement. The basement has flooded with both sewer and storm water several times in the last five years. The current system of water discharge does not meet the City of Ames standards.
2. Kitchen. The grease interceptor is currently located inside the building in the basement, which no longer meets City of Ames standards. The interceptor would need to be moved outside the building, the kitchen to a higher level of the home.
3. Installation of central air conditioning, and a new building heating boiler system
4. Electrical upgrades are needed throughout the house. The existing service is undersized for today's electrical needs and the technology system.
5. Security upgrades.
6. Egress and accessibility. Remodeling the entire home will require additional space to be allotted for accessibility and egress items that were not required when the home was originally built.

Using the recent remodels of Theta Delta Chi, Alpha Gamma Rho and Delta Upsilon as comparison, the cost of approximately \$215 per square foot is appropriate.

Report of Structural Soundness

Numerous cracks were observed in the foundation walls of the building. These did not appear to be presenting major structural settlement problems. If further development of the existing building is pursued, more extensive investigative testing is warranted before proceeding. There is significant evidence of moisture penetration issues observed in areas of the basement. This will need to be addressed as noted by the "Estimated Cost for Rehabilitation" section.

Economic Feasibility for Reuse of Existing Structure

The "Estimated Cost for Rehabilitation" section deals with in use as a sorority house, however it does not address the space needs developed by Kappa Kappa Gamma with the assistance of RDG. Specifically, the sorority would like to increase its capacity of live in women and provide a Chapter room that can hold all active women in the chapter. The space to accomplish these tasks does not exist in the current structure. Adding space will also be extremely difficult aesthetically and to accommodate internal circulation flow.

After reviewing the information provided above, I believe the cost to rehabilitate and expand the existing structure



to meet the programmatic needs of the chapter would be as much or more than the cost of new construction on this site. The difficulty of working with the conditions noted [previously, and the unforeseen conditions that occur with remodeling an existing building present a high cost risk to remodeling and addition to this building.

In our estimation, new construction is the best way to proceed and has the following advantages:

- a. More cost-effective solution.
- b. A better design solution that meets and exceeds the desired space program much better than remodel existing and expanding the structure
- c. A more marketable product to the end user / the student.

Historic Preservation

I believe strongly in the importance of Historic Preservation, and do not recommend demolition quickly. In addition to the financial and programmatic items that align for the request to build new, the historic nature of the building must be addressed.

Although the historic frame of the building exists, much of the historic character of the building has long been removed. The windows on the existing structure were replaced several years ago. The addition in 1986 (although aesthetically compatible) changed the historic façade. Multiple remodels in the bathrooms, bedrooms and kitchen have changed the historic fabric of the interior.

The women of Kappa Kappa Gamma have expressed a strong desire to rebuild in the aesthetic of their current home, and the architecture of KKG homes across the country reinforce the idea that the new structure will be compatible to the desired proportion and materiality prevalent in Iowa State's Greek Housing.

Warmest Regards,



Naura Godar, AIA
Senior Partner



Attachment 2

(2) (b) (iv) Estimated market value of the property in its current condition after completion of demolition; after any changes recommended by the City Council; and after renovation of the existing property for continued use

Summary of Attached items

<i>Estimated market value in current condition</i>
<i>After completion of demolition</i>
<i>After changes recommended by City Council</i>
<i>After renovation of the existing property for continued use</i>

Estimated Market Value in Current Condition:

Building: \$539,600

Land: \$303,100

from the Ames City Assessor's Page

After Completion of Demolition:

Land: \$303,100

After Changes Recommended by the City Council:

Not available at this time. Would need to be determined following receipt of information from City Council.

After Renovation of the Existing Property for Continued Use:

Building: \$1,500,000

Land: \$303,100

From Kappa Kappa Gamma discussion with real estate agent

Attachment 3

(2) (b) (vi) Amount paid for the property, the date of purchase, and the party from whom purchased, including a description of the relationship, if any, between the owner of record or applicant and the person from whom the property was purchased, and any terms of financing between the seller and buyer

Summary of Attached items

<i>Summary of original cost of occupied facilities</i>
<i>Town Deed Record for the property</i>
<i>Solicitation with total cost estimates</i>

Original cost of home \$25,000 (Ames Tribune "Building Permits" section Jan 10, 1930)

Ownership was originally held by the Kappa Alumnae but in 1972 ownership was transferred to the Delta Omicron House Corporation

Fee \$2.50



WARRANTY DEED

(CORPORATE)

FILED NO. 3388
STORY COUNTY, IOWA
FILED FOR RECORD
JUN 21 1972 4:16 P.M.
ELLA M. HORNBACKER, Recorder
By _____ Deputy

Know All Men by These Presents:

That KAPPA KAPPA GAMMA FRATERNITY
having its principal place of business at Columbus, in Franklin
County and State of Ohio, a corporation organized and existing under the
laws of the State of Ohio, in consideration* of the sum of One Dollar and other good
and valuable consideration
in hand paid does hereby CONVEY unto DELTA OMICRON HOUSE ASSOCIATION OF KAPPA
KAPPA GAMMA FRATERNITY

Grantees' Address: Ames, Iowa
the following described real estate situated in Story County, Iowa, to-wit:

The North 129.3 feet of the South 209.3
feet of Lot 23, Parker's Addition to the
City of Ames, Iowa.

This deed is exempt from Transfer tax under Chapter 428 A.1
Code of Iowa.

And said Corporation hereby covenants with said grantees, and successors in interest, that it holds said real estate by title in fee simple; that it has good and lawful authority to sell and convey the same; that said premises are free and clear of all liens and encumbrances whatsoever, except as may be above stated; and it covenants to Warrant and Defend the said premises against the lawful claims of all persons whomsoever, except as may be above stated.

Words and phrases herein, including acknowledgement hereof, shall be construed as in the singular or plural number, according to the context.

IN WITNESS WHEREOF said corporation has caused this instrument to be duly executed this 14th
day of February, 19 72.

Kappa Kappa Gamma Fraternity

By Louise L. Barbeck
President Title

By Jane L. Koke
Treasurer Title

530 East Town Street

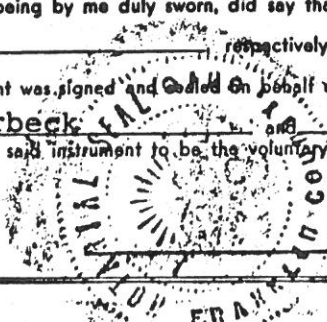
Columbus, Ohio 43216

(Grantors' Address)

OHIO
STATE OF ~~IOWA~~ COUNTY OF FRANKLIN ss.

On this 14th day of February, A.D. 1972, before me, the undersigned, a Notary Public in and for the State of ~~IOWA~~ Ohio, personally appeared Louise L. Barbeck and Jane L. Koke to me personally known, who, being by me duly sworn, did say that they are the President and Treasurer

respectively, of said corporation; that (no seal has been procured by the said) ~~the seal of said corporation is on file in the office of the undersigned~~ corporation; that said instrument was signed and sealed on behalf of said corporation by authority of its Board of Directors; and that the said Louise L. Barbeck and Jane L. Koke as such officers, acknowledged the execution of said instrument to be the voluntary act and deed of said corporation, by it and by them voluntarily executed.



Katharine K. Penneel
Notary Public in and for the State of Ohio

H-3086

BOOK 148 PAGE 159

2. CORPORATE DEED
This Printing: January 14, 1971

L
I
S
C INSTR. NO. 3388 FILED FOR RECORD THE 21 DAY OF June STATE OF IOWA, STORY COUNTY.
RECORDING FEE 2.50 19 72 AT 4:16 Ella M. Hornbacher Recorder
TRANSFER FEE 1.00 O'CLOCK P M. BOOK 148 PAGE 159 Beila A. Nelson Deputy

Please type or print names under signatures as per Sec. 325.2 Code of Iowa as amended

Attachment 4

(2) (b) (vii) If the property is income-producing, the annual gross income from the property for the previous two years; itemized operating and maintenance expenses for the previous two years; and depreciation deductions and annual cash flow before and after debt service, if any, during the same period

Summary of Attached items

<i>House Board Profit and Loss for Fiscal Year 2015-2016</i>
<i>House Board Profit and Loss for Fiscal Year 2016-2017</i>
<i>House Department Profit and Loss for Fiscal Year 2016-2017</i>
<i>House Department Profit and Loss for Fiscal Year 2016-2017</i>

Kappa Kappa Gamma’s House Board collects rent to cover the costs of insurance, long-term maintenance, property taxes and yearly updates to the house including improvements, decorating, remodels, furniture, etc.

Kappa Kappa Gamma’s House Department collects board, which covers all the annual operating expenses including payroll. This is an in and out account, most funds at the end of the fiscal year are transferred back to the House Board.

KKG HOUSE BOARD

PROFIT AND LOSS

July 2016 - June 2017

	TOTAL
Income	
Fiscal Year End Overage	100,550.00
House Corp Fee	8,550.00
Maintenance Fee	15,750.00
Regular Board	0.00
Room Rent	152,206.49
Transient Board	0.00
Total Income	\$277,056.49
GROSS PROFIT	\$277,056.49
Expenses	
Bank Service Charges	37.61
Contributions/Gifts	618.48
House Remodel/Updates	14,384.87
Insurance Expense	9,975.00
Meals and Entertainment	708.21
Miscellaneous Expense	761.00
Payroll Expenses	696.87
Repairs and Maintenance	33,811.37
Taxes - Property	14,840.00
Travel Expense	2,655.40
Total Expenses	\$78,488.81
NET OPERATING INCOME	\$198,567.68
Other Income	
Damage Deposit	100.00
Room Security Deposits	150.00
Total Other Income	\$250.00
NET OTHER INCOME	\$250.00
NET INCOME	\$198,817.68

KKG HOUSE BOARD

PROFIT AND LOSS

July 2015 - June 2016

	TOTAL
Income	
Chapter Room Rent	600.00
Fiscal Year End Overage	24,250.00
Maintenance Fee	15,075.00
Regular Board	0.00
Out of House Meal Plans	0.00
Total Regular Board	0.00
Room Rent	152,940.00
Transient Board	0.00
Total Income	\$192,865.00
GROSS PROFIT	\$192,865.00
Expenses	
Bank Service Charges	5.00
Contributions/Gifts	30.00
Dues and Subscriptions	69.98
House Remodel/Updates	1,585.45
Insurance Expense	-1,020.93
Lawn Care	2,878.43
Meals and Entertainment	1,231.26
Miscellaneous Expense	-86.66
Payroll Expenses	930.78
Professional Fees	1,100.00
Repairs and Maintenance	5,626.19
Taxes - Property	15,254.00
Total Expenses	\$27,603.50
NET OPERATING INCOME	\$165,261.50
Other Income	
Room Security Deposits	1,050.00
Total Other Income	\$1,050.00
NET OTHER INCOME	\$1,050.00
NET INCOME	\$166,311.50

Kappa Kappa Gamma House Department

PROFIT AND LOSS

July 2016 - June 2017

	TOTAL
Income	
Regular Board	252,000.00
Transient Board	51,500.00
Vending Machine	1,077.37
Total Income	\$304,577.37
GROSS PROFIT	\$304,577.37
Expenses	
Alarm Maintenance/Security	1,661.88
Bank Charges	32.61
Bookkeeping Services	1,350.00
Cable	932.35
Chapter Activities	1,334.53
Cleaning/Housekeeping	36,297.36
Employee Benefits	6,130.00
Food	61,066.29
Gifts	79.01
Grounds Upkeep/Landscaping	9,179.44
Insurance	270.00
Internet/Computers	6,648.78
Misc Equipment/Fixtures	1,504.08
Miscellaneous	204.54
Other Expenses	150.00
Outside Contract Labor	10,559.05
Payroll Expenses	
House Director Benefits	283.29
Insurance	182.00
Taxes	6,685.79
Wages	80,057.98
Total Payroll Expenses	87,209.06
Pest Control	711.55
Professional Fees	4,387.00
Repairs & Maintenance	20,640.92
Supplies	9,583.99
Telephone	1,625.82
Transfer to House Corp	91,250.00
Trash	2,328.00
Utilities	
Electric	17,184.17
Gas	4,565.85
Total Utilities	21,750.02
Vending Machines	455.86
Total Expenses	\$377,342.14
NET OPERATING INCOME	\$ -72,764.77

	TOTAL
NET INCOME	\$ -72,764.77

Kappa Kappa Gamma House Department

PROFIT AND LOSS

July 2015 - June 2016

	TOTAL
Income	
Miscellaneous Income	125.00
Out of House Meal Plan	2,500.00
Regular Board	254,000.00
Transient Board	48,750.00
Vending Machine	51.30
Total Income	\$305,426.30
GROSS PROFIT	\$305,426.30
Expenses	
Alarm Maintenance/Security	3,361.41
Bank Charges	32.35
Bookkeeping Services	1,530.00
Cable	1,446.07
Chapter Activities	255.00
Charitable Contributions	25.00
Cleaning/Housekeeping	28,169.80
Food	62,825.51
Grounds Upkeep/Landscaping	840.73
Insurance	10,222.00
Internet/Computers	7,613.26
Laundry	52.10
Misc Equipment/Fixtures	360.20
Miscellaneous	0.00
Other Expenses	24,250.00
Outside Contract Labor	21,484.25
Payroll Expenses	
Dues	750.00
House Director Benefits	1,003.18
Insurance	390.00
Taxes	19,343.82
Wages	41,369.81
Total Payroll Expenses	62,856.81
Pest Control	410.88
Postage	44.00
Professional Fees	1,633.75
Reconciliation Discrepancies	44,569.24
Repairs & Maintenance	9,829.50
Supplies	10,129.76
Telephone	2,645.21
Trash	1,830.00
Utilities	
Electric	10,873.02
Gas	12,338.91

	TOTAL
Total Utilities	23,211.93
Total Expenses	\$319,628.76
NET OPERATING INCOME	\$ -14,202.46
NET INCOME	\$ -14,202.46

Attachment 5

(2) (b) (viii) Remaining balance on any mortgage or other financing secured by the property and annual debt service, if any for the previous two years.

Summary of Attached items

<i>Statement of current outstanding mortgages</i>

Statement of current outstanding mortgages: the property has been paid for in full, there is no mortgage on this property.

Attachment 6

(2) (b) (ix) All appraisals obtained within the previous two years by the owner or applicant in connection with the purchase, financing or ownership of the property.

Summary of Attached items

Report of insurance evaluation

----- Forwarded message -----

From: **Jessica Gunter** <jessica.gunter@mjsorority.com>

Date: Wed, Mar 7, 2018 at 9:48 AM

Subject: Kappa Kappa Gamma Fraternity 2018-2019 Insurance Overview

To: "emchesnut@gmail.com" <emchesnut@gmail.com>

MJ Insurance, Inc. Sorority Division

P.O. Box 50435 | Indianapolis, IN 46250-0435 | (888) 442-7470

www.mjsorority.com

We appreciate our partnership with Kappa Kappa Gamma Fraternity and your members and volunteers. Thank you for the chance to serve you in the coming year!

This document is only a brief summary of your insurance coverages. Should you require a Certificate of Insurance, please request a Certificate of Insurance directly via our website. For a more detailed review of your insurance coverages, please refer to the "Insurance and Risk Management Summary" on our website at www.mjsorority.com.

Kappa Kappa Gamma Fraternity

Insurance Overview

DELTA OMICRON

120 Lynn Ave.

3/1/18 - 3/1/19

Ames, IA 50014-7017

Property & Equipment Breakdown Coverage		Insurance Carrier: Travelers Insurance Co.	
Building:		\$2,875,500	
Contents:		\$351,800	
Loss of Income & Extra Expense:		\$130,400	
Fine Arts:		None Scheduled	
Historic Property Coverage Extension:		No	
Sprinkler System: Yes		Leak Detection System: No	
Replacement Cost, Special Form Perils			
Mortgagee and / or Loss Payee: None Scheduled			
Deductible*:	\$5,000	Equipment Breakdown Deductible:	\$1,000

*The Deductible may not be altered for individual locations.

Wind deductible of \$10,000 for locations in the Florida counties of Hillsborough, Dade, Palm Beach, Broward, Pinellas, and Monroe.

Wind and Hail deductible of \$15,000 for locations in the States of Kansas and Oklahoma.

Flood Coverage		Insurance Carrier: Travelers Insurance Co.	
Limit:	\$5,500,000	Deductible:	\$25,000

We encourage you to check your Flood Zone by logging into <https://msc.fema.gov/portal/search>. If your property is located in Flood Zones A, B, D, X, X/500 or non-participating or suspended communities, coverage limits and deductible amounts will differ. Please contact your Client Executive for further information.

Earthquake Coverage		Insurance Carrier: Travelers Insurance Co.	
California Locations Limit:	\$1,000,000	Deductible:	The greater of 5% or \$25,000
All Other Locations Limit:	\$25,000,000	Deductible:	\$25,000

If your property is located in Washington, your coverage limits may be limited to \$5,000,000.

Please contact your Client Executive for more information. Coverage is not provided for properties located in the States of Alaska or Hawaii.

		Insurance Carrier: Travelers Insurance Co.	
Each Occurrence	\$1,000,000	Limit applies separately to each location	
General Aggregate	\$2,000,000		
Personal Injury	\$1,000,000		
Damage to Premises Rented to You	\$1,000,000		
Guest Medical Payments	\$10,000		
Host Liquor Liability: Included			
Excess Liability Coverage			
Insurance Carrier:	Markel		
Each Occurrence Limit:	\$15,000,000		
Aggregate Limit:	\$15,000,000		

Directors & Officers Liability & Employment Practices Liability Coverage	Insurance Carrier: Chubb Policy # 8223-4426	
Directors & Officers (D&O) Liability Limit:	\$1,000,000	\$25,000 Retention
Employment Practices Liability (EPL) Limit:	\$2,000,000	\$15,000 Retention
Limit is a single combined limit for any one D&O or EPL claim: No		
Crime (Bond) Coverage	Insurance Carrier: Chubb	
Embezzlement (Employee Dishonesty) Forgery	\$500,000	Retention Varies
	\$100,000	\$1,000 Retention
Workers' Compensation Coverage	Insurance Carrier: Travelers Insurance Co.	
Yes		

Attachment 7

(2) (b) (x) Any listing of the property for sale or rent, price asked and offers received, if any.

Summary of Attached items

Statement concerning offers for rent or sale.

The property is restricted for use by the undergraduate members of Kappa Kappa Gamma who are in good standing with the undergraduate Chapter and the National Sorority. The property is owned by the Delta Omicron House Corporation

The facility has never been the subject of a public offer to rent or lease.

Attachment 8

(2) (b) (xi) Assessed value of the property according to the most recent assessments..

Summary of Attached items

Story County Assessor's Page Information

Summary

Ames City Assessor

Sec-Twp-Rng 09-83-24
 Brief Tax Description PARKER'S ADD N129.3' S209.3' LOT 23
 Primary Class Residential
 Primary Zoning RH - Residential High Density Zone
 Secondary Zoning N/A
 Zoning Overlay O-UIE - E University Impacted OL Dist
 Secondary Zoning Overlay N/A
 Gross Acres 0.00
 Net Acres 0.00
 Last Transfer 6/21/1972
 Recording Date
 Deed Book/Page 148-159 (2/14/1972)
 (Instr. Date)
 Contract Book/Page N/A
 (Instr. Date)
 Taxing District AMES CITY/AMES SCH
 School District AMES COMMUNITY SCHOOL
 TIF/UR District N/A
 Drainage District N/A
 Fire District AMES
 Neighborhood Apts: Campus



Property ID 09-09-202-240
 Map ID 09-09-202-240
 Property Address 120 LYNN AVE
 AMES

[View/Print Historical Property Record Card](#)

Owner

Deed Holder
 DELTA OMICRON HOUSE ASSOC OF KAPPA KAPPA
 GAMMA FRATERNITY
 120 LYNN AVE
 AMES IA 50014-7107

Contract Holder

Mailing Address
 DELTA OMICRON HOUSE ASSOC OF KAPPA KAPPA
 GAMMA FRATERNITY
 120 LYNN AVE
 AMES IA 50014-7107

[Change mailing address](#)
[Transfer Homestead or Military](#)

Site Description (Ames)

Topography Level
 Public Utilities All
 Street or Road Paved
 Neigh. Life Cycle Static
 Legal Acres 0.6094
 Legal Sq Ft 26,545

Farm Land Computations (Ames)

Parcel Acreage 0.6094
 81 Legal Drain NV [-] 0
 82 Public Roads NV [-] 0
 83 UT Towers NV [-] 0
 9 Homesite(s) [-] 0
 Total Acres Farmland 0
 True Tax Value 0.00
 Measured Acres 0
 Average True Tax Value/Acre 0.00
 True Tax Value Farmland 0.00
 Classified Land Total 0
 Homesite(s) Value (+) 0.00
 Total Land Value 0.00

Commercial (Ames)

Card 01
 Commercial Building
 Primary Use Fraternity House
 Year Built 1949
 Above Grade Area 13,298
 Apartment Units 0
 Above Grade Floors 3
 Roofing Shingle 100%
 Porches and Decks CONCP 696
 CONCP 696
 CONCP 1300
 CONCP 1300
 Yd Item/Spc Ftture/Outbldg Asphalt Paving 10800 SF

Floor	Bldg Type / Area	Peri-meter	Wall Types	Wall Hght	Framing / Area	Plumbing	Sprinkler / Area	HVAC	Bsmt Type
-------	------------------	------------	------------	-----------	----------------	----------	------------------	------	-----------

Floor	Bldg Type / Area	Perimeter	Wall Types	Wall Hght	Framing / Area	Plumbing	Sprinkler / Area	HVAC	Bsmt Type
1	FRATHSE / 5,083	376	Stud -Brick Veneer 57% Stud Synthetic Masonry Veneer 43%	9	Wood Joist / 5,083	Half Baths (2) Extra Fixtures (13)	Wet Sprinklers / 5083	Hot Water Warmed and Cooled Air	
1	FRATHSE / 5,083	376	Stud -Brick Veneer 57% Stud Synthetic Masonry Veneer 43%	9	Wood Joist / 5,083		Wet Sprinklers / 5083	Hot Water Warmed and Cooled Air	
2	FRATHSE / 5,041	340	Stud -Brick Veneer 100%	8	Wood Joist / 5,041	Half Baths (1) Extra Fixtures (12)	Wet Sprinklers / 5041	Hot Water Forced Air Unit	
2	FRATHSE / 5,041	340	Stud -Brick Veneer 100%	8	Wood Joist / 5,041		Wet Sprinklers / 5041	Hot Water Forced Air Unit	
3	FRATHSE / 3,174	0		8	Wood Joist / 3,174	Extra Fixtures (13)	Wet Sprinklers / 3174	Forced Air Unit	
3	FRATHSE / 3,174	0		8	Wood Joist / 3,174		Wet Sprinklers / 3174	Forced Air Unit	
B	FRATHSE / 5,041	340	Concrete Block 100%	9	Fire Resistant / 5,041	Half Baths (1) Extra Fixtures (4)	Wet Sprinklers / 5041	Hot Water Warmed and Cooled Air	finished
B	FRATHSE / 5,041	340	Concrete Block 100%	9	Fire Resistant / 5,041		Wet Sprinklers / 5041	Hot Water Warmed and Cooled Air	finished

Improvements (Ames)

Card 01

ID	Use	Const Type	Grade	Year Const	Eff Year	Cond	Base Rate	Features	Adj Rate	Size/ Area
C	FRATHSE			1949	1986	AV	0.00		0	18339
01	PAVING	Asphalt		1975	1975	AV	3.31		3.31	10800

Valuation (Ames)

	2017	2016	2015	2014
Classification	Residential	Residential	Residential	Residential
Secondary Classification	Fraternity/Sorority	Fraternity/Sorority	Fraternity/Sorority	Fraternity/Sorority
Value Type	Full Value	Full Value	Full Value	Full Value
+ Assessed Land Value	\$303,100	\$303,100	\$303,100	\$303,100
+ Assessed Building Value	\$0	\$0	\$0	\$0
+ Assessed Dwelling Value	\$539,600	\$539,600	\$539,600	\$539,600
= Gross Value	\$842,700	\$842,700	\$842,700	\$842,700
- Exempt Value	\$0	\$0	\$0	\$0
- Military	\$0	\$0	\$0	\$0
Net Value	\$842,700	\$842,700	\$842,700	\$842,700

Taxation (Ames)

	2016	2015	2014	2013
Classification	Residential	Residential	Residential	Residential
Value Type	Full Value	Full Value	Full Value	Full Value
+ Taxable Land Value	\$172,582	\$168,602	\$168,928	\$164,887
+ Taxable Building Value	\$0	\$0	\$0	\$0
+ Taxable Dwelling Value	\$307,243	\$300,157	\$300,738	\$293,543
= Gross Taxable Value	\$479,825	\$468,759	\$469,666	\$458,430
- Military Credit	\$0	\$0	\$0	\$0
Net Taxable Value	\$479,825	\$468,759	\$469,666	\$458,430
x Levy Rate (per \$1000 of value)	31.63447	31.65760	32.23617	32.25490
= Gross Taxes Due	\$15,179.01	\$14,839.78	\$15,140.23	\$14,786.61
- Ag Land Credit	\$0.00	\$0.00	\$0.00	\$0.00
- Family Farm Credit	\$0.00	\$0.00	\$0.00	\$0.00
- Homestead Credit	\$0.00	\$0.00	\$0.00	\$0.00
- Disabled and Senior Citizens Credit	\$0.00	\$0.00	\$0.00	\$0.00
- Business Property Credit	\$0.00	\$0.00	\$0.00	\$0.00
= Net Taxes Due	\$15,180.00	\$14,840.00	\$15,140.00	\$14,786.00

Tax History

Year	Due Date	Amount	Paid	Date Paid	Tax Statement/Receipt
2016	March 2018	\$7,590	Yes	8/31/2017	134297
	September 2017	\$7,590	Yes	8/31/2017	
2015	March 2017	\$7,420	Yes	9/30/2016	134575
	September 2016	\$7,420	Yes	9/30/2016	
2014	March 2016	\$7,570	Yes	10/26/2015	121177
	September 2015	\$7,570	Yes	10/8/2015	
2013	March 2015	\$7,393	Yes	9/15/2014	117597
	September 2014	\$7,393	Yes	9/15/2014	

Homestead Tax Credit Application

Apply online for the Homestead Tax Credit

Military Service Tax Exemption Application

Apply online for the Military Service Tax Exemption

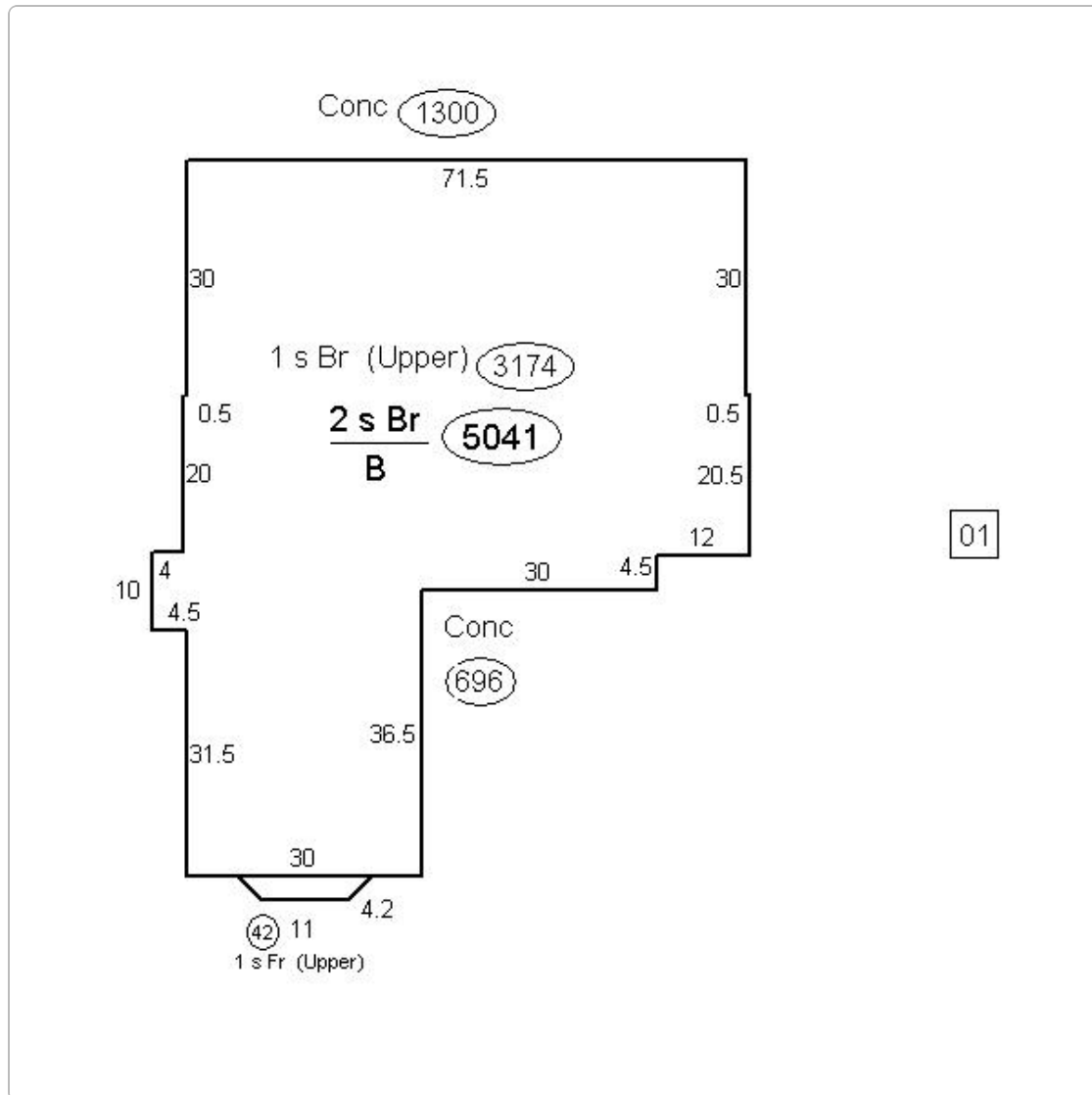
Iowa Land Records

View (148-159)

Photos



Sketches



Click sketch thumbnail to enlarge.

No data available for the following modules: Land, Residential Dwellings, Commercial/Industrial Buildings, Agricultural Buildings, Yard Extras, Sales, Land (Ames), Residential (Ames), Transfers (Ames), Res Sales (Ames), Valuation, Taxation, Tax Sale Certificates, Special Assessments.

The information in this web site represents current data from a working file which is updated continuously. Information is believed reliable, but its accuracy cannot be guaranteed.

Last Data Upload: 3/26/2018, 8:57:06 PM



Developed by
The Schneider
Corporation

Attachment 9

(2) (b) (xii)

Summary of Attached items

Real estate taxes for the previous two years

Delta Omicron of Kappa Kappa Gamma

Property Tax Payments during the period 1/1/2015 through 12/31/16

2016 Story County Treasurer Property Taxes	\$15,180
2015 Story County Treasurer Property Taxes	\$14,840
	<hr/>
Total Property Taxes	\$30,020

Attachment 10

(2) (b) (xiii) Form of ownership or operation of the property, whether sole proprietorship, for-profit or not-for profit corporation, limited partnership, joint venture or other.

Summary of Attached items

<i>Description of Ownership</i>

Ownership is by the Delta Omicron House Corporation, a not-for-profit cooperation

Attachment 11

(2) (b) (xiii) Approval of minor site development plan and architectural drawings as meeting the requirements of subsection (3) through (6) below and all other applicable standards of the City of Ames.

Summary of Attached items

Minor Site Development plan

Provided separately for consideration of approval of the minor site development plan are the site development plan and architectural drawings.

UTILITY PLAN GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE CURRENT EDITION SUDAS, AS AMENDED BY THE CURRENT CITY OF AMES SUPPLEMENTAL SPECIFICATIONS. ALL NOTES AND REFERENCES TO SUDAS SHALL COMPLY WITH SUDAS, AS AMENDED BY THE CITY'S SUPPLEMENTAL SPECIFICATIONS.
- TRENCH EXCAVATION AND BACKFILL SHALL BE COMPLETED AS PER SUDAS SPECIFICATION 3010.
- STORM SEWER INSTALLATION SHALL BE COMPLETED AS PER SUDAS SPECIFICATION SECTION 4020.
- SANITARY SEWER INSTALLATION SHALL BE COMPLETED AS PER SUDAS SPECIFICATION SECTION 4010.
- SUBDRAIN INSTALLATION SHALL BE COMPLETED AS PER SUDAS SPECIFICATION 4040.
- WATER MAIN, SERVICES, FITTING AND FIXTURES SHALL BE INSTALLED AS PER SUDAS SPECIFICATION SECTION 5010.
- TRENCH EXCAVATION, BACKFILL AND COMPACTION TESTING SHALL BE INCLUDED AS INCIDENTAL TO THIS PROJECT. TEST RESULTS SHALL BE PROVIDED TO OWNERS REPRESENTATIVE FOR REVIEW.
- STORM AND SANITARY STRUCTURES SHALL BE INSTALLED AS PER SUDAS SPECIFICATION SECTION 6010.
- CLEANING, INSPECTION AND TESTING OF SEWERS AND STRUCTURES SHALL BE COMPLETED BY THE CONTRACTOR AS PER SUDAS SPECIFICATIONS.
- SUBDRAINS AND AGGREGATE MATERIALS WATER QUALITY BMPs ONLY BE INSTALLED AFTER ALL OTHER CONSTRUCTION OPERATIONS IN THE SURROUNDING AREA HAVE BEEN COMPLETED. REFER TO SHEET L3.01 FOR ADDITIONAL STAGING INSTRUCTIONS.
- CONTACT CITY OF AMES PUBLIC WORKS TO COORDINATE INSPECTION DURING THE HYDRANT RELOCATION.
- CITY COUNCIL ACTION IS NEEDED TO APPROVE ANY CLOSURES OF LYNN AVENUE. CONTACT CITY OF AMES PUBLIC WORKS AT LEAST THREE WEEKS IN ADVANCE OF PLANNED CLOSURES.

UTILITY PLAN KEYNOTES

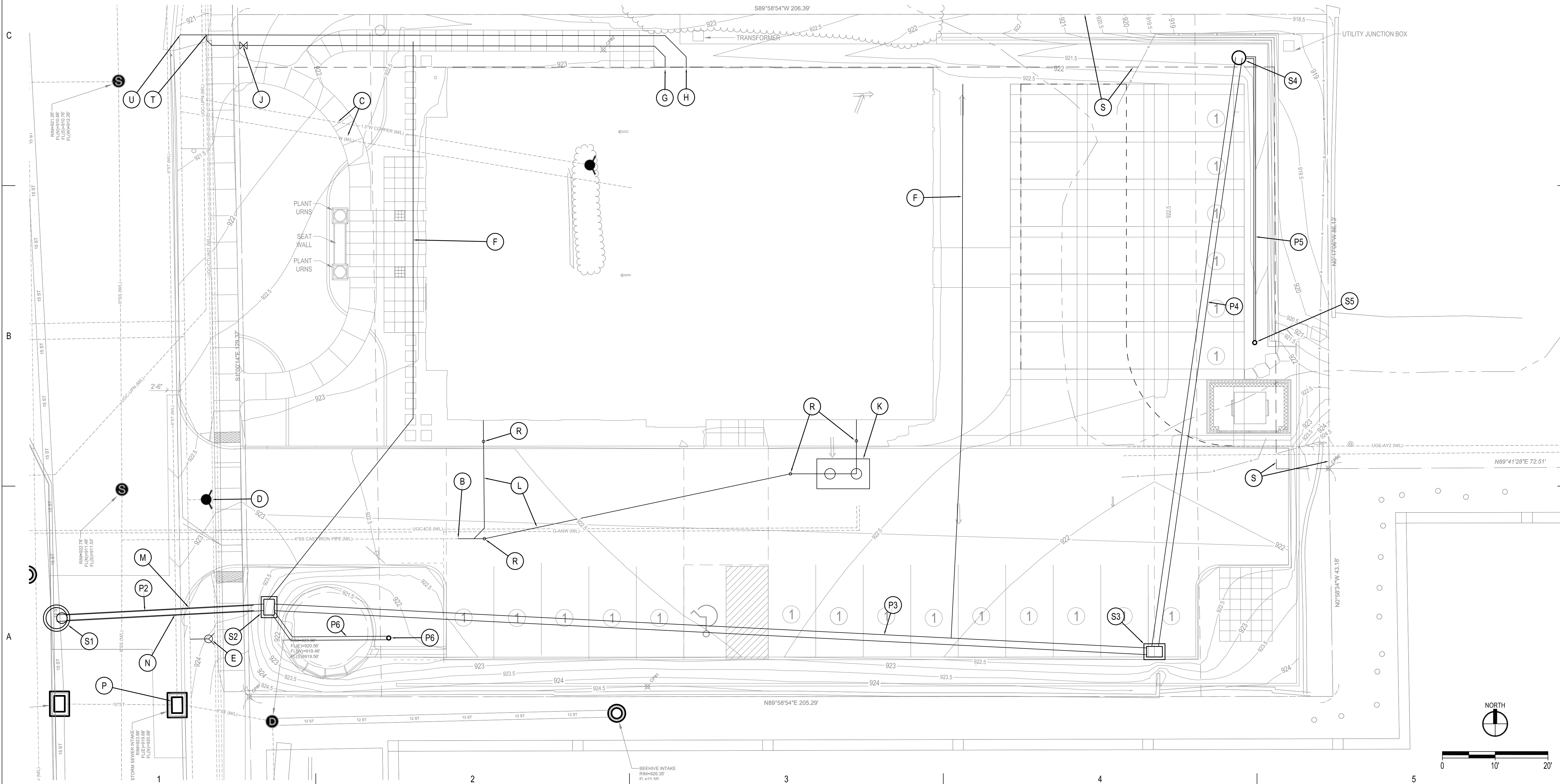
- NOTE NOT USED.
- CONNECT SANITARY SEWER SERVICE TO EXISTING SERVICE LINE. VERIFY THAT THE EXISTING SEWER SERVICE IS IN GOOD CONDITION TO, AND INCLUDING, THE CONNECTION AT THE MAIN. IF NOT IN GOOD CONDITION, A NEW SEWER SERVICE LINE AND TAP WILL NEED TO BE INSTALLED.
- REMOVE EXISTING WATER SERVICE TO EXISTING WATER MAIN.
- REMOVE EXISTING HYDRANT. REMOVE TEE FROM MAIN AND REPLACE MAIN AS NECESSARY (SEE KEYNOTE E). COORDINATE WITH CITY TO LIMIT LENGTH OF ANY WATER SERVICE DISRUPTION.
- RELOCATE HYDRANT TO THIS LOCATION. CUT IN 8"x6". REMOVE AND REPLACE 8" WATER MAIN TO PAST EXISTING HYDRANT LOCATION, OR INSTALL WITH TAPPING VALVE AND SLEEVE AND REDUCE REMOVAL AND REPLACEMENT QUANTITY OF MAIN RUNNING PARALLEL TO STREET ACCORDINGLY.
- CONNECT DOWNSPOUTS TO SUBSURFACE DETENTION SYSTEM VIA 8" PVC (NON-PERF) SUBDRAIN @ 2.00% MINIMUM GRADE.
- 2" DOMESTIC WATER SERVICE.
- 6" FIRE SPRINKLER SERVICE (WITH PIV NEAR BUILDING).
- 2" WATER SHUTOFF VALVE.
- GREASE INTERCEPTOR.
- 4" SANITARY SERVICE.
- VERIFY ELEVATION OF NEW STORM AND DEFLECT RECONSTRUCTED WATER MAIN AS NEEDED TO PROVIDE MINIMUM OF 18" VERTICAL CLEARANCE (REFER ALSO TO KEYNOTES D AND E).
- VERIFY ELEVATION OF 6" SUBDRAIN. PROTECT 6" SUBDRAIN, OR CONNECT TO NEW STORM SEWER, IF IN CONFLICT.
- REMOVE EXISTING CASTING ON INTAKE AND REPLACE WITH SUDAS SW-603 TYPE R CASTING.
- 4" SANITARY CLEANOUT.
- 10' ELECTRICAL EASEMENT.
- TAP 2" DOMESTIC WATER SERVICE INTO 6" WATER SERVICE LINE.
- TAP 6" WATER SERVICE LINE TO EXISTING WATER MAIN.

UTILITY STRUCTURE SCHEDULE

NO	TYPE	COVER	RIM	INVERT(S)	NOTES
S1	SW-401 STORM MANHOLE (48"Ø)	TYPE F	923.62	916.16(P2), 915.83(EX)	ROTATE MANHOLE POSITION TO BE LOCATED OUTSIDE OF CURB
S2	SW-511 RECTANGULAR AREA INT.	TYPE 6	922.02	918.14(P6), 916.56(P3,P2)	SET RIM 6" ABOVE LEVEL BOTTOM OF BIORETENTION CELL
S3	SW-501 SINGLE CURB INTAKE	TYPE R	921.94	917.40(P4,P3)	RIM ELEVATION LISTED IS TOP OF CURB
S4	30"Ø NYLOPLAST DRAIN BASIN	STANDARD	921.05	918.22(P5), 917.97(P4)	
S5	8" CLEANOUT	TYPE A-2	922.47	918.49(P5)	INSTALL RIM 3" ABOVE SURROUNDING GRADE
S6	8" CLEANOUT	TYPE A-2	922.25	918.27(P6)	INSTALL RIM 3" ABOVE SURROUNDING GRADE

UTILITY PIPE SCHEDULE

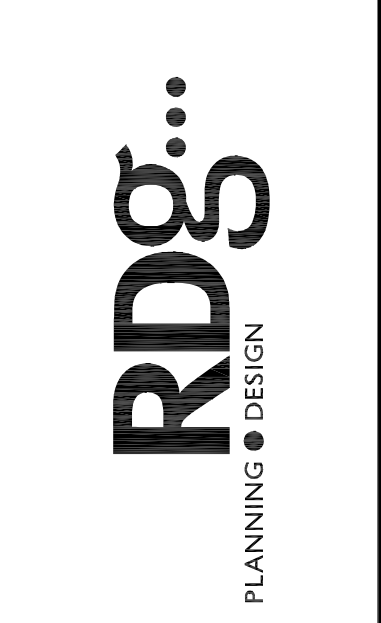
NO	SIZE	TYPE	LENGTH	SLOPE	NOTES
P2	15"	RCP	40.3 LF	1.00%	
P3	15"	RCP	168.0 LF	0.50%	
P4	15"	PVC (NON-PERF)	113.7 LF	0.50%	
P5	8"	PVC (PERF)	54.0 LF	0.50%	INSTALL SIMILAR TO SUDAS FIGURE 4040.231, CASE A TYPE 1
P6	8"	PVC (PERF)	25.8 LF	0.50%	INSTALL AS PER BIORETENTION DETAIL



JANUARY 2021

PRELIMINARY - NOT FOR CONSTRUCTION

KAPPA KAPPA GAMMA SORORITY



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CONSULTANT

120 LYNN AVENUE
AMES, IOWA 50010
ISU - Kappa Kappa Gamma

KEY PLAN

REV	DATE	DESCRIPTION
1	01/02/2021	CITY SITE RESUBMITTAL
2	02/19/2021	85% DD
3	02/26/2021	100% DD
4	03/01/2021	CITY SITE RESUBMITTAL
5	03/16/2021	CITY SITE RESUBMITTAL

ISSUED:	01/02/2021
PROJECT NO.:	3003.102.00

RDG Planning & Design
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SITE
UTILITY
PLAN

C1.01

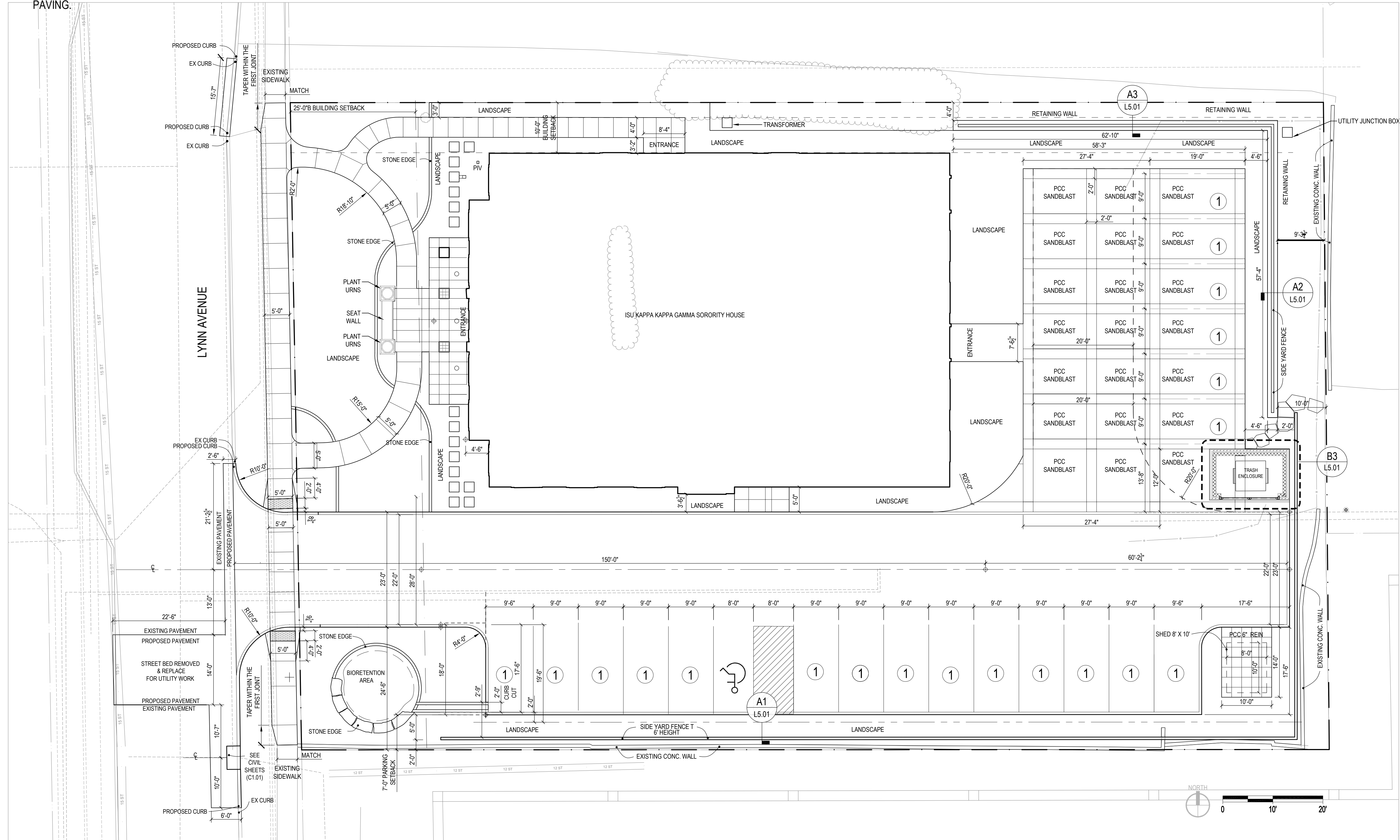
GENERAL NOTES

1. PRIOR TO ANY EXCAVATION AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER AND/OR LANDSCAPE ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY'S REPRESENTATIVES TO DETERMINE POSSIBLE UTILITY LOCATIONS AND DEPTHS. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE RESULTING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
2. A ROW PERMIT WILL BE REQUIRED FOR ANY WORK PERFORMED INCLUDING STREET/SIDEWALK CLOSURES WITHIN THE CITY ROW.
3. ADA RAMP ARE REQUIRED ON EITHER SIDE OF THE DRIVEWAY. AS-BUILT (USE CITY RAMP AS-BUILT TEMPLATE) SHALL BE SUBMITTED TO VERIFY ADA COMPLIANCE.
4. FIELD VERIFY EXISTING GRADES AND LOCATION OF EXISTING UTILITIES, CONDUIT, LINES, POLES, TREES, PAVING, ETC. AND OTHER SITE STRUCTURES PRIOR TO DEMOLITION OR CONSTRUCTION AND IMMEDIATELY INFORM CONSTRUCTION MANAGER OF ANY DISCREPANCIES.
5. ALL DIMENSIONS ARE SHOWN TO FRONT OF CURB UNLESS OTHERWISE NOTED.
6. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THESE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
7. ALL DRIVE APPROACHES, PUBLIC WALKS, AND CURB CUTS TO BE BUILT AS PER THE CURRENT EDITION OF SUDAS AND THE CURRENT AMES SUPPLEMENTAL SPECIFICATIONS TO SUDAS.
8. TRAFFIC CONTROL (IF NECESSARY) WILL BE THE CONTRACTORS RESPONSIBILITY TO COORDINATE.
9. ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS, OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC RIGHT-OF-WAY.
10. ALL ON-SITE PAVED AREAS FOR VEHICULAR TRAFFIC (DRIVES, PARKING, ETC.) SHALL BE 6" THICK NON-REINFORCED PCC PAVING. ALL SIDEWALKS SHALL BE 5" THICK NON-REINFORCED PCC PAVING. PAVEMENT REPLACEMENTS TO LYNN AVENUE AND DRIVE APPROACH BETWEEN SIDEWALK AND STREET SHALL BE 7" THICK NON-REINFORCED PCC PAVING.

TOTAL DISTURBED AND DEVELOPED IMPERVIOUS AREA

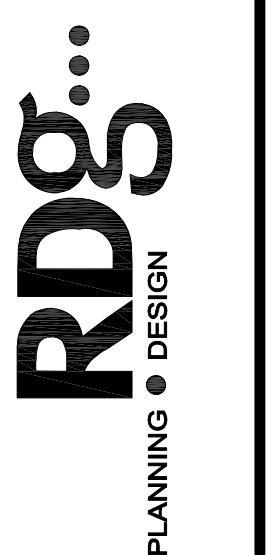
Site Condition	Open Space	Impervious	Total
Existing	0.14 acres	0.47 acres (76.8%)	0.61 acres
Proposed	0.19 acres	0.42 acres (69.4%)	0.61 acres

The property is zoned Residential High Density zone (RH) and is located within the East University Impact District (O-UIE)



DESIGN DEVELOPMENT

KAPPA KAPPA GAMMA SORORITY PRELIMINARY - NOT FOR CONSTRUCTION



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AMES, IOWA 50010

ISU - Kappa Kappa Gamma

NO.	DESCRIPTION	DATE
1	ISSUANCE	02/26/2021
2	REVISION	
3	REVISION	
4	REVISION	
5	REVISION	
6	REVISION	
7	REVISION	
8	REVISION	
9	REVISION	
10	REVISION	

DESIGN DEVELOPMENT 02/26/2021
ISSUANCE 02/26/2021
PROJECT NO. 3003.102.00

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SITE LAYOUT PLAN

L2.01

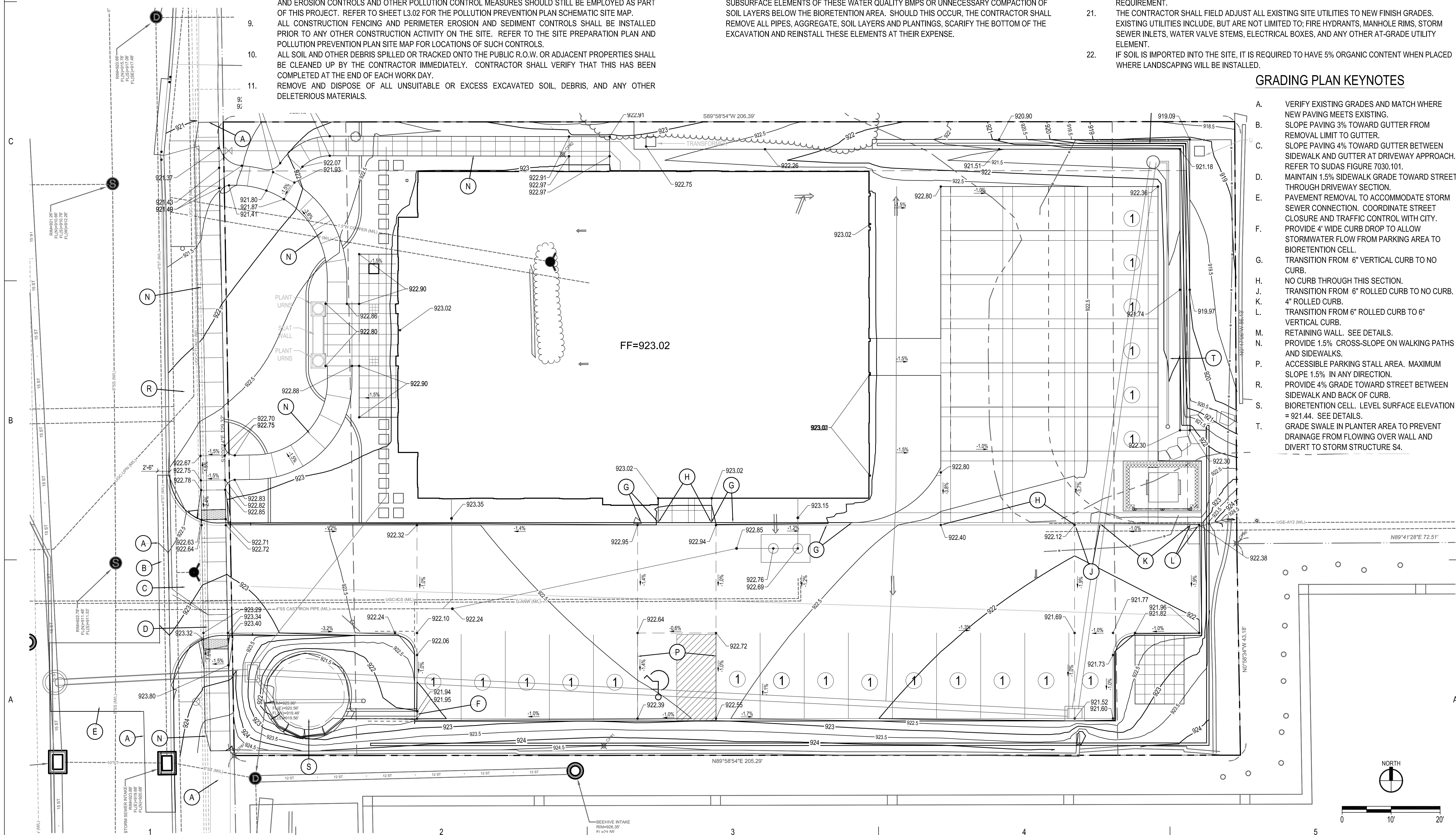
GRADING PLAN GENERAL NOTES

- ALL GRADING ACTIVITIES SHALL CONFORM TO THE CURRENT EDITION OF SECTION 2010 OF THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) SPECIFICATIONS MANUAL AS AMENDED BY THE CURRENT CITY OF AMES SUPPLEMENTAL SPECIFICATIONS.
- NO FINISHED SLOPE SHALL BE GREATER THAN 3:1 (HORIZONTAL:VERTICAL) UNLESS SPECIFICALLY NOTED AND DETAILED OTHERWISE.
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THESE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
- ALL WORK SHALL COMPLY WITH PROJECT SPECIFICATIONS; AS WELL AS OTHER CODES, ORDINANCES REGULATIONS AND RULES AS ADOPTED BY THE CITY OF AMES.
- PRIOR TO ANY EXCAVATION AT THE SITE, THE CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ARCHITECT, LANDSCAPE ARCHITECT AND/OR CIVIL ENGINEER AND CONSULT ANY UTILITY COMPANY REPRESENTATIVES TO DETERMINE POSSIBLE UTILITY RELOCATIONS.
- FOR UNDERGROUND UTILITY LOCATES CALL IOWA ONE-CALL AT 1-800-292-8989, AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY LOCATES NOT COVERED BY THE IOWA ONE-CALL SYSTEM. NO COMPENSATION FOR DAMAGES TO EXISTING UTILITIES WILL BE ALLOWED RESULTING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
- FIELD VERIFY ELEVATIONS AND LOCATIONS OF EXISTING UTILITIES, CONDUITS, POLES, TREES, PAVING, BUILDINGS, STRUCTURES AND OTHER SITE FEATURES TO REMAIN PRIOR TO GRADING OR CONSTRUCTION ACTIVITIES. IMMEDIATELY INFORM THE LANDSCAPE ARCHITECT FOR RESOLUTION OF ANY DISCREPANCIES BEFORE COMMENCING INTENDED WORK.
- THIS PROJECT IS LESS THAN ONE ACRE IN DISTURBED AREA, THEREFORE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) NARRATIVE DOCUMENT HAS NOT BEEN PREPARED FOR THIS PROJECT. SEDIMENT AND EROSION CONTROLS AND OTHER POLLUTION CONTROL MEASURES SHOULD STILL BE EMPLOYED AS PART OF THIS PROJECT. REFER TO SHEET L3.02 FOR THE POLLUTION PREVENTION PLAN SCHEMATIC SITE MAP.
- ALL CONSTRUCTION FENCING AND PERIMETER EROSION AND SEDIMENT CONTROLS SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION ACTIVITY ON THE SITE. REFER TO THE SITE PREPARATION PLAN AND POLLUTION PREVENTION PLAN SITE MAP FOR LOCATIONS OF SUCH CONTROLS.
- ALL SOIL AND OTHER DEBRIS SPILLED OR TRACKED ONTO THE PUBLIC R.O.W. OR ADJACENT PROPERTIES SHALL BE CLEANED UP BY THE CONTRACTOR IMMEDIATELY. CONTRACTOR SHALL VERIFY THAT THIS HAS BEEN COMPLETED AT THE END OF EACH WORK DAY.
- REMOVE AND DISPOSE OF ALL UNSUITABLE OR EXCESS EXCAVATED SOIL, DEBRIS, AND ANY OTHER DELETERIOUS MATERIALS.
- ALL DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY SEED AND MULCH AS NEEDED AS SOON AS POSSIBLE. WHEN LAND DISTURBING ACTIVITIES ARE EXPECTED TO CEASE ON A GIVEN PORTION OF THE SITE FOR AT LEAST 14 DAYS, REFER TO SUDAS SPECIFICATION SECTION 9040.
- WATER QUALITY BMP NOTES (BIORETENTION):
 - DELAY INSTALLATION OF WATER QUALITY BMP ELEMENTS (INCLUDING ALL SURFACE AND SUBSURFACE ELEMENTS) UNTIL AFTER ALL OTHER EXTERIOR SITE CONSTRUCTION ACTIVITIES IN THE AREA DRAINING TO THE BMP HAVE BEEN COMPLETED AND THE REMAINDER OF THE DRAINAGE IS STABILIZED WITH PAVEMENT OR PERMANENT VEGETATION.
 - PRIOR TO INSTALLATION OF THESE ELEMENTS, THESE AREAS MAY BE GRADED TO AN ELEVATION 6 INCHES ABOVE THE EXPECTED BOTTOM ELEVATION OF AGGREGATE LAYERS. THIS AREA MAY THEN BE USED AS A SEDIMENT TRAP DURING CONSTRUCTION.
 - ALL ACCUMULATED SEDIMENT SHALL BE REMOVED FROM THE TRAP PRIOR TO EXCAVATING THE REMAINING SOIL MATERIALS AS PART OF FINAL INSTALLATION OF BMP ELEMENTS.
 - DURING CONSTRUCTION OF THE WATER QUALITY BMPs, AVOID OPERATION OR PLACEMENT OF HEAVY EQUIPMENT AND MATERIAL STORAGE WITHIN THE FOOTPRINT OF THE PRACTICE, TO LIMIT THE POTENTIAL FOR COMPACTION OF THE SOIL LAYERS TO REMAIN BELOW THE AGGREGATE LAYERS.
 - IMMEDIATELY FOLLOWING INSTALLATION OF THE BIORETENTION SUBDRAIN AND AGGREGATE LAYERS, THE AGGREGATE SHOULD BE INSPECTED BY THE OWNER'S REPRESENTATIVE TO MAKE SURE IT IS FREE OF SEDIMENT OR OTHER DEBRIS. FOLLOWING THE INSPECTION, PLACE TOPSOIL MATERIALS WITHIN THE BIORETENTION CELL AND STABILIZE WITH TEMPORARY OR PERMANENT SEED AND MULCH.
 - FAILURE TO STAGE ACTIVITIES AS NOTED ABOVE MAY LEAD TO CLOGGING OF THE SURFACE OR SUBSURFACE ELEMENTS OF THESE WATER QUALITY BMPs OR UNNECESSARY COMPACTION OF SOIL LAYERS BELOW THE BIORETENTION AREA. SHOULD THIS OCCUR, THE CONTRACTOR SHALL REMOVE ALL PIPES, AGGREGATE, SOIL LAYERS AND PLANTINGS, SCARIFY THE BOTTOM OF THE EXCAVATION AND REINSTALL THESE ELEMENTS AT THEIR EXPENSE.

- PROVIDE 12" OF SUBGRADE PREPARATION UNDER ALL PAVEMENT AND SHOULDER AREAS AS PER PROJECT SPECIFICATIONS. BELOW PERMEABLE PAVER AREAS, INSTALL AGGREGATE SUBBASE MATERIAL ABOVE SUBGRADE PREPARATION AREAS, AS PER PROJECT SPECIFICATIONS.
- FOR GRADING, SUBGRADE PREPARATION AND PLACEMENT OF SUBBASE MATERIALS, FIELD QUALITY CONTROL TESTING SHALL BE PERFORMED BY THE CONTRACTOR. CONTRACTOR SHALL PROVIDE TEST RESULTS WITH THE OWNER'S REPRESENTATIVE DURING WORK TO ARRANGE FOR TESTS TO BE COMPLETED. ANY DEFICIENCIES NOTED BY THIS TESTING SHALL BE CORRECTED BY THE CONTRACTOR PRIOR TO PLACEMENT OF ANY PAVED SURFACES.
- MATCH EXISTING GRADES AT THE INTERFACE OF EXISTING SURFACES WITH NEW GRADING OR PAVING.
- TOPSOIL SHALL BE RESPREAD TO A DEPTH OF AT LEAST 8" ACROSS ALL UNPAVED SURFACES WHICH ARE DISTURBED BY GRADING ACTIVITIES EXCEPT FOR THE FOLLOWING: DO NOT SPREAD TOPSOIL ON AREAS WHERE ROCK OR REVETMENT STONE SURFACING IS PROPOSED.
- SURFACE OF ROCK OR REVETMENT MATERIALS SHALL BE PLACED, SO THAT TOP IS FLUSH WITH FINISHED GRADE SHOWN, UNLESS SPECIFICALLY NOTED OTHERWISE.
- AFTER PLACEMENT AND CONSOLIDATION, TOPSOIL SHALL BE LEVEL WITH ADJACENT PAVING AND CURB TOPS IF THE FINISH CONDITION IS TO BE SEED, AND TO MINUS ONE AND ONE HALF INCHES (1 1/2") IF THE FINISH CONDITION IS TO BE SOD.
- FINISH GRADES IN ALL LANDSCAPE AREAS ARE TO BE REVIEWED BY THE OWNER'S REPRESENTATIVE PRIOR TO ANY SEEDING, SODDING, OR PLANTING. THE CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR REVIEW FIVE (5) DAYS PRIOR TO THE DESIRED DATE OF REVIEW. NO COMPENSATION FOR RE-SEEDING, RE-SODDING, OR RE-PLANTING OF AN AREA REQUIRING REMEDIAL GRADING SHALL BE ALLOWED RESULTING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
- THE CONTRACTOR SHALL FIELD ADJUST ALL EXISTING SITE UTILITIES TO NEW FINISH GRADES. EXISTING UTILITIES INCLUDE, BUT ARE NOT LIMITED TO: FIRE HYDRANTS, MANHOLE RIMS, STORM SEWER INLETS, WATER VALVE STEMS, ELECTRICAL BOXES, AND ANY OTHER AT-GRADE UTILITY ELEMENT.
- IF SOIL IS IMPORTED INTO THE SITE, IT IS REQUIRED TO HAVE 5% ORGANIC CONTENT WHEN PLACED WHERE LANDSCAPING WILL BE INSTALLED.

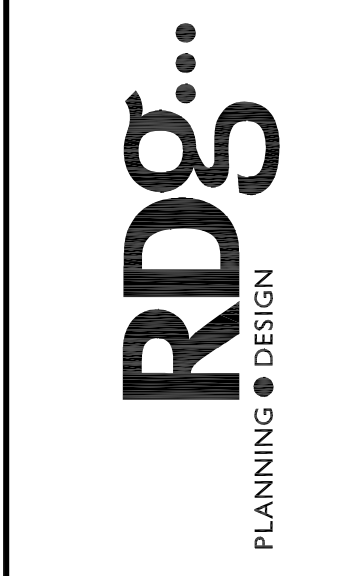
GRADING PLAN KEYNOTES

- VERIFY EXISTING GRADES AND MATCH WHERE NEW PAVING MEETS EXISTING.
- SLOPE PAVING 3% TOWARD GUTTER FROM REMOVAL LIMIT TO GUTTER.
- SLOPE PAVING 4% TOWARD GUTTER BETWEEN SIDEWALK AND GUTTER AT DRIVEWAY APPROACH. REFER TO SUDAS FIGURE 7030.101.
- MAINTAIN 1.5% SIDEWALK GRADE TOWARD STREET THROUGH DRIVEWAY SECTION.
- PAVEMENT REMOVAL TO ACCOMMODATE STORM SEWER CONNECTION. COORDINATE STREET CLOSURE AND TRAFFIC CONTROL WITH CITY.
- PROVIDE 4" WIDE CURB DROP TO ALLOW STORMWATER FLOW FROM PARKING AREA TO BIORETENTION CELL.
- TRANSITION FROM 6" VERTICAL CURB TO NO CURB.
- NO CURB THROUGH THIS SECTION.
- TRANSITION FROM 6" ROLLED CURB TO NO CURB.
- 4" ROLLED CURB.
- TRANSITION FROM 6" ROLLED CURB TO 6" VERTICAL CURB.
- RETAINING WALL. SEE DETAILS.
- PROVIDE 1.5% CROSS-SLOPE ON WALKING PATHS AND SIDEWALKS.
- ACCESSIBLE PARKING STALL AREA. MAXIMUM SLOPE 1.5% IN ANY DIRECTION.
- PROVIDE 4% GRADE TOWARD STREET BETWEEN SIDEWALK AND BACK OF CURB.
- BIORETENTION CELL. LEVEL SURFACE ELEVATION = 921.44. SEE DETAILS.
- GRADE SWALE IN PLANTER AREA TO PREVENT DRAINAGE FROM FLOWING OVER WALL AND DIVERT TO STORM STRUCTURE S4.



KAPPA KAPPA GAMMA SORORITY
 PRELIMINARY - NOT FOR CONSTRUCTION
 JANUARY 2021

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 ISU - Kappa Kappa Gamma



ARCHITECT & DESIGN
 301 Grand Avenue
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 515-281-8031

CONSULTANT
 CONSULTANT

KEY PLAN

REV	DATE	DESCRIPTION
1	01/20/2021	CITY SITE SUBMITTAL
2	10/19/2021	REV. CD
3	05/26/2021	10% CD
4	03/01/2021	CITY SITE SUBMITTAL
5	03/16/2021	CITY SITE SUBMITTAL

PROJECT NO.: 3063.102.00
 RDG Planning & Design
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SITE
 GRADING
 PLAN

L3.01

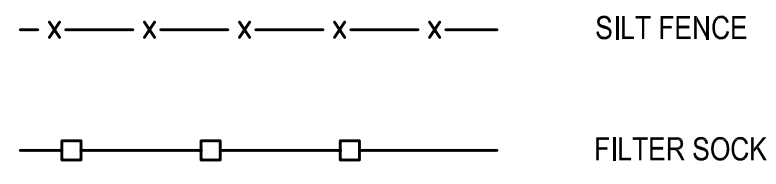
EROSION CONTROL PLAN GENERAL NOTES

- THIS PROJECT IS NOT BEING CONSTRUCTED UNDER AN AUTHORIZATION FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES FOR COVERAGE UNDER THE STATE OF IOWA'S NPDES GENERAL PERMIT NO. 2.
- ALL CONTRACTORS SHALL REVIEW AND EXECUTE POLLUTION PREVENTION MEASURES DESCRIBED ON THIS PLAN. THIS PLAN IS INTENDED TO SERVE AS A "INITIAL CONDITION POLLUTION PREVENTION PLAN". ADDITIONAL CONTROLS SHOULD BE ADDED BY THE CONTRACTOR AS SITE CONDITIONS CHANGE TO PREVENT STORM WATER CONTAMINATION OR OTHER POLLUTION FROM CONSTRUCTION RELATED SOURCES ARE CONSIDERED INCIDENTAL TO CONTRACT WORK. SUCH INCIDENTAL ITEMS RELATED TO COMPLIANCE WITH THE PERMIT MAY INCLUDE, BUT ARE NOT LIMITED TO: HAZARDOUS MATERIALS PROTECTION, FUEL CONTAINMENT, WASTE DISPOSAL AND PROVIDING EMPLOYEE SANITARY FACILITIES.
- DAILY CLEANUP OPERATIONS, TRASH COLLECTION, GOOD HOUSEKEEPING AND OTHER ITEMS NECESSARY TO PREVENT OFF-SITE TRACKING, DEBRIS BEING CARRIED OFF-SITE AND POLLUTION OF RECEIVING WATERS OR OTHER STORM WATER CONTAMINATION SHALL BE COMPLETED BY THE CONTRACTOR AND SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT WORK.
- EROSION, SEDIMENT AND OTHER POLLUTION CONTROL ITEMS SHALL BE PROVIDED, INSTALLED AND MAINTAINED AS PER SUDAS SPECIFICATION SECTION 9040.
- THIS POLLUTION PREVENTION SCHEMATIC SITE MAP SHOWS INITIAL LOCATIONS OF PROPOSED CONTROLS BASED ON FINAL PROPOSED SITE CONDITIONS. THROUGHOUT CONSTRUCTION, ADDITIONAL CONTROLS MAY BE NECESSARY BASED ON CHANGING SITE CONDITIONS.
- CONTRACTOR SHALL INSTALL A STABILIZED CONSTRUCTION ENTRANCE (SCE) AT ANY LOCATION WHERE CONSTRUCTION EQUIPMENT OR VEHICLES WILL ENTER THE DISTURBED SITE AREA FROM A PAVED SURFACE. THIS SCE WILL BE MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
 - ENTRANCE SHALL BE AT LEAST 50 FEET IN LENGTH AND 16 FEET IN WIDTH. COORDINATE ITS LOCATION WITH THE OWNER.
 - ENGINEERING FABRIC MATERIAL SHALL BE INSTALLED BELOW ALL STABILIZED CONSTRUCTION ENTRANCES.
 - EACH SCE WILL BE REMOVED AFTER SITE DISTURBING ACTIVITIES HAVE BEEN COMPLETED, IF IT IS NO LONGER PLANNED TO BE USED OR AS NEEDED TO COMPLETE FINAL PAVING OPERATIONS, AND PRIOR TO FINAL ACCEPTANCE OF THE WORK BY OWNER.

- TEMPORARY SANITARY FACILITIES SHALL BE STAKED DOWN OR OTHERWISE SECURED TO PREVENT OVERTURNING. WASTE COLLECTION AREAS SHALL BE COVERED OR SECURED IN A MANNER TO PREVENT BLOWING OF TRASH OR DEBRIS.
- PROVIDE TEMPORARY STABILIZATION OF SOIL STOCKPILE MATERIALS IMMEDIATELY, IF AREAS WITHIN STOCKPILES ARE NOT TO BE DISTURBED FOR AT LEAST 14 DAYS. PLACE PERIMETER SEDIMENT CONTROLS AROUND STOCKPILES (25-50 FEET FROM TOE OF STOCKPILE TO ALLOW FOR EQUIPMENT MOVEMENT AND SEDIMENT COLLECTION).
- PROVIDED TEMPORARY STABILIZATION FOR DISTURBED AREAS WITHIN SITE WHERE NO ADDITIONAL GRADING OR CONSTRUCTION ACTIVITIES ARE EXPECTED FOR AT LEAST 14 DAYS. REFER TO PROJECT SPECIFICATIONS FOR STABILIZATION METHODS.
- SILT FENCES AND FILTER SOCKS INSTALLED IMPROPERLY OR PLACE WITH UNBROKEN LENGTHS EXCEEDING 200' ARE NOT ALLOWED AND WILL NOT BE COMPENSATED FOR. CONTRACTOR SHALL REPLACE SUCH INSTALLATIONS AS NEEDED. INSTALL SUCH ITEMS AT PROPER LENGTHS WITH J-HOOKS OR OTHER ALIGNMENT FEATURES TO MAXIMIZE THEIR WATER AND SEDIMENT RETENTION CAPACITY.
- FILTER SOCKS SHALL BE 12" HEIGHT UNLESS NOTED OTHERWISE. PRIOR TO PROJECT COMPLETION, ACCUMULATED SEDIMENT AND SOCK EXTERIOR MATERIALS SHALL BE REMOVED FROM THE PROJECT AREA. INTERIOR COMPOST MATERIALS MAY BE SPREAD ACROSS THE SURROUNDING GRADE.
- WATTLES SHALL BE 9" HEIGHT, AND MAY REMAIN IN PLACE UNTIL FINAL STABILIZATION.
- REPAIR BREAKS AND GAPS IN SEDIMENT CONTROLS IMMEDIATELY AFTER THEY ARE OBSERVED.
- REPAIR RILLS AND GULLIES IF THEY OCCUR WITHIN THE PROJECT SITE.
- ALL DEWATERING OF TRENCHES AND EXCAVATIONS SHALL BE DIRECTED TO A COLLECTION AREA IN A NON-EROSIVE MANNER. DEWATERING ACTIVITIES ARE NOT PERMITTED TO BE DIRECTLY RELEASED OFF-SITE OR TO STORM SEWERS WITHOUT EFFECTIVE PRE-TREATMENT (I.E. DO NOT PUMP POLLUTED WATER DIRECTLY INTO THE STORM SEWER SYSTEM, STREET GUTTERS, ETC.).
- INSTALL INLET PROTECTION DEVICES UPON INSTALLATION OF STORM SEWER SYSTEM. MAINTAIN THESE DEVICES THROUGHOUT CONSTRUCTION. REMOVE ACCUMULATED SEDIMENT AND DEBRIS AS NECESSARY. REMOVE THE DEVICES AND ANY REMAINING SEDIMENT AND DEBRIS PRIOR TO FINAL ACCEPTANCE OF THE PROJECT BY OWNER.

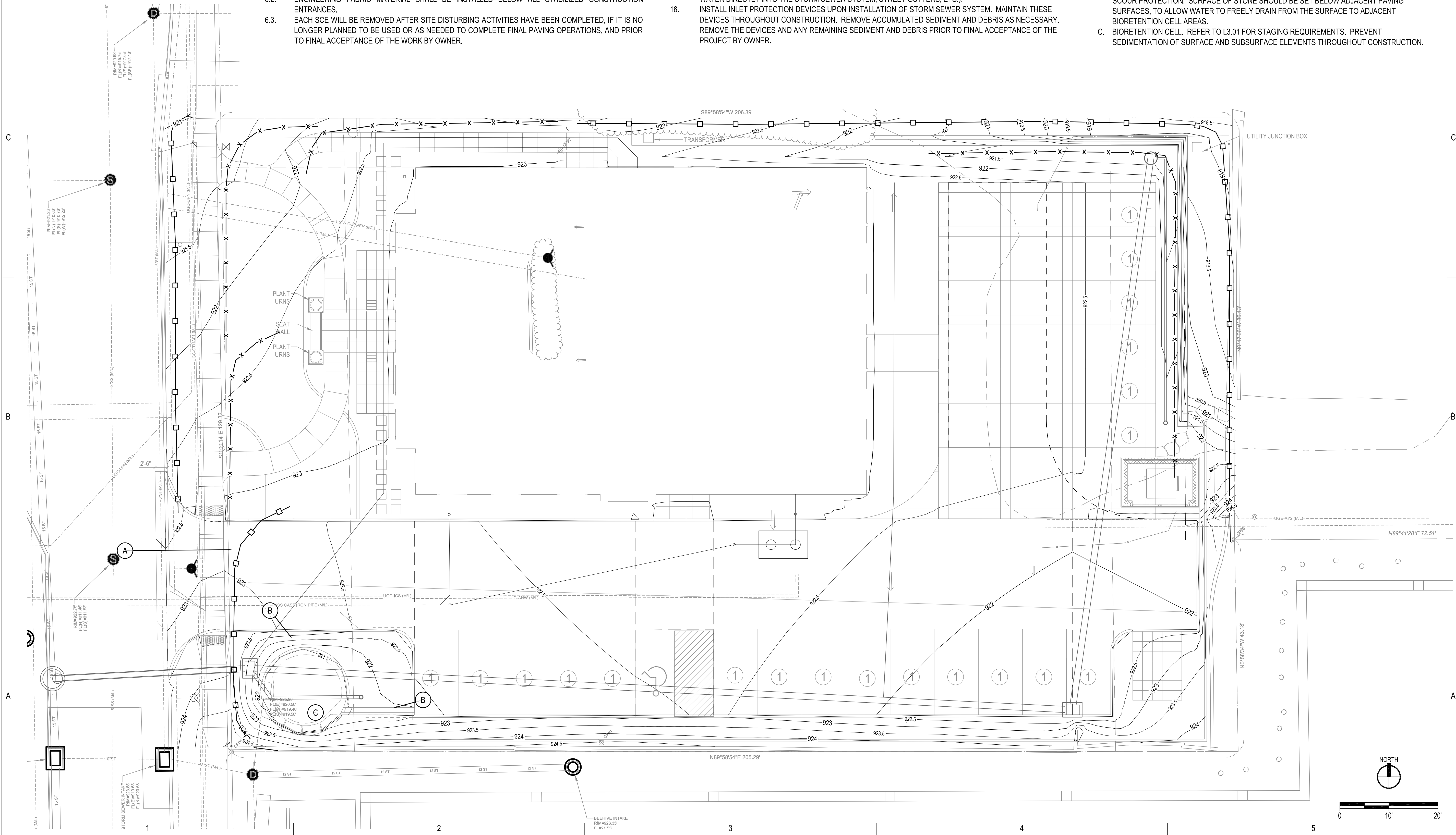
- REFER TO THE GRADING PLAN (SHEET L3.01) FOR STAGING REQUIREMENTS FOR WATER QUALITY BMPs, TO PREVENT THEM FROM BEING IMPACTED BY UNNECESSARY COMPACTION, SEDIMENTATION OR OTHER IMPACTS FROM SITE CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL INSTALL, MAINTAIN AND REMOVE A CONCRETE WASHOUT AREA THROUGHOUT THE DURATION OF PAVING ACTIVITIES AND OTHER CONCRETE WORK. USE CONCRETE WASHOUT SYSTEMS™ (CWS RAMPLESS BOX) OR EQUAL APPROVED BY ARCHITECT. INCLUDE ALL LABOR, EQUIPMENT AND MATERIALS TO COMPLETE, MAINTAIN AND REMOVE ALONG WITH COLLECTED CONCRETE WASTE UPON COMPLETION OF CONSTRUCTION. INCLUDE PROPER DISPOSAL OF COLLECTED MATERIALS.

LEGEND



EROSION CONTROL PLAN KEYED NOTES

- STABILIZED CONSTRUCTION ENTRANCE (POSSIBLE LOCATION).
- INSTALL EROSION STONE AT CURB DROPS, 4'(WIDE) X 4' (LONG) X 2' (DEEP) AT OUTLET FOR SCOUR PROTECTION. SURFACE OF STONE SHOULD BE SET BELOW ADJACENT PAVING SURFACES, TO ALLOW WATER TO FREELY DRAIN FROM THE SURFACE TO ADJACENT BIORETENTION CELL AREAS.
- BIORETENTION CELL. REFER TO L3.01 FOR STAGING REQUIREMENTS. PREVENT SEDIMENTATION OF SURFACE AND SUBSURFACE ELEMENTS THROUGHOUT CONSTRUCTION.



JANUARY 2021

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KEY PLAN

1	01/02/2021	CITY SITE RESUBMITTAL
2	02/19/2021	85% CD
3	02/09/2021	100% CD
4	03/01/2021	CITY SITE RESUBMITTAL
5	03/19/2021	CITY SITE RESUBMITTAL

REV	DATE	DESCRIPTION
ISSUED	01/02/2021	
PROJECT NO.	3003.102.00	

RDG Planning & Design
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ALWAYS BE REFERENCED TO THE ORIGINAL CONSTRUCTION DOCUMENTS.

POLLUTION
PREVENTION
PLAN

L3.02

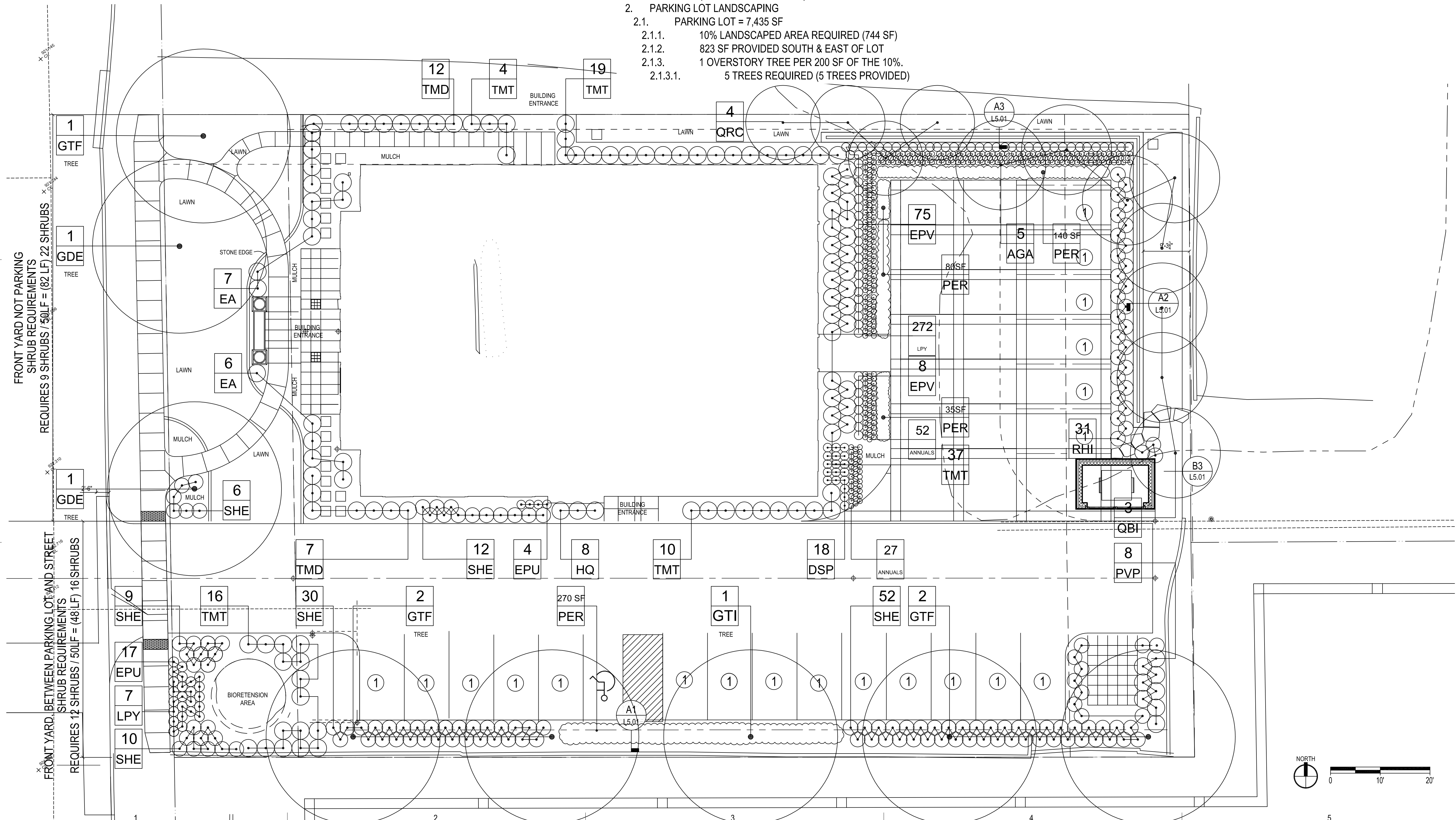
SITE PLANTING PLAN NOTES

1. Finish grades in all landscape areas are to be reviewed by the Landscape Architect prior to any seeding, sodding, or planting. The Contractor shall submit a written request for review five (5) days prior to the desired date of review. No compensation for re-seeding, re-sodding, or re-planting of an area requiring remedial grading shall be allowed resulting from failure to comply with this requirement.
2. The Contractor shall preserve areas of existing vegetation, including grass, that occur within the Contract Limits but are not needed for construction. Repair all of these existing areas to their original condition which are disturbed during construction at no cost to the Owner.
3. Prior to planting, verify that soil adjacent to pavements and curbs are at the correct elevation to assure a level transition from the pavement to the mulched beds. No compensation for removal and replacement of installed plants and mulch, due to unacceptable transition from one surface to the other (i.e. plant bed too high or too low), will be allowed resulting from failure to comply with this requirement.
4. Quantities shown in the Plant Schedule are for information only. The Drawing shall prevail if a conflict occurs.
5. Notify the Landscape Architect in writing five (5) days prior to the anticipated date of review of the plant location staking. Review to be requested prior to excavation of the planting pits.
6. Plant labels and tags shall be left on the plant material until after the initial inspection by the Landscape Architect.
7. The Landscape Contractor shall be responsible for all trees to be straight and vertical at the time of the final inspection scheduled at the end of the one year warranty period. Should the Contractor choose to stake or guy the trees, staking and guying shall be placed per the Contract Documents and the Contractor is responsible for removing and off-site disposal of all stakes, wires, cables, and anchors immediately before the one year warranty inspection.
8. IF SOIL IS IMPORTED INTO THE SITE, IT IS REQUIRED TO HAVE 5% ORGANIC CONTENT WHEN PLACED WHERE LANDSCAPING WILL BE INSTALLED.

SITE PLANTING CALCULATIONS

1. FRONT YARD
 - 1.1. 1 OVERSTORY TREE PER 50 LF OF STREET FRONTAGE.
 - 1.1.1. 50% OF THESE OVERSTORY TREES MAY BE SUBSTITUTED WITH ORNAMENTAL OR CONIFEROUS TREES AT A 2:1 RATIO.
 - 1.1.2. 130 LF OF STREET FRONTAGE = 3 REQUIRED OVERSTORY TREES. (3 TREES PROVIDED)
 - 1.2. FRONT YARD BETWEEN PARKING LOT REQUIRES 12 SHRUBS PER 50 LF OF STREET FRONTAGE ASSOCIATED W/ PARKING LOT
 - 1.2.1. 3:1 RATIO TO REPLACE SHRUBS W/ ORNAMENTAL GRASSES UP TO 75% OF SHRUBS.
 - 1.2.1. 25 LF OF STREET FRONTAGE W/ PARKING LOT = 12 REQUIRED SHRUBS (16 SHRUBS PROVIDED)
 - 1.3. FRONT YARD NOT AT PARKING LOT REQUIRES 9 SHRUBS PER 50 LF OF STREET FRONTAGE.
 - 1.3.1. 82 LF OF STREET FRONTAGE = 18 REQUIRED SHRUBS (22 SHRUBS PROVIDED)
2. PARKING LOT LANDSCAPING
 - 2.1. PARKING LOT = 7,435 SF
 - 2.1.1. 10% LANDSCAPED AREA REQUIRED (744 SF)
 - 2.1.2. 823 SF PROVIDED SOUTH & EAST OF LOT
 - 2.1.3. 1 OVERSTORY TREE PER 200 SF OF THE 10%.
 - 2.1.3.1. 5 TREES REQUIRED (5 TREES PROVIDED)

PLANTING SCHEDULE							
QTY	KEY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	MATURE HEIGHT	COND.	REMARKS
DECIDUOUS TREES							
5	AGA	AMERLANCHIER X GRANDIFLORA 'AUTUMN BRILLANCE'	AUTUMN BRILLANCE SERVICEBERRY	2 1/2" CAL.	25' - 30'	B&B	MULTI-STEMMED
6	GTF	GLEDTISIA TRIACANTHOS FORM INERMIS	THORNLESS HONEYLOCUST	2 1/2" CAL.	40' - 70'	B&B	
2	GDE	GYMNOCLADUS DIOICA 'ESPRESSO'	ESPRESSO KENTUCKY COFFEE TREE	2 1/2" CAL.	60' - 80'	B&B	
0	LT	LIRODIODENDRON TULIPIFERA	TULIPTREE	2 1/2" CAL.	60' - 80'	B&B	
3	QBI	QUERCUS BICOLOR	COLUMNAR SWAMP WHITE OAK	2 1/2" CAL.	30' - 40'	B&B	
4	QRC	QUERCUS RUBRA	COLUMNAR RED OAK	2 1/2" CAL.	30' - 40'	B&B	
DECIDUOUS SHRUBS							
8	HQ	HYDRANGEA QUERCIFOLIA	OAK LEAF HYDRANGEA		3' - 5'		
13	EA	EUONYMUS ALATUS	EUONYMUS ALATUS	#5	4' - 6'	CONT.	
0	VCA	VIBURNUM CARLESII	KOREAN SPICE VIBURNUM	#5	4' - 6'	CONT.	
0	VDC	VIBURNUM DENTATUM 'CHRISTOM'	BLUE MUFFIN ARROWWOOD VIBURNUM	#5	3' - 5'	CONT.	
EVERGREEN SHRUBS							
23	TMD	TAXUS X MEDIA 'DENSIFORMIS'	DENSIFORMIS YEW	#5	3' - 6'	CONT.	
63	TMT	TAXUS X MEDIA 'TAUNTONII'	TAUNTON YEW	#5	4' - 5'	CONT.	
GARDEN PERENNIAL PLANTING							
7	DSP	DICENTRA SPECTABILIS	OLD-FASHIONED BLEEDING HEART	#1		CONT.	1'-6" O.C. SPACING
21	EPV	ECHINACEA PURPUREA	PURPLE CONEFLOWER	#1		CONT.	1'-6" O.C. SPACING
22	EPV	ECHINACEA PURPUREA 'VRGIN'	WHITE CONEFLOWER	#1		CONT.	1'-6" O.C. SPACING
7	LPY	LIATRIS PYCNOSTACHYA	PRAIRIE BLAZINGSTAR	#1		CONT.	1'-6" O.C. SPACING
8	PVP	PANICUM VIRGATUM 'PRAIRIE SKY'	PRAIRIE SKY SWITCH GRASS	24" HIGH		CONT.	1'-6" O.C. SPACING
TBD	RHI	RUDBECKIA HIRTATA	BLACK-EYED SUSAN	#1		CONT.	1'-6" O.C. SPACING
120	SHE	SPOROBIOLIS HETEROLEPIS	PRAIRIE DROPSIDE	24" HIGH		CONT.	1'-6" O.C. SPACING
487 SF	PER	PERNYNKL	VWCA-MINOR	FLATS		CONT.	1'-2" O.C. SPACING



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ISU - Kappa Kappa Gamma

KEY PLAN

ISSUANCE DATE: 3/20/21

PROJECT NO: 3003.102.00

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SITE PLANTING PLAN

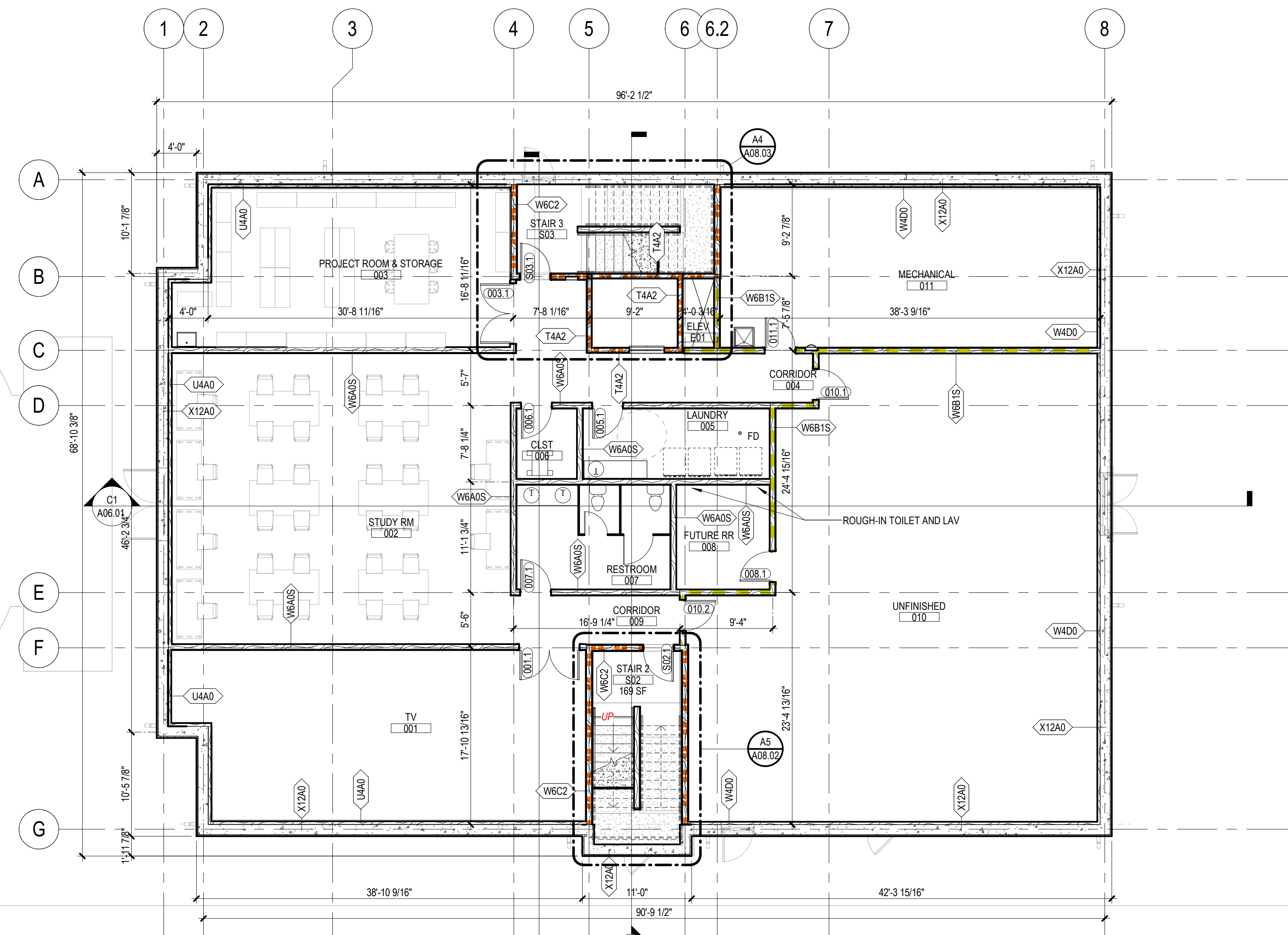
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ARCHITECTURAL GENERAL NOTES

KEYED FLOOR PLAN NOTES

1. GENERAL
 - 1.1 CONTRACTOR SHALL VERIFY CONDITIONS AND DIMENSIONS PRIOR TO MATERIAL FABRICATION AND CONSTRUCTION.
 - 1.2 WHEN DRAWINGS AND SPECIFICATIONS ARE NOT IN AGREEMENT, THE BIDDER SHALL REQUEST WRITTEN CLARIFICATION PRIOR TO BIDDING AND CONSTRUCTION. IF NOT CLARIFIED PRIOR TO BIDDING, THE FOLLOWING PRECEDENCE SHALL BE USED TO DETERMINE SCOPE OF THE BID: SIZE QUANTITY CONTROLLED BY DRAWINGS, MATERIAL QUALITY CONTROLLED BY SPECIFICATION. FINAL INTERPRETATION MUST BE ISSUED BY THE ARCHITECT/ENGINEER PRIOR TO MATERIAL FABRICATION OR CONSTRUCTION.
2. FLOORS
 - 2.1 PLACE VAPOR RETARDERS DIRECTLY BELOW ALL CONCRETE INTERIOR SLABS-ON-GRADE UNLESS A WATERPROOFING MEMBRANE IS INDICATED.
 - 2.2 SEE DRAWING A11.01 FOR TYPICAL FLOOR TRANSITION CONDITIONS.
 - 2.3 ALL SIDEWALKS AND STOODS SHALL SLOPE 1/2" FOOT MINIMUM AWAY FROM BUILDING.
 - 2.4 PROVIDE RAISED CONCRETE EQUIPMENT PADS FOR MECHANICAL AND ELECTRICAL EQUIPMENT. COORDINATE EXACT PAD SIZE AND LOCATION BASED ON EQUIPMENT PROVIDED. PADS SHALL EXTEND 4" MINIMUM BEYOND EACH SIDE OF THE EQUIPMENT BASE OR AS OTHERWISE INDICATED. SEE AQ DRAWINGS FOR EQUIPMENT PADS REQUIRED FOR THE POOL AND SPA.
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A3 BASEMENT FLOOR PLAN
 1/8" = 1'-0" (A11 A06.01)

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KEY PLAN

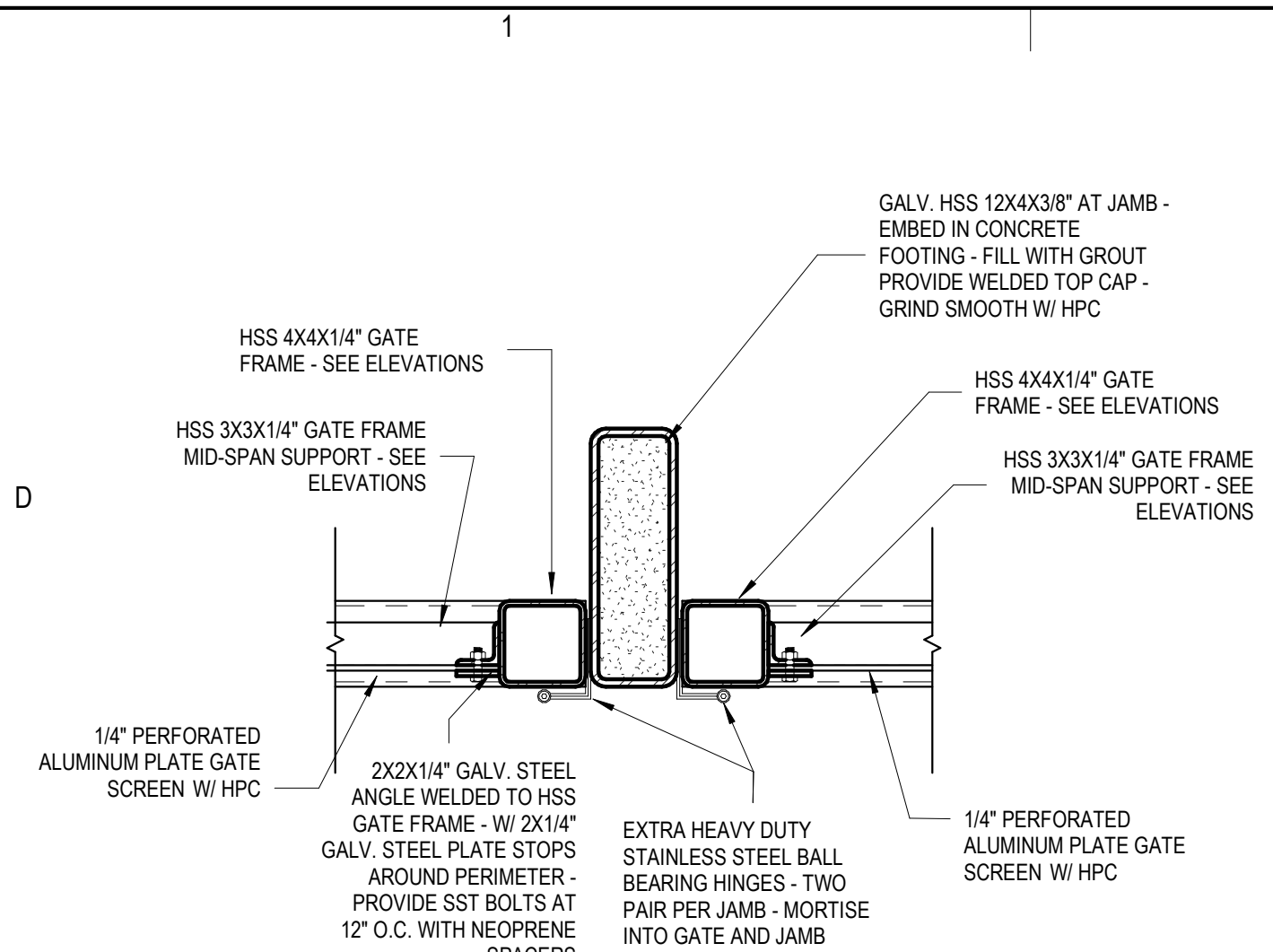
ISSUANCE	DATE
DESIGN DEVELOPMENT	02/26/2021
ISSUANCE	DATE
PROJECT NO.	3003.102.00
PROJECT	RDG Planning & Design

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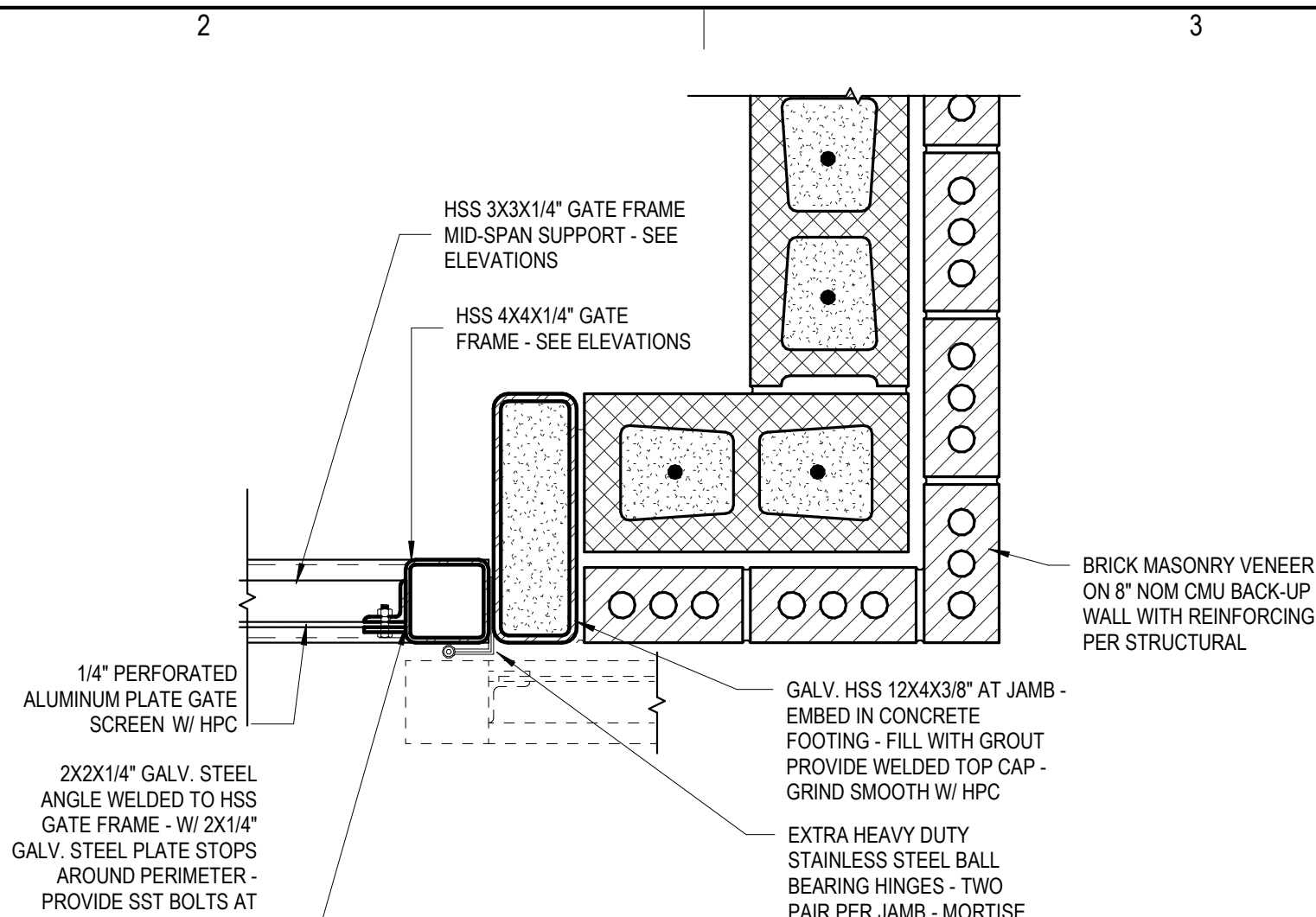
FLOOR PLAN BASEMENT

A01.01

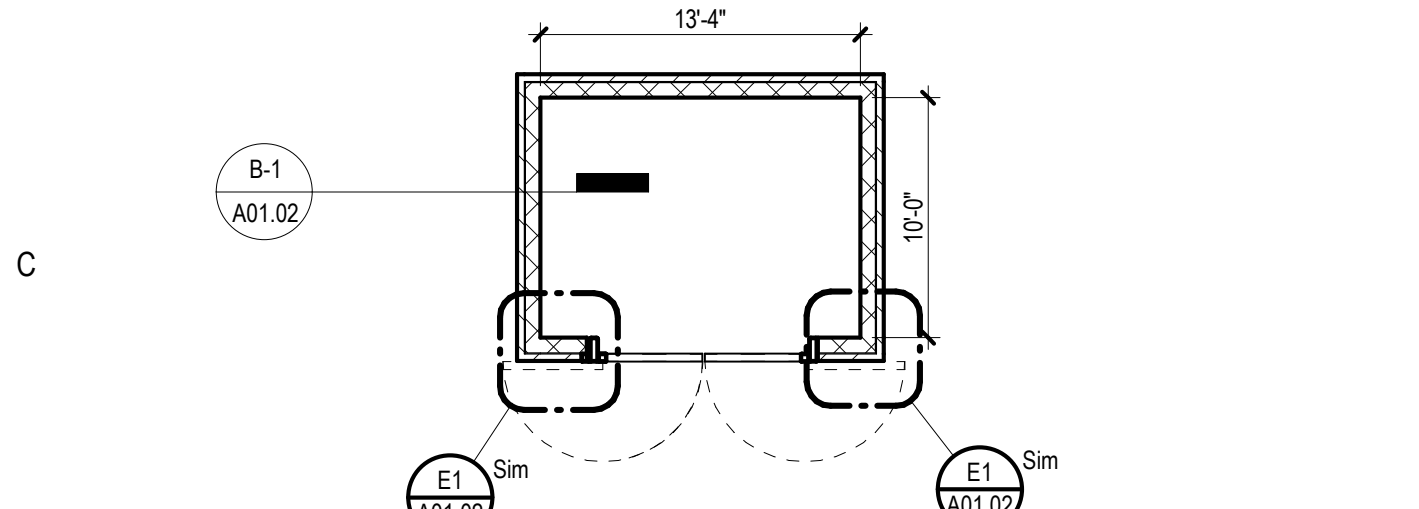
ISU - Kappa Kappa Gamma



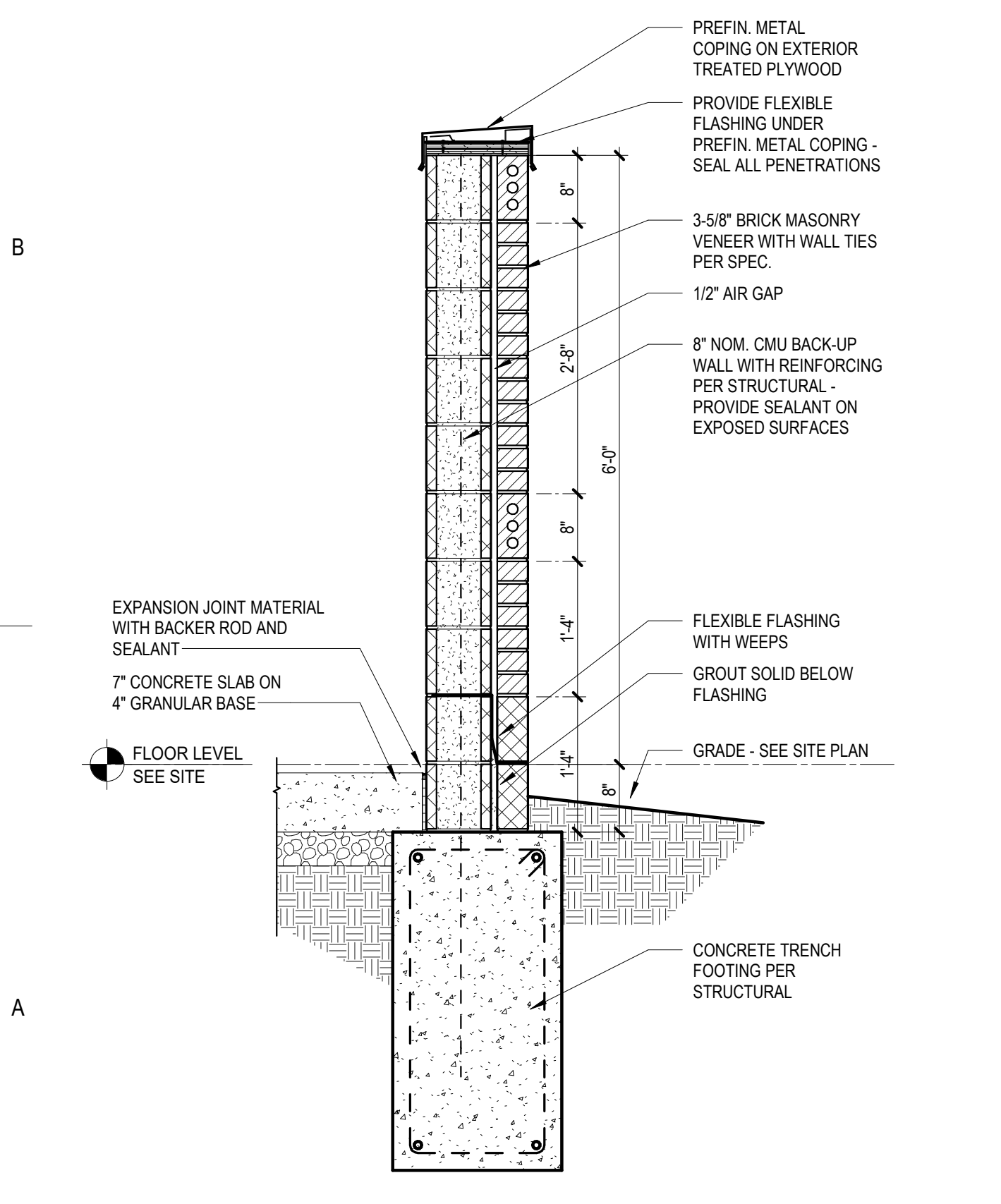
E-1 PLAN - ENCLOSURE GATE JAMB DETAIL - MID
1/12" = 1'-0"



E1 PLAN - ENCLOSURE GATE JAMB DETAIL
1/12" = 1'-0" (D-1) A01.02



D-1 TRASH ENCLOSURE PLAN
1/8" = 1'-0" (A1) A05.01

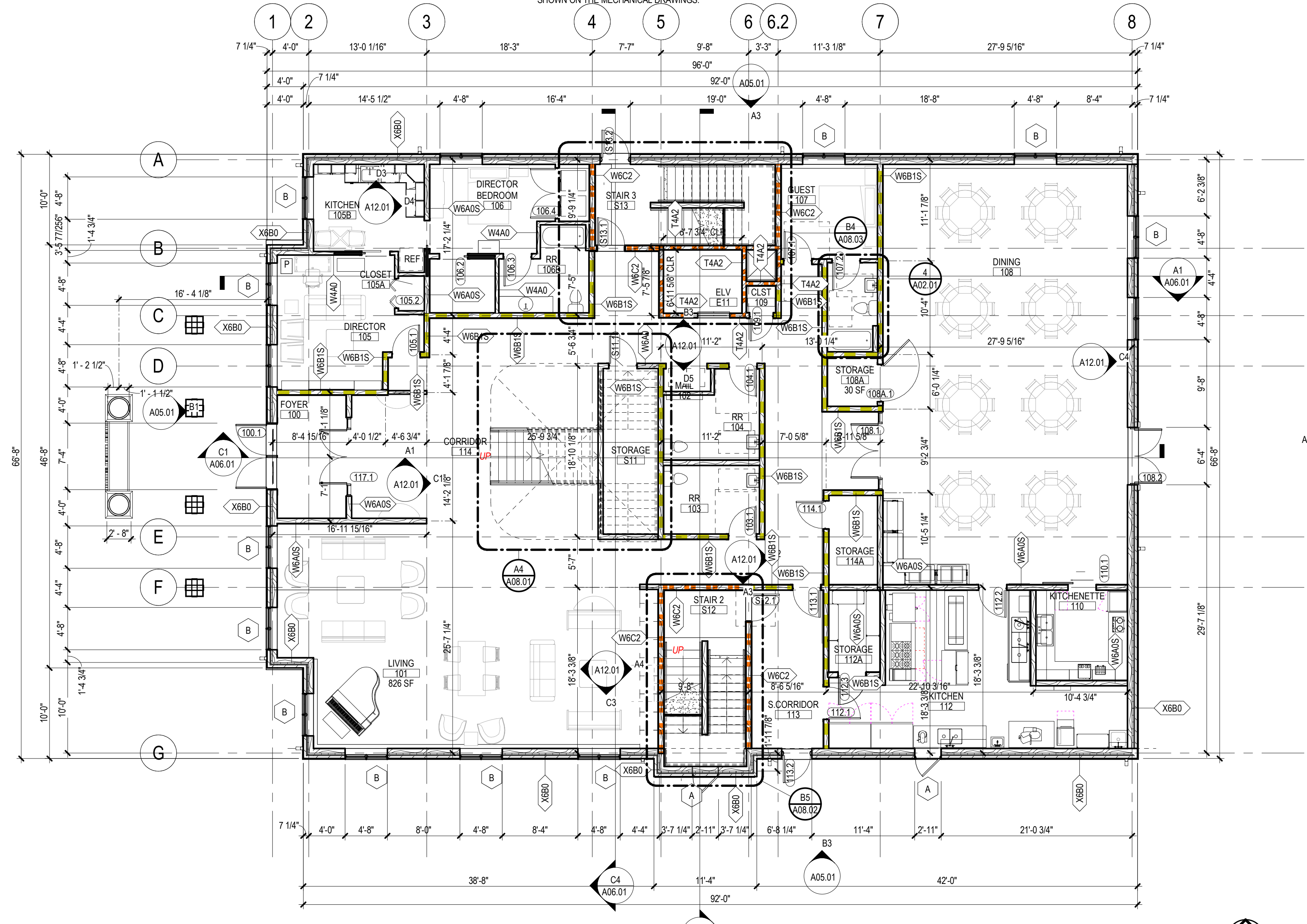


B-1 WALL SECTION - DUMPSTER ENCLOSURE - IL
3/4" = 1'-0" (D-1) A01.02

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KEYED FLOOR PLAN NOTES



B2 FLOOR PLAN - LEVEL 1
1/8" = 1'-0" (A1) A05.01

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AMES, IOWA 50010**

KEY PLAN

DESIGN DEVELOPMENT	02/26/2021
ISSUANCE	DATE
PROJECT NO.	3003.102.00
DATE	02/26/21

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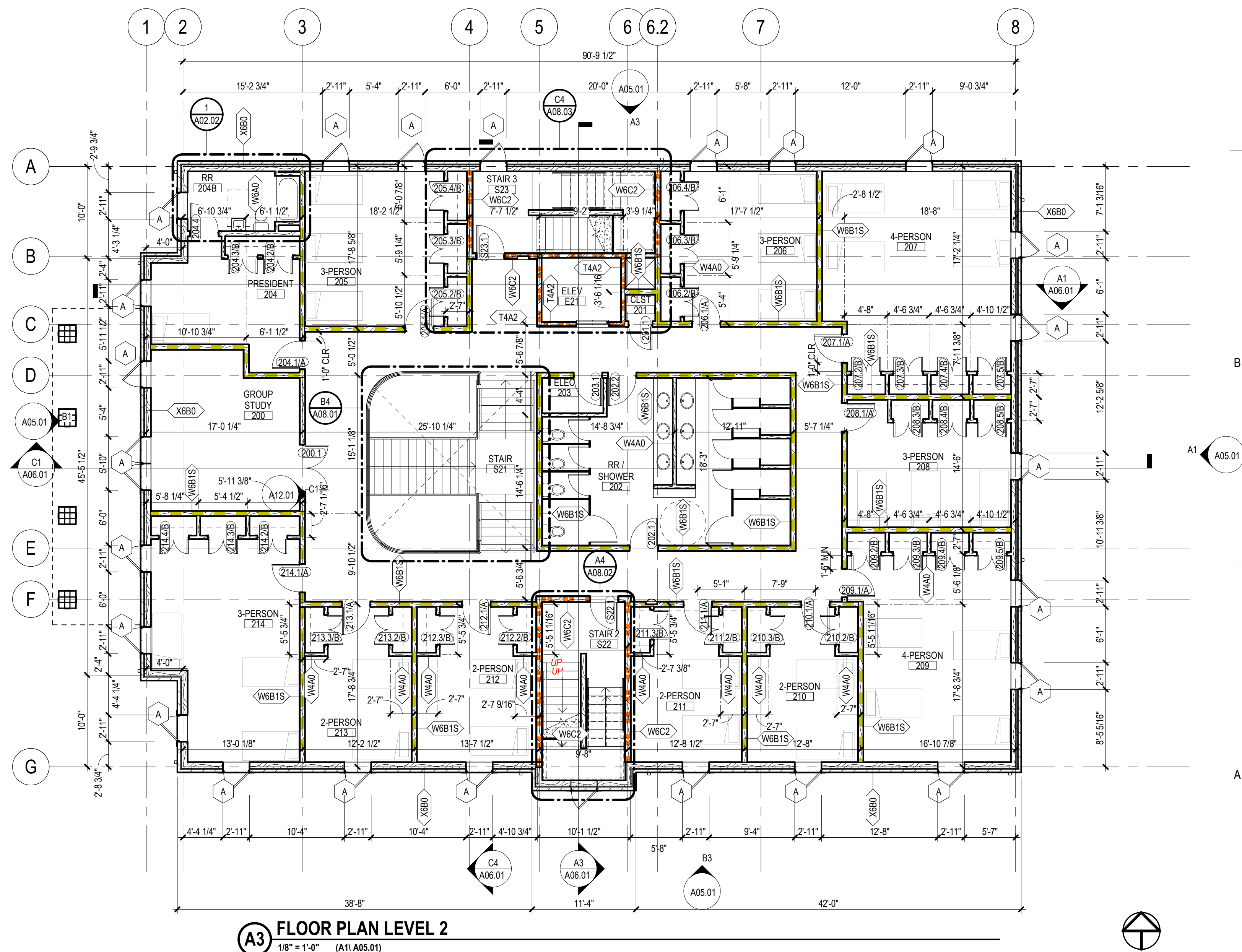
FLOOR PLAN LEVEL 1

A01.02

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 - 3.2 WATERPROOFING SHALL BE PLACED AT ALL WALLS WITH GRADE ELEVATION CHANGES ON OPPOSITE SIDES INCLUDING BASEMENTS, TUNNELS, ELEVATOR SHAFTS AND SIMILAR PITS.
 - 3.3 ALL PARTITIONS ARE FULL HEIGHT UNLESS INDICATED OTHERWISE ON CEILING PLANS OR STRUCTURAL PLANS. SEE SHEET A13.01 FOR TOP OF PARTITION DETAILS.
4. DETAILS
 - 4.1 ALL VISUAL DISPLAY BOARDS (CHBD, MKRB, TKBD) ARE 4" HIGH WITH TOP AT +7'-0" AFF UNLESS NOTED OTHERWISE. CONFIRM VIA SHOP DRAWINGS.
 - 4.2 EXTERIOR LOUVERS ARE BY THE GC. SIZES IF NOT SHOWN ON ARCHITECTURAL SHALL BE SHOWN ON THE MECHANICAL DRAWINGS.



A3 FLOOR PLAN LEVEL 2
 1/8" = 1'-0" (A11 A05.01)

KAPPA KAPPA GAMMA SORORITY PRELIMINARY - NOT FOR CONSTRUCTION

DESIGN DEVELOPMENT

**120 LYNN AVENUE
 AMES, IOWA 50010**

ISU - Kappa Kappa Gamma

KEY PLAN

DESIGN DEVELOPMENT	02/26/2021
ISSUANCE	DATE
PROJECT NO.	3003.102.00
DATE	2/26/21

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**FLOOR PLAN
 LEVEL 2**

A01.03

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Structural
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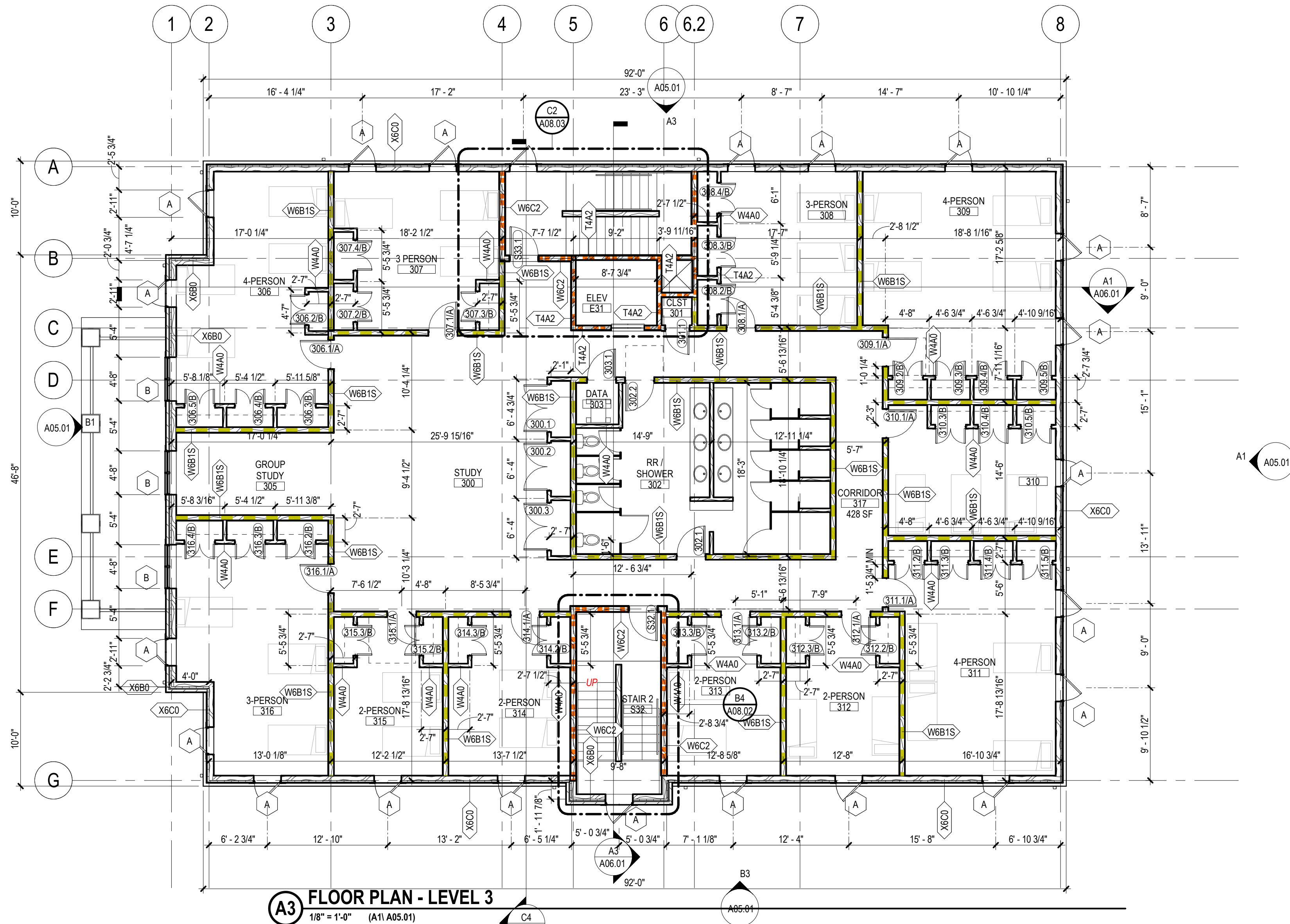
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 Ames, IA 50010
 Phone: (515) 288-3141

Lighting / Elec
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 Ames, IA 50010
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ARCHITECTURAL GENERAL NOTES

KEYED FLOOR PLAN NOTES

1. GENERAL
 - 1.1 CONTRACTOR SHALL VERIFY CONDITIONS AND DIMENSIONS PRIOR TO MATERIAL FABRICATION AND CONSTRUCTION.
 - 1.2 WHEN DRAWINGS AND SPECIFICATIONS ARE NOT IN AGREEMENT, THE BIDDER SHALL REQUEST WRITTEN CLARIFICATION PRIOR TO BIDDING AND CONSTRUCTION. IF NOT CLARIFIED PRIOR TO BIDDING, THE FOLLOWING PRECEDENCE SHALL BE USED TO DETERMINE SCOPE OF THE BID: SIZE QUANTITY CONTROLLED BY DRAWINGS, MATERIAL QUALITY CONTROLLED BY SPECIFICATION. FINAL INTERPRETATION MUST BE ISSUED BY THE ARCHITECT/ENGINEER PRIOR TO MATERIAL FABRICATION OR CONSTRUCTION.
2. FLOORS
 - 2.1 PLACE VAPOR RETARDERS DIRECTLY BELOW ALL CONCRETE INTERIOR SLABS-ON-GRADE UNLESS A WATERPROOFING MEMBRANE IS INDICATED.
 - 2.2 SEE DRAWING A11.01 FOR TYPICAL FLOOR TRANSITION CONDITIONS.
 - 2.3 ALL SIDEWALKS AND STOOPS SHALL SLOPE 1/2"FOOT MINIMUM AWAY FROM BUILDING.
 - 2.4 PROVIDE RAISED CONCRETE EQUIPMENT PADS FOR MECHANICAL AND ELECTRICAL EQUIPMENT. COORDINATE EXACT PAD SIZE AND LOCATION BASED ON EQUIPMENT PROVIDED. PADS SHALL EXTEND 4" MINIMUM BEYOND EACH SIDE OF THE EQUIPMENT BASE OR AS OTHERWISE INDICATED. SEE AQ DRAWINGS FOR EQUIPMENT PADS REQUIRED FOR THE POOL AND SPA.
 - 2.5 SLOPE CONCRETE FLOOR SLABS TO DRAINS. DRAINS SHALL BE SET 1/2" BELOW TYPICAL ROOM FLOOR FINISH ELEVATION WITH FLOORS UNIFORMLY SLOPING TO DRAIN UNLESS NOTED OTHERWISE. SET DRAINS FLUSH WITH FLOOR FINISH.
3. WALLS/PARTITIONS
 - 3.1 IF USED, WALL TYPES ARE SHOWN ON SHEET A1.00, SEE SHEET FOR ADDITIONAL WALL GENERAL NOTES.
 - 3.2 WATERPROOFING SHALL BE PLACED AT ALL WALLS WITH GRADE ELEVATION CHANGES ON OPPOSITE SIDES INCLUDING BASEMENTS, TUNNELS, ELEVATOR SHAFTS AND SIMILAR PITS.
 - 3.3 ALL PARTITIONS ARE FULL HEIGHT UNLESS INDICATED OTHERWISE ON CEILING PLANS OR STRUCTURAL PLANS. SEE SHEET A13.01 FOR TOP OF PARTITION DETAILS.
4. DETAILS
 - 4.1 ALL VISUAL DISPLAY BOARDS (CHBD, MKRB, TKBD) ARE 4" HIGH WITH TOP AT +7'-0" AFF UNLESS NOTED OTHERWISE. CONFIRM VIA SHOP DRAWINGS.
 - 4.2 EXTERIOR LOUVERS ARE BY THE GC. SIZES IF NOT SHOWN ON ARCHITECTURAL SHALL BE SHOWN ON THE MECHANICAL DRAWINGS.



A3 FLOOR PLAN - LEVEL 3
 1/8" = 1'-0" (A1) A05.01

DESIGN DEVELOPMENT

KAPPA KAPPA GAMMA SORORITY PRELIMINARY - NOT FOR CONSTRUCTION

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120 LYNN AVENUE
 AMES, IOWA 50010

KEY PLAN

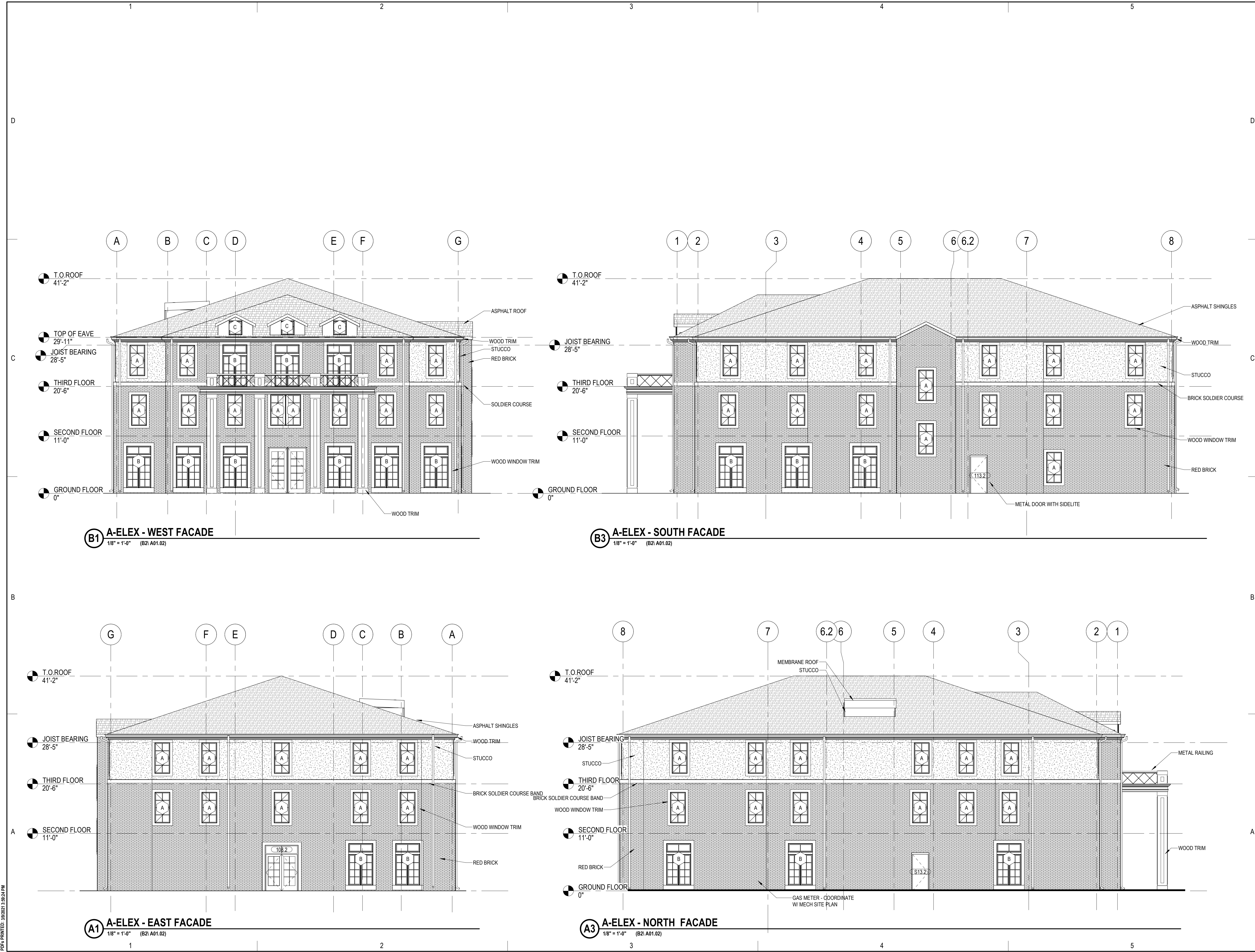
ISU - Kappa Kappa Gamma

ISSUANCE	DATE
DESIGN DEVELOPMENT	02/26/2021
PROJECT NO.	3003.102.00

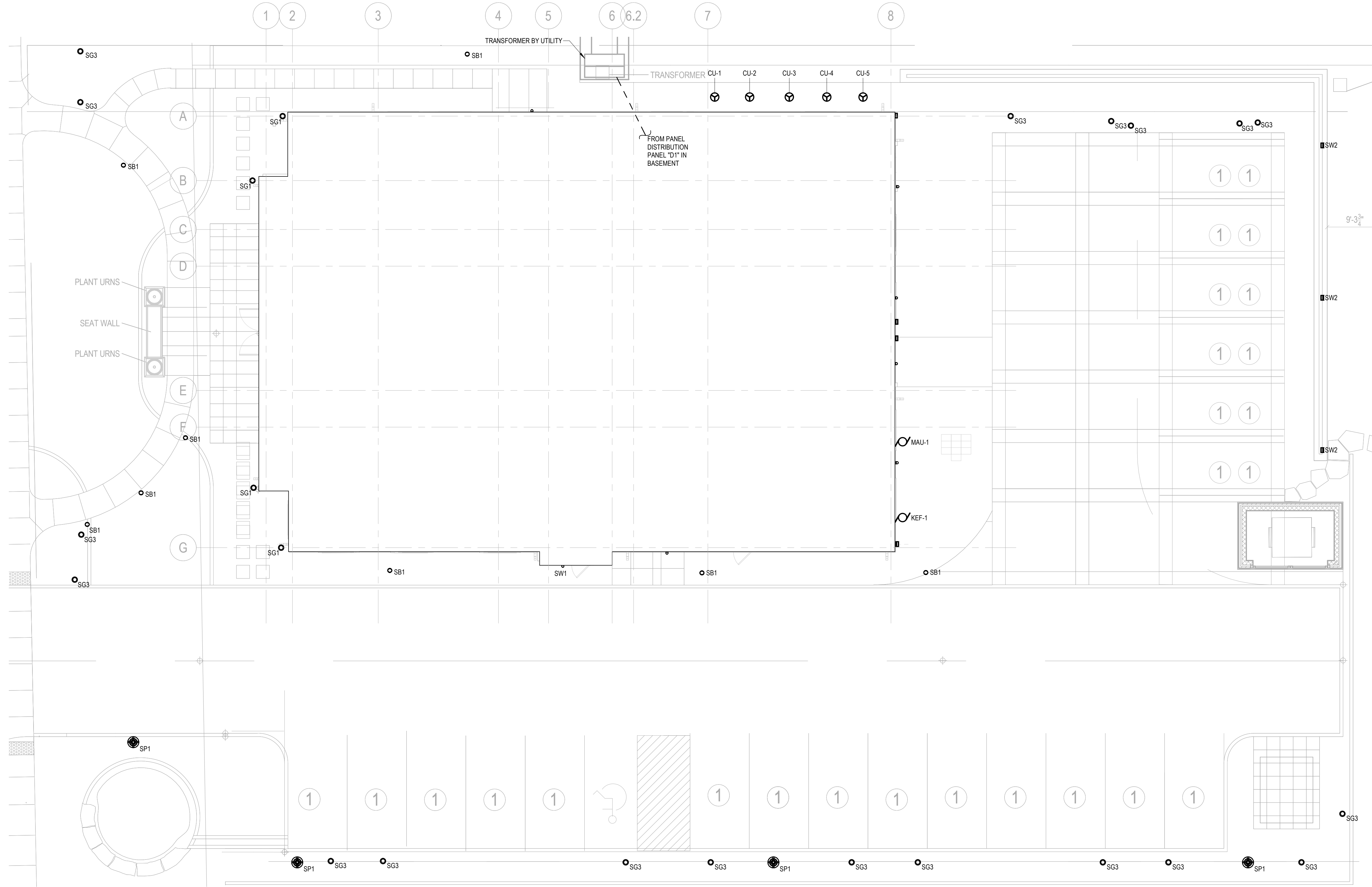
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FLOOR PLAN
LEVEL 3

A01.04



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1 SITE LIGHTING PLAN
 1/8" = 1'-0"

DESIGN DEVELOPMENT

PRELIMINARY - NOT FOR CONSTRUCTION

KAPPA KAPPA GAMMA SORORITY

**120 LYNN AVENUE
 AMES, IA 50010**

ISU - KAPPA KAPPA GAMMA

KEY PLAN

ISSUANCE	DATE
DESIGN DEVELOPMENT	02-26-2021
ISSUANCE	
PROJECT NO.	R3003.102.00
PROJECT	RDG Planning & Design

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SITE ELECTRICAL & LIGHTING PLAN

ES1.01

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 Phone: (515) 292-2500

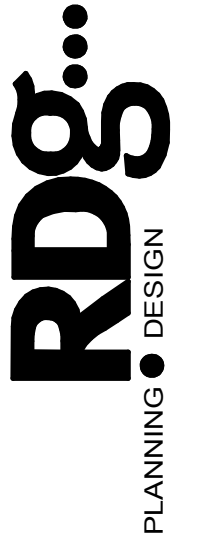
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PLANNING DESIGN

ISSUANCE 1.15.2021
PROJECT NO. R3003.102.00

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SITE LIGHTING
PHOTOMETRICS

ES2.01

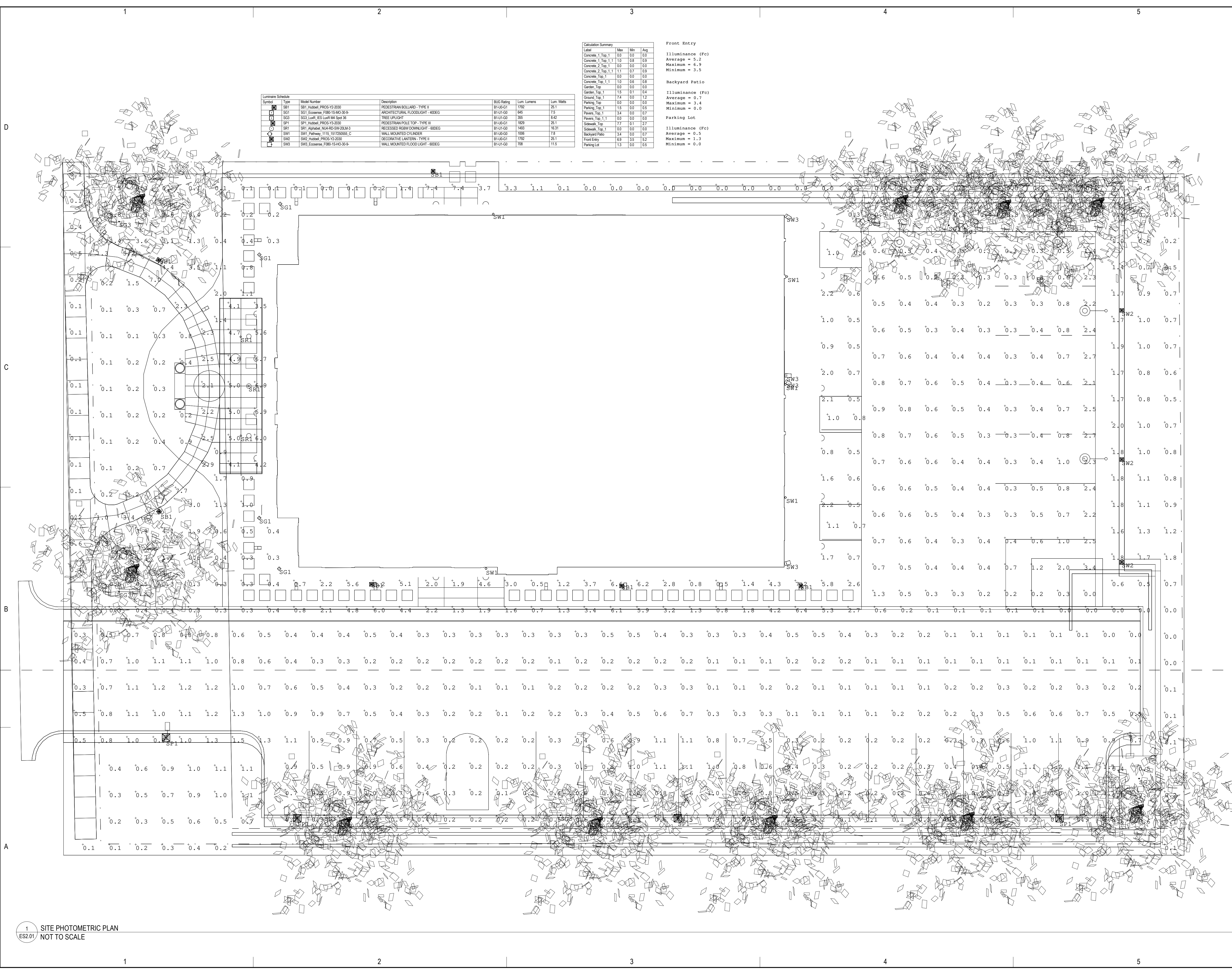
Symbol	Type	Model Number	Description	BSG Rating	Lum. Lumens	Lum. Watts
SB1	SB1	SB1_Nubox_PKCS-Y2-2020	PEDESTRIAN BOLLARD - TYPE I	81-UG-01	1762	25.1
SG1	SG1	SG1_Ecozone_F980-15-40-30-9	ARCHITECTURAL FLOODLIGHT - 400GG	81-UT-00	645	7.5
SG3	SG3	SG3_LuxR_IES1_LuxR_Wall_Mnt_36"	TREE UPLIGHT	81-UT-00	305	8.42
SP1	SP1	SP1_Nubox_PKCS-Y2-2020	PEDESTRIAN POLE TOP - TYPE II	81-UG-01	1829	25.1
SR1	SR1	SR1_AlphaNet_NAR-RD-SW-20LM-3	RECESSED RGBW DOWNLIGHT - 600GG	81-UT-00	1400	93.3
SW1	SW1	SW1_Pathway_1115_1517202055_C	WALL MOUNTED CYLINDER	81-UG-00	1008	7.8
SW2	SW2	SW2_Nubox_PKCS-Y2-2020	SECURITY LANTERN - TYPE II	81-UG-01	1762	25.1
SW3	SW3	SW3_Ecozone_F980-15-40-30-9	WALL MOUNTED FLOOD LIGHT - 600GG	81-UT-00	708	11.5

Location	Min	Max	Avg
Concrete_1_Top_1	0.0	0.0	0.0
Concrete_1_Top_1.1	1.0	0.8	0.9
Concrete_2_Top_1	0.0	0.0	0.0
Concrete_2_Top_1.1	1.1	0.7	0.9
Concrete_Top_1	0.0	0.0	0.0
Concrete_Top_1.1	1.0	0.8	0.9
Garden_Top	0.0	0.0	0.0
Garden_Top_1	1.3	0.1	0.4
Ground_Top_1	7.4	0.0	1.4
Parking_Top	0.0	0.0	0.0
Parking_Top_1	1.5	0.0	0.3
Pavem_Top_1	1.4	0.0	0.3
Pavem_Top_1.1	0.0	0.0	0.0
Sidewalk_Top	7.7	0.1	2.7
Sidewalk_Top_1	0.0	0.0	0.0
Backyard_Patio	3.4	0.0	0.7
Front_Entry	8.8	0.0	3.2
Paving_Lot	1.3	0.0	0.6

Front Entry
Illuminance (Fc)
Average = 3.2
Maximum = 6.9
Minimum = 3.5

Backyard Patio
Illuminance (Fc)
Average = 0.7
Maximum = 3.4
Minimum = 0.0

Parking Lot
Illuminance (Fc)
Average = 0.5
Maximum = 1.3
Minimum = 0.0



SHEET SIZE: 24" x 36"
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1 SITE PHOTOMETRIC PLAN
ES2.01 NOT TO SCALE