

**COUNCIL ACTION FORM**

**REQUEST:** INTEGRATED SITE PLAN SUBDIVISION PRELIMINARY PLAT AND MAJOR SITE DEVELOPMENT PLAN FOR 1404, 1405, AND 1410 BUCKEYE AVENUE WITHIN THE SOUTHWOOD SUBDIVISION (FORMER KMART SITE)

**BACKGROUND:**

OnPoint Development, LLC, requests approval of an Integrated Site Plan Subdivision, which includes concurrent Preliminary Plat and Major Site Development Plan approval. The request is for the proposed redevelopment of 1405 Buckeye Avenue (former Kmart site) and development of vacant land at 1404 and 1410 Buckeye Avenue (Attachment A – Location Map). The subject site totals 14.02 gross acres with the combination of existing properties.

**The proposed development includes retrofitting the existing Kmart building site (1405 Buckeye) into five tenants and constructing three new commercial buildings for multiple tenants.** 1404 and 1410 Buckeye are currently vacant lots that will be developed with a commercial building on each lot and a shared parking lot. The existing former Kmart building is approximately 120,424 square feet. The proposed total development is 237,374 square feet with 145,787 square feet of commercial use and 91,587 square feet of climate controlled self-storage within two stories. There is a net increase of approximately 66,000 square feet of commercial development square footage when accounting for use of part of the site as industrial for mini-storage. The proposed subdivision includes nine lots. The combined site will have access from S 16th Street and Buckeye Avenue. There will be no direct access from S Duff Avenue.

**The Integrated Site Plan allows for subdivision of a site into individual lots, but to consider the area within the subdivision as a single site for purposes of evaluating access, circulation, maintenance, and compliance with certain zoning development standards (setbacks, landscaping, parking, etc.) that would otherwise be applicable to individual lots.** Approval of an Integrated Site Plan allows for more flexible application of most development standards through the approval of the Major Site Development Plan, although the overall site must meet all minimum standards for quantities and percentages. The concurrent review of a Major Site Development Plan and Preliminary Plat is required as part of the Integrated Site Plan approval process.

The site was part of a larger commercial subdivision, Southwood Subdivision originally platted in the 1980s. The site was approved for development as Planned Commercial and included the current theater and Jethro's sites as well. These sites are still subject to a shared parking and reciprocal operating agreements. The land that abuts the site to the north, south and east is all commercially developed and zoned Highway Oriented Commercial, HOC. The site also abuts the Aspen Ridge townhouse development to the west which is a single-family attached development zoned Floating Planned Residence

District (F-PRD).

The proposed preliminary plat includes subdividing the former Kmart site (1405 Buckeye Avenue) into seven developable lots, including placing lots lines through buildings. The proposed layout was created by the applicant in order to meet the Floor Area Ratio requirements of the Zoning Ordinance and provide desired signage allowances for each planned tenant space. Two lots will remain at 1404 and 1410 Buckeye site. **All lots within the proposed plat will benefit from shared access and parking for the future commercial uses.** The proposed lots all have frontage on a public street.

The unusual lot configuration does include a flat lot (Lot #2), due to the narrowness of the lot from the lot frontage to the area of the building. One flag lot is allowed per subdivision per the Zoning Ordinance standards for lots. The applicant desires to keep the current shared use path along S 16th Street within an easement that exists on the property rather than dedicate it as additional right-of-way. The shared use path and easement were part of the original subdivision approval and would be typically placed within right-of-way rather than an easement under current requirements. However, dedication is not necessarily required due to the prior subdivision approval and existing improvements. If additional dedication is required along S. 16<sup>th</sup> Street, it would affect the location of the front yard and require additional building setback along 16<sup>th</sup> Street for the new buildings.

A traffic study was reviewed by the City of Ames for the proposed development. The study consider buildout under current conditions and in future conditions. All driveways and intersections abutting the site were determined to operate acceptably with the exception of left turns from Buckeye Avenue onto S 16th Street. Widening Buckeye Avenue to accommodate an additional lane on Buckeye would partially mitigate this issue; however, there is not a recommended improvement by the City's traffic engineer due to the likelihood of a median on S 16<sup>th</sup> Street that would result in restricting future left turns.

The proposed Major Site Development Plan accounts for all building configurations, uses, and features of the site layout. The plan will also include large pylon signs along S16th Street and S Duff Avenue. **The developer has designed the site with options for a variety of tenant choices. Proposed uses include a limited area of climate controlled mini-storage or wholesale trade, general office, retail trade and services, and restaurants. A table summarizing the square footage of uses for each lot is included within the addendum.** Staff has proposed a condition outlining the categories of allowed uses consistent with the zoning categories and uses described by the applicant. This condition is intended to clarify the uses proposed with the plan are the range of allowed use. The condition would limit other uses that would normally be permitted in HOC that are not identified at this time and require modification to the approved plan to allow them.

The proposed use of Interior Climate Controlled Mini-storage facility will require approval of a Special Use Permit by the Zoning Board of Adjustment. This use will have to comply with certain building design requirements as part of the special use permit. The developer estimates the proposal will be a two-story facility with a maximum of 800

units. The interior space of the existing Kmart building is large enough for two stories of storage without altering the height of the existing building. For purposes of site plan approval, Staff has reviewed this portion of the Kmart building as either mini-storage or as an allowable display store retail use.

The proposed building plans label a range of uses that are intended to be flexible for tenancing and may result in some changes to façade designs and mix of uses as the plans are finalized for individual tenants. For example, Building “D” indicates a drive-thru use will be located on this lot. However, the building elevations do not indicate where a menu board or service window would be placed. Staff has included a condition regarding the design of the drive through to manage potential queuing issues with this site and its potential use.

**The applicant’s plans include 587 parking spaces to serve the combined development. This amount exceeds the amount of required parking by 15 stalls based upon the applicant’s proposed mix of uses, if the Special Use Permit for the mini-storage facility is approved.** Staff estimates the proposed mix of retail and restaurant uses without the storage use would require at least 653 stalls with the mini-storage area calculated as parking for allowed display store/wholesale trade uses at a 1/500 parking stall/square feet. **In the event the Special Use Permit is not approved, the use mix or the amount of total square footage would need to be adjusted to reduce required parking by approximately 66 spaces.** This issue is noted on the plans and staff has included a condition regarding the required parking spaces and limits uses.

The proposed parking includes retention of existing parking areas and the construction of new parking spaces along with new building construction. The current parking lot is nonconforming for its current level of landscaping. Current standards would require substantial changes to add landscape medians and islands that would substantially reduce parking compared to the current built condition. Approximately 114 trees would be required for the entire parking area, where 50 trees are proposed to meet current standards. However, these areas are not required to come up to full compliance with the new in areas that are not being rebuilt as it is viewed as not practicable at this time due to the retention of the existing Kmart building and the parking area in front of the building. The proposed plan does include improvements for distribution of accessible parking spaces and some enhanced landscape planter areas. The newly developed areas meet current landscape planting requirements for percentage area and quantity of trees, but do not include medians due to existing conditions. The proposed configuration is approvable as a Major Site Development Plan component for parking lot design.

The Integrated Site Plan allows for calculation of landscaping requirements across the entire site rather than by individual lots. The developer proposes approval of a landscape plan that meets the overall 15% landscaped area percentage requirement by utilizing area acquired from the property to the north and with improvements to the site. Additionally, the site requires front yard landscaping along all street frontages with a mix of trees, grasses, and shrubs to create visual interest and screening. A High Screen is required along the west property to screen the commercial uses from the adjacent residentially zoned property. There is an existing screen that meets the screening

requirements of Section 29.403(3)(F) that consists of a berm, shrubs and trees the length of the property line. The developer is proposing to keep the existing landscaping and maintain the screen along the west and southwest edge of the site.

The developer proposes alternative configurations from what is required by Code along S 16<sup>th</sup> Street for tree planting due to planting constraints for placing front yard landscaping due to the existing shared use path on the site. The shared use path encroaches ten feet into the typical 20-foot front yard setback area, thereby limiting the use of some overstory tree types. Overstory trees are unable to meet the required planting distance (15 feet) from a building and three feet from paving as a result. The front yard landscaping along S 16<sup>th</sup> Street does provide the required number of trees, but proposes a combination of overstory and ornamental trees that does not meet the allowed substitution criteria outlined in the landscaping code that would require additional plantings. The alternative landscaping plan tree planting layout can be approved along S 16<sup>th</sup> Street as meeting the intent of the standards for a variety of tree types and adequate space for the maturity of trees, despite the limitations of the front yard space.

Typical building elevations are included (Attachment D – Building Elevations). Parapets are being added to the front façade of the existing Kmart store. The proposed height of the parapets ranges from 9 – 19 feet taller than the existing building, for a maximum height of approximately 43 feet. The size of parapets and their total height are larger than most commercial retail uses. The architectural design elements of the planned mini-storage use within the former Kmart building will be reviewed as part of the Special Use Permit to ensure it meets specific design requirements.

**Five new buildings are also proposed with this development. The proposed layout has the backs of all five buildings facing public streets, S Duff Avenue, S 16<sup>th</sup> Street, Buckeye Avenue.** The buildings are setback a minimum of 20 feet. The proposed buildings include minor architectural transitions along both the fronts and the rear facades. The rear facades could include multiple exit doors to meet building code exiting requirements. Building B located along Buckeye has more building modulation than the other buildings due to varying tenant sizes and planned loading areas. Building materials will consist of brick or stone veneer on the base of buildings and the full height of pillars. EIFS will be the main façade treatment along with glazing treatments. Minor changes to the design could occur with individual tenants, but they will be consistent with the overall design approach.

The proposed project relies upon front yard landscape standards to soften the building appearance overall rather than building design elements. This approach is different than the design treatment of the office buildings that located in the area, but similar to other retail buildings. The building façade designs along S16th Street could include additional architectural features to enhance their appearance and create more individual identity and modulation while still meeting the interests of the developer for total square footage on the site. **City Council would need to add a condition to address architectural detailing and massing of the new buildings along S 16<sup>th</sup> Street if it determines the proposed plans are not in keeping with the surrounding development area along Buckeye and S. Duff.**

Additional information regarding the Integrated Site Plan request is included in the addendum.

**Planning and Zoning Commission:** At its meeting on October 3, 2018, the Ames Planning and Zoning Commission reviewed the proposed Integrated Site Plan as a public hearing. Staff described the range of uses and configuration of the site, including comments on building design, shared site improvements, and parking. There were questions from an adjacent property owner regarding lighting for the storage facility. Staff explained that the site will have to comply with the outdoor lighting code and the lighting would be reviewed further through the Special Use Permit process. Commissioners questioned the amount of required parking and what relief was possible in order to prevent unused parking lot area. Through the Integrated Site Plan process all of the parking must be provided as required by each use, but the parking can be shared and located throughout the site. However, there is no direct reduction in required parking rates without a variance.

The Commission voted 5-0 to recommend approval of the Integrated Site Plan with conditions of approval for finalizing landscaping, storm water and utility design, limits on uses, and information regarding lighting. The applicant has since addressed landscaping, access, utility, Fire Dept., and storm water design requirements. The remaining issues are included with the Alternative described below.

#### **ALTERNATIVES:**

1. The City Council can approve the following requests:
  - A. Approval of the Major Site Development Plan, subject to the following conditions:
    - i. Allowed uses permitted on the site are retail trade and services, general office, restaurants, wholesale trade, or mini-storage uses (subject to approval of Special Use Permit) as indicated on the Site Development Plan. Any other use is subject to approval of a major amendment to the Site Development Plan.
    - ii. The allowed amount of tenant restaurant square footage or total retail space will be reduced, or a combination of both, to match the amount of parking provided within the site, as indicated in the note included on the site plan (Sheet C3.00)
    - iii. Include a note on the plan that states during construction and operation of the site, retain the existing high screen along the west side of the property.
    - iv. Recording of easements for public utilities as noted on the site plan prior to occupancy of buildings.
    - v. Include a note on the plan to modify the design of Building D for a drive through use to only have a pick-up window on the east side of the building and the location of menu board located along the south side of the site to create optimal queuing capacity within Lot 5. The revisions are subject to Planning Director approval.
    - vi. Prior to installation of exterior lighting, submit a final lighting plan for a determination by the Planning Director of compliance with the Outdoor Lighting Code of Zoning Ordinance.

- vii. Provide roof top mechanical equipment screening and collectively locate equipment and related screening when feasible, final design and location to be approved by the Planning Director.
  - viii. Prior to construction of any new buildings, the Final Plat for the Integrated Site Plan must be approved by the City.
  - ix. Additional design details and landscape requirements regarding a climate controlled mini-storage facility may be approved as minor amendments by the Zoning Board of Adjustment for the Special Use Permit.
- B. Approval of the Preliminary Plat for The Fourth Addition to Southwood Subdivision, noting that prior to final plat all requirements of the integrated subdivision for agreements and easements are to be reviewed and approved by the City.
2. The City Council can approve the request for an Integrated Site Plan, which includes concurrent preliminary plat and Major Site Development Plan approval, for the properties at 1404, 1405, and 1410 Buckeye Avenue, with modified conditions.
  3. The City Council can deny the request for an Integrated Site Plan, which includes concurrent preliminary plat and Major Site Development Plan approval, for the properties at 1404, 1405, and 1410 Buckeye Avenue if the Commission finds that the City's regulations and policies are not met.
  4. The City Council can defer action on this request and refer it back to City staff and/or the applicant for additional information.

**MANAGER'S RECOMMENDED ACTION:**

The proposed Integrated Site Plan is a partial redevelopment of an existing site. The developer looks to maximize the amount of developable area with the proposed retention of the Kmart building and much of the current parking lot. The purpose of the Integrated Site Plan Subdivision review is to determine the overall layout, function, and building design meet City standards as a collective site and not as individual lots. Key considerations for the proposal are the design and location of buildings along street frontages, appropriate landscaping and screening, retention of existing landscaping, integration of storm water treatment features, mix of uses, access and circulation, and overall parking supply.

The proposed mix of uses are typical for a commercial shopping center, with the exception of the interior climate controlled mini-storage use, which will require a separate Special Use Permit approval from the Zoning Board of Adjustment. Prior to final plat a number of easements and agreements are required to complete the integrated subdivision process and ensure the site is collectively utilized and managed. The proposed lot arrangement is unusual, but allowable due to the integrated site plan process that allows for consideration of the function of the site overall rather than as individual lots. The effect of the subdivision is a requirement that all the development be coordinated together and that any future changes will require the other lot owners to agree.

The applicant's architectural design is typical for contemporary retail development, but could include some aesthetic enhancements to address the rear facades adjacent to streets for better consistency with new development areas along Buckeye and South Duff. With the conditions of approval, staff finds that the project meets the design principles of an Integrated Site Plan, subdivision standards, and the standards of the Major Site Development Plan.

**Therefore, it is the recommendation of the City Manager that the City Council act in accordance with Alternative #1 to approve the request for an Integrated Site Plan, which includes concurrent preliminary plat and Major Site Development Plan approval, for the properties at 1404, 1405, and 1410 Buckeye Avenue with the noted conditions.**

## **ADDENDUM**

### **PROJECT DESCRIPTION:**

The project site is a parcel of land totaling 14.02 acres fronting on South S 16th Street and Buckeye Avenue. The proposed development is a redevelopment of the former Kmart site (1405 Buckeye Avenue) and the development of two lots (1404 and 1410 Buckeye Ave) adjacent to S Duff Avenue. The preliminary plat indicates a total of 9 lots will be created. 1404 and 1410 Buckeye will remain as two separate lots and the Kmart site will be split into seven lots that will be included with this development.

The proposed site plan includes five commercial buildings with approximately 237,374 square feet of commercial space (Attachment C – Site Plan) The former Kmart building is 120,442 square feet and will be split into 5 separate tenant spaces. Four tenant spaces be what was the front of the store, with entrances into the spaces on the east side of the building. The rear portion of the building is proposed as two stories of Interior Climate Controlled Mini-storage. Climate controlled mini-storage use will require approval of a separate Special Use Permit. The remainder of the square footage (77,300 square feet) will be spread amongst five new buildings. In the event the climate controlled mini-storage use is not approved, the rear space could be uses for other HOC allowed uses based upon the availability of parking. The proposed five new commercial buildings will have a mix of retail and restaurant users. The following table described the uses proposed for each lot.



Lot #	Building/ Suites	Proposed Use	Size of Use	Parking Ratio Requirement	Parking Stalls Required	Parking Stalls Provided
1	Building A	Mini-storage estimated 800 units (2 story)  or  Wholesale Trade or Display Store* 1 story	45,787 Sq. Ft.	5 stalls/first 200 storage units, 1 stall/100 storage units thereafter  1/500 Sq. Ft.	11 stalls  or  92 stalls	103 stalls
2	Building A Suites A & B	Retail	34,000 Sq Ft	1/300 Sq Ft	113 Stalls	206 stalls
3	Building A Suites C & D	Retail	34,500 Sq Ft	1/300 Sq Ft	115 stalls	74 stalls
4	Building C	Retail/Restaurant**	6,500 Sq Ft Retail	1/300 Sq. Ft	22 stalls	
			6,500 Sq Ft Restaurant	9/1,000 Sq. Ft	59 stalls	23 stalls
5	Building D	Retail/Restaurant**	2,000 Sq Ft Retail	1/300 Sq Ft	7 stalls	
			4,000 Sq Ft Restaurant	9/1,000 Sq Ft	36 stalls	0 stalls
6	Building B Suites C, D, & E	Retail	32,500 Sq Ft	1/300 Sq Ft	108 stalls	82 stalls
7	Building B Suites A & B	Retail	19,000 Sq Ft	1/300 Sq Ft	63 stalls	60 stalls
8	Building F	Retail	4,000 Sq Ft	1/300 Sq Ft	13 stalls	25 stalls
9	Building E	Restaurant**	2,800 Sq Ft	9/1,000 Sq Ft	25 stalls	14 stalls
	<b>TOTALS</b>		<b>Total Retail 132,000 Sq Ft</b>  <b>Total Restaurant 13,300 Sq Ft</b>		<b>572 stalls Required with storage facility -Or 653 stalls Required with no storage facility***</b>	<b>587 stalls Provided</b>

\*The Display Store parking requirement ratio was applied to the gross floor area of this Suite. This ratio is to be applied if the Special Use Permit for Interior Climate Controlled Mini-storage is not approved.

\*\* The sit down restaurant parking requirement ratio was applied to all restaurant spaces shown on the plan since tenants are not known at this time. The fast food parking requirement ratio cannot be calculated without floor plans.

\*\*\* The allowed amount of restaurant square footage or total retail space will be reduced, or combination of both, to match the amount of parking provided within the Integrated Site Plan.

**Parking.** The parking for the development will be spread across eight of the nine lots. Shared access and parking agreements will be required. A note has been added to the preliminary plat, as required, that states all parking areas, drives, sidewalks, fire lanes, etc. are for the common use of all lots within the subdivision.

Staff calculated the required parking for the uses and areas shown on the site plan two different ways. The only difference in the calculation was how we calculated the mini-storage requirement for separate approval via Special Use Permit. 573 parking stalls will be required if a Special Use Permit is approved for up to 800 mini-storage units, as indicated by the developer. This use requires approval of a Special Use Permit that will be reviewed subsequent to the Integrated Site Plan review. In the event the Special Use Permit is not approved, the calculation for parking must account for the use of the space with a permitted HOC use. **Alternative use of the space is calculated as a one-story display store use, i.e. furniture, carpet, appliance store, which has a lower parking ratio requirement than general retail uses.** 653 parking stalls are required across the site using the display store use. The site plan shows that 587 parking stall will be provided. If the Special Use Permit for a two-story mini-storage facility is approved, then adequate parking is provided. If the Special Use permit is not approved, the site is 66 parking stalls short of required parking even with the minimum parking allowed for a display store.

The proposed plan can still be approved and developed in one of two ways. The amount of building area could be reduced or a limit on the amount of restaurant space within the development could be established. Restaurant parking requirements are the highest parked uses at 9 stalls/1,000 square feet of restaurant space. For purposes of calculating the amount of required parking, staff assumed the sit down restaurant ratio since tenants are not known and fast food parking ratios cannot be calculated accurately without a floor plan. A condition is included to address balancing the allowed square footage of uses to reflect the level of parking that is provided with development of the entire site.

**Landscaping.** Highway Oriented Commercial zoned properties are required to provide a minimum of 15% open space. A benefit of the Integrated Site Plan is that this 15% can be applied across the entire development rather than on a per lot basis. The amount of open space provided meets the 15% area requirement. This open space area is made of green space principally along the perimeter of the site and an area of vegetation behind the Staples building that is intended to be added to this site by process of a Plat of Survey. The current open area along Buckeye that was part of the original Planned Commercial approval for storm water and open space is replaced with Building B, this is area partially made up for with the area located behind Staples. Storm water is addressed with an underground system rather than an open area.

The required amount of trees is provided along both S 16th Street and Buckeye Avenue. Two existing mature trees will remain on the S Duff Avenue side of 1404 and 1410 Buckeye and will count for the required four trees. The trees along Buckeye Avenue will need to be located on private property and not placed within the right-of-way. The required planting area depth does exist on both sides of Buckeye Avenue to

accommodate required trees. The landscaping calculations for shrubs and grasses reflect front yard planting requirements.

The amount of parking lot trees shown on the site plan exceeds the 49 required trees when calculating only the area of the parking lot that will be new/reconstructed with the development of the new commercial buildings. It is typical for an existing site to only be required to comply with the landscaping standards as an “other nonconformity” for those areas that are new/disturbed on and existing site. Other improvements to parking areas are required as practicable for landscaping. Calculating the required amount of parking lot trees based on the entire parking area across the development would be 114 trees. The landscaping plan shows a total of 50 new parking lot trees being planted and meeting planting requirements for the new parking lot areas.

The developer proposes to use the existing vegetation to screen this development from adjacent properties. Some of the existing vegetation and fencing exists on the adjacent property and not on this site. The landscaping will need to be protected during construction and remain in order for the site to meet the high screen requirement along the west property line.

All sidewalks along public streets exists and will remain, including an eight-foot shared use path along Buckeye Avenue. Private sidewalks will be provided along buildings and connection will be provided to public walks.

**Building Elevations.** Typical building elevations have been included to define the building materials, entrances, parapets, and façade design. (Attachment D – Building Elevations). The developer has planned two spaces principally as multi-tenant buildings to allow for corporate façade and parapet treatments on larger buildings. The smaller buildings are designed as more strip commercial properties with minor levels of detailing and building variation. The front of the former Kmart store will be divided into four store fronts, with the southeast corner design as the climate controlled mini-storage location. Building elevations indicate that each tenant space will have a new parapet that is significantly taller than the existing building. The existing building is twenty-four feet in height and the tallest parapet is proposed at forty-three feet. The parapets will include signage facing the parking lots. As a result of the proposed height of the parapets they will be visible from the back and side when traveling west on S 16th Street. Staff requested side return treatment for these large parapets as shown on the architectural plans of Building A (south elevation) to provide the appearance of a more intentional and substantial architectural feature proportional to the overall design.

The rear elevations of buildings along S 16th Street and Buckeye Avenue have no proposed roof line variation or detailing other than a cornice. The buildings are located as close as 25 feet from the street property lines. The facades of Building B have modulation due to differences in tenant space sizing and planned loading areas. Buildings C, D, E, F do not include modulation or substantial elements of architectural relief. The rear elevations include individual doors for each tenant space for potential exiting. Buildings along S 16th Street could include additional architectural treatment to help break up the roof lines and façade interest with the inclusion of additional parapets, extended canopy along portions of the rear façade, the addition of vertical trim, or changes in materials/color of façade would give some relief of a plain rear of a building.

These types of changes would increase visual interest for the facades in addition to required front yard landscaping

Building elevations for the Interior Climate Controlled Mini-storage Use are included as well. This use is only allowed within the HOC zoning district with approval of a Special Use Permit. Section 29.1308 includes building design requirement specific to this use type. Compliance with these regulations will be evaluated as part of the Special Use Permit. The mini-storage facility main entrance will face south, towards S 16th Street. It will be in the portion of the former Kmart store where the automotive repair facility was located. The amount of overhead doors will be reduced from six to two. The remainder of the former overhead doors will be converted to a series of windows and one store front entrance. There are existing trees along this portion of S 16th Street. Staff has asked for additional landscaping to increase screening of this area from S 16th Street but is unable to determine what is being proposed for shrubs or bushes as the landscape plan details are unreadable. Staff will work with the developer to clarify the planting types and amounts.

Building "D" indicates a drive thru use will be located on this lot. Stacking usually occurs at the menu board where orders are taken. Staff is concerned that peak queuing could block circulation if not sited correctly. The building layout was adjusted on the site plan to indicate that a pick up window would be located on the east side of the building as requested by Staff. Staff requested the pick-up window to be located on the east side of the building with a menu board located as far from the drive thru entrance as possible to prevent stacking to back up into parking lot drive aisles and blocking parking stalls.

The building elevations do indicate some lighting will be located on the buildings. The drawings give the appearance that the lights may be up lit. This is not allowed by code if lights are over a certain amount of lumens. Fixture information was not provided for such lighting. It should be noted that all site lighting on buildings and in parking areas will need to comply with the City's Outdoor Lighting Code.

Since all tenant spaces are not known it is possible that doors and windows may shift from where they are shown on the elevations. As the plan is refined, staff would be able to approve changes proposed by the developer that modify architectural treatments, awnings, windows, and entrances that do not reduce the quality and interest of the building design and compliment the overall shopping center design aesthetic. Building materials will consist of brick or a stone veneer at the base of the buildings up to 3 feet 6 inches in height with EIFS as the main building material above that height, with the exception of glazing treatments. Pillars will be full height masonry or stone.

**Infrastructure.** The site is fully served by City infrastructure. All public utilities are available to serve the development a small amount of public sanitary sewer and water mains will be installed from Buckeye Avenue south of Building B as part of the development. Electric Services will be supplied by the City of Ames electric service territory. Easements are shown on the Preliminary Plat/Site Plan and any additional easements needed to accommodate the proposed development for utilities will be recorded with the Final Plat at the time of subdivision of the individual lots.

**Storm Water Treatment.** The site is subject to conformance with Municipal Code Chapter 5a and 5b requirements for storm water control and treatment. The site must not increase release rates for the overall site and must treat water quality for all new impervious areas of the site. The primary storm water treatment measure is an in ground chamber located under the new parking area in front of Building 'B'. The Public Works Department has reviewed the Storm Water Management Plan for this subdivision and site plan and determined the proposed approach is consistent with City standards.

**Access/Traffic.** Vehicular access is provided to the site from S 16th Street and Buckeye Avenue. There are two driveways from S 16th Street and two proposed from Buckeye Avenue, including the shared drive with the Staples/Theater site to the north. The existing central drive on S 16th Street into the site will be straightened but will remain a full turn access point and not require improvements to S 16th Street. Parking and shared access will be provided throughout the development.

Although access points meet spacing requirements, staff has included a condition to address potential drive through queuing for Building 'D'. The location of the drive thru could block thru traffic across the front of the building and staff has included a condition to restrict the drive through use to the east side of the building and to position the menu board along the south edge to minimize potential backups. Staff does not anticipate impacts from the drive thru queuing will impact traffic entering from Buckeye Avenue.

A traffic study was submitted and reviewed by the City's Traffic Engineer. It analyzed both near term build out and future build out conditions. The study noted satisfactory operations for all facilities with the exception of the left turns from Buckeye to S 16th Street. However, the traffic engineer does not recommend improvements at this time to widen Buckeye to add a third lane for future queuing issues. The primary reason that no improvements are required with this development is due to planned City improvements to S 16th Street from S Duff Avenue to S. Kellogg Avenue. These improvements are unrelated to this project and anticipated to be completed in 2019. The improvements are likely to include a median restricting left turn movements from Buckeye Avenue onto S 16<sup>th</sup> Street, which would negate the identified queuing impact by not allowing for that particular turning movement. In the event widening of Buckeye Avenue is needed, an additional lane can be configured within existing right-of-way or with a minor expansion of paving.

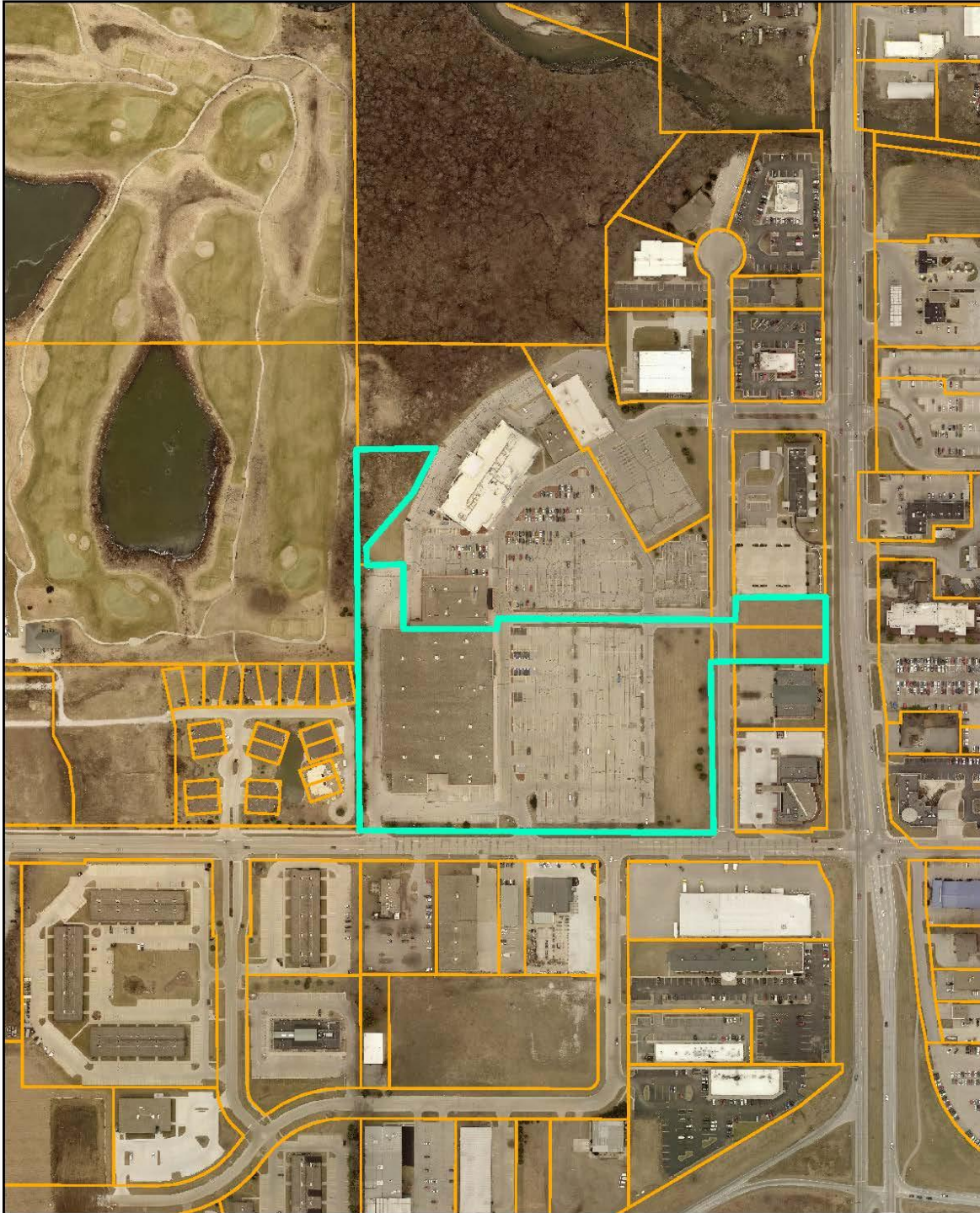
**Major Site Development Plan Criteria.**

The standards are found in Ames *Municipal Code* Section 29.1502(4)(d) and include the following requirements. *When acting upon an application for a Major Site Development Plan approval, the Planning and Zoning Commission and the City Council shall rely upon generally accepted site planning criteria and design standards. These criteria and standards are necessary to fulfill the intent of the Zoning Ordinance, the Land Use Policy Plan, and are the minimum necessary to safeguard the public health, safety, aesthetics, and general welfare. See Attachment E for a full review of the individual Development criteria for the Major Site Development Plan.*

**Public Notice.** Notice was mailed to property owners within 200 feet of the subject site and a sign was posted on the subject property. As of this writing, no comments have been received by staff. There were speakers at the Planning and Zoning Commission

meeting.

**Attachment A**  
*Location Map*



**Proposed Preliminary Plat and Major Site Development Plan  
1404, 1405, and 1410 Buckeye Avenue**





# **Attachment C**

*Major Site Plan*

# **Attachment D**

*Building Elevations*

# Attachment E

## Major Site Development Plan Criteria.

1. ***The design of the proposed development shall make adequate provisions for surface and subsurface drainage to limit the rate of increased runoff of surface water to adjacent and downstream property.***

The Public Works Department has reviewed the storm water management plan. The developer proposes an underground treatment chamber at the east side of the site under the new parking area to treat most of the storm water runoff.

2. ***The design of the proposed development shall make adequate provision for connection to water, sanitary sewer, electrical, and other utility lines within the capacity limits of those utility lines.***

The existing utilities were reviewed and found adequate to support the anticipated load of the proposed development. There are no offsite upgrades needed to serve the site for any utility.

3. ***The design of the proposed development shall make adequate provision for fire protection through building placement, acceptable location of flammable materials, and other measures to ensure fire safety.***

The fire inspector has reviewed access and fire truck circulation and found that the needs of the fire department are met for access and circulation. The main access into the site are from public streets, S 16th Street and Buckeye Avenue. Review of the climate controlled mini-storage plans will be subject to the Special Use Permit review.

4. ***The design of the proposed development shall not increase the danger of erosion, flooding, landslide, or other endangerment to adjoining and surrounding property.***

It is not anticipated that this proposed development will be a danger due to its location on the site. The storm water features have been enlarged to help reduce potential future flooding within this site and the subdivision to the east.

5. ***Natural topographic and landscape features of the site shall be incorporated into the development design.***

The developer is working with the existing topography of the site. Critically, the existing landscape buffer along the west property line is to be retained. Some existing trees will be retained along S 16th Street, but much of the existing landscaping will be replaced as it is at the end of its useful life or impedes the site layout for new buildings. The disturbed areas of the site are required to come into compliance with current landscape requirements.

**6. The design of the interior vehicle and pedestrian circulation shall provide for convenient flow of vehicles and movement of pedestrians and shall prevent hazards to adjacent streets or property.**

The proposed development will provide vehicular access off S 16th Street and Buckeye Avenue. There is an existing eight foot shared use path along S 16th Street. All interior private sidewalks will connect with the public sidewalk system that is already in place. The City is in the process of completing the design of S 16th Street and S Duff Avenue intersection improvements which may include a median at the Buckeye intersection. Driveway access to the site will not be impacted.

The Ames Traffic Division reviewed a traffic impact study for the project. The study found acceptable operations for all analyzed intersections, but noted that left turning queuing on Buckeye could justify an additional lane for Buckeye. The traffic division does not recommend this widening at this time due to likely restrictions on left turns from Buckeye Avenue to S 16th Street.

**7. The design of outdoor parking areas, storage yards, trash and dumpster areas, and other exterior features shall be adequately landscaped or screened to minimize potential nuisance and impairment to the use of adjoining property.**

Much of the existing site's parking areas will be retained. The applicant will mill and overlay these areas. The developer will refurbish landscaping in these areas, but not bring the design up to current landscape standards. The arrangement of parking serves each of the individual buildings and includes distributed ADA compliance parking spaces. The parking plans assumed approval of climate controlled mini-storage to allow for the full range of uses proposed on the site. The amount of restaurant uses would be reduced is mini-storage is not approved.

will have Loading area access for Building B will be directly from Buckeye Avenue and somewhat visible. Front yard landscaping is the primary treatment for screening of this area without additional landscaping being required.

**8. The proposed development shall limit entrances and exits upon adjacent streets in order to prevent congestion on adjacent and surrounding streets and in order to provide for safe and orderly vehicle movement.**

All existing access into the development will remain at their existing locations. One drive on S 16th Street will be redesigned and shifted slightly to the west to allow for a small amount of parking to be added to the site. New driveways will be created along Buckeye as secondary entrances and exits to the site. The proposed drive through use is designed to allow for queuing on site with minimal interruption to overall circulation of the site, however peak ques could block through lanes in/out to Buckeye and a condition of approval is included to minimize this concern.

**9. Exterior lighting shall relate to the scale and location of the development in order to maintain adequate security, while preventing a nuisance or hardship to adjacent property or streets.**

All lighting will be required to comply with the City's Outdoor Lighting code, Section 29.411. Building lighting must also meet down lighting requirements.

**10. The proposed development shall ensure that dust and other forms of air pollution, noise disturbances, odor, glare, and other nuisances will be limited to acceptable levels as prescribed in other applicable State and City regulations.**

The proposed development is not expected to generate any nuisances.

**11. Site coverage, building scale, setbacks, and open spaces shall be in proportion with the development property and with existing and planned development and structures, in adjacent and surrounding property.**

The combination of existing conditions and new development creates an unbalanced plan with most improvements focused on the perimeter of the site compared to equal distribution of improvements across a site as would occur with a complete redevelopment. The site does meet minimum landscape percentage requirements and front yard planting standards, as conditioned.

The proposed layout of the development is consistent with existing surrounding commercial development. Building heights are typically 23 feet in height with parapets extending much higher up to approximately 43 feet. The building locations differ to other smaller sites in the area with parking centrally located and the rear of buildings located adjacent to streets.

The approval of an Integrated Site Plan allows some benefit by allowing some site development regulations to be applied across the entire site rather than on an individual lot basis allowing for a more condensed site compared to individual lot development.

# **Attachment F**

## **Applicable Subdivision Law**

The laws applicable to this Preliminary Plat Subdivision include, but are not limited to, the following: (verbatim language is shown in *italics*, other references are paraphrased):

Code of Iowa Chapter 354, Section 8 requires that the governing body shall determine whether the subdivision conforms to its Land Use Policy Plan.

Ames Municipal Code Chapter 23, Subdivisions, Division I, outlines the general provisions for subdivisions within the City limits and within two miles of the City limits of Ames.

Ames Municipal Code Section 23.302(3):

*(3) Planning and Zoning Commission Review:*

- (a) The Planning and Zoning Commission shall examine the Preliminary Plat, any comments, recommendations or reports assembled or made by the Department of Planning and Housing, and such other information as it deems necessary or desirable to consider.*
- (b) Based upon such examination, the Planning and Zoning Commission shall ascertain whether the Preliminary Plat conforms to relevant and applicable design and improvement standards in these Regulations, to other City ordinances and standards, to the City's Land Use Policy Plan, and to the City's other duly adopted Plans.*

Ames Municipal Code Section 23.302(4):

*Planning and Zoning Commission Recommendation: Following such examination and within 30 days of the regular meeting of the Planning and Zoning Commission at which a complete Application is first formally received for consideration, the Planning and Zoning Commission shall forward a report including its recommendation to the City Council. The Planning and Zoning Commission shall set forth its reasons for any recommendation to disapprove or to modify any Preliminary Plat in its report to the City Council and shall provide a written copy of such reasons to the developer.*

### **23.700 SUBDIVISION FOR INTEGRATED SUBDIVISIONS**

#### **23.702. APPLICABILITY.**

- (1) The subject site shall consist of one or more legally created lots.*
- (2) The property must be zoned commercial, industrial, medium density residential or high density residential.*
- (3) Residential development under these provisions is limited to apartment dwellings only.*

*(4) The subdivision must be associated with a Major Site Development Plan under Chapter 29.1502. Within this context, the Major Site Development Plan will be considered and referred to as an Integrated Site Plan.*

***REVIEW PROCEDURE.***

*An Integrated Site Plan Subdivision is subject to the same review process and decision criteria as Major Subdivision (Section 23.302); and an Integrated Site Plan is subject to the same review process and decision criteria as a Major Site Development Plan (Section 29.1502). Although the subdivision and site plans are separate documents, they are reviewed and processed simultaneously, and an Integrated Site Plan Subdivision incorporates by reference all documents of an approved Integrated Site Plan.*

# SITE DEVELOPMENT PLANS

## FOR

# SHOPPES ON SOUTH DUFF

SEC 11, TWP 83, RNG 24  
1404, 1405, & 1410 BUCKEYE AVE. AMES, IA 50010

### BASIS OF BEARING AND BENCHMARK

FROM SURVEY PREPARED BY FOX ENGINEERING DATED 3/18/97  
CAP BOLT ON HYDRANT ON SE 16TH ST.  
NEAREST TO CENTURY 21  
ELEVATION 81.37 (CITY DATUM)  
CAP BOLT ON HYDRANT IN FRONT OF  
ELEVATION = 70.78 (CITY DATUM)

### LEGAL DESCRIPTION

THE LAND REFERRED TO IN THIS COMMITMENT IS DESCRIBED AS FOLLOWS:

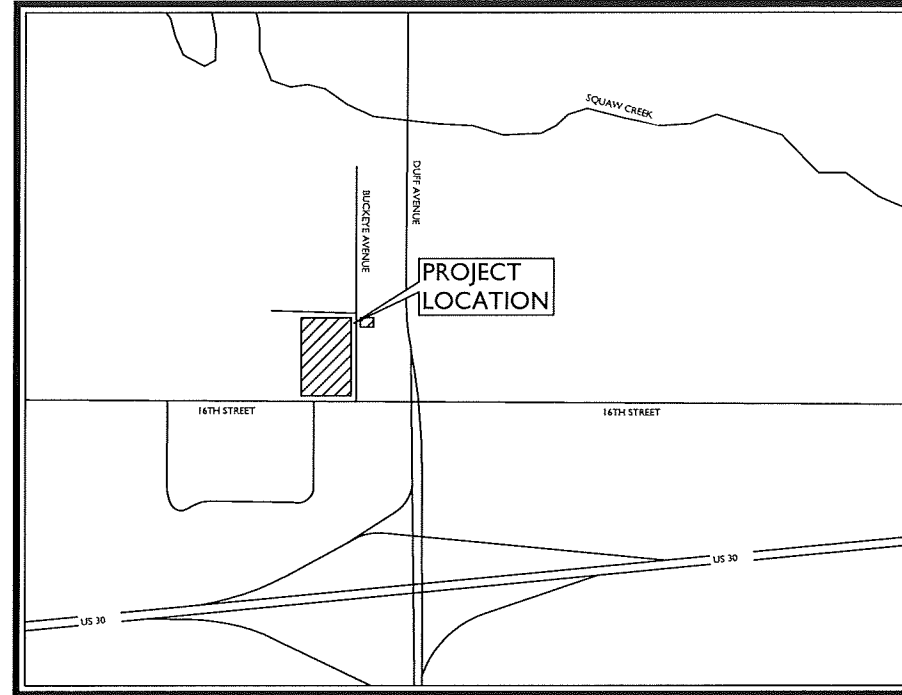
PARCEL 1:  
LOT 1, THIRD ADDITION TO SOUTHWOOD SUBDIVISION, AMES, STORY COUNTY, IOWA.

PARCEL 2:  
NON-EXCLUSIVE EASEMENT FOR VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS AS CONTAINED IN RECIPROCAL EASEMENT AND OPERATION AGREEMENT RECORDED NOVEMBER 10, 1994 AT INST. NO. 94-111981; AS AMENDED BY FIRST AMENDMENT TO RECIPROCAL EASEMENT AND OPERATION AGREEMENT RECORDED MAY 23, 1997 AT INST. NO. 97-0504.

LOTS 3 AND 4, BLOCK 1, FIRST ADDITION TO SOUTHWOOD SUBDIVISION, AMES, IOWA.

### FLOOD ZONE NOTE

THIS PROPERTY LIES ENTIRELY IN ZONE X, AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS PER FIRM MAP 19149C0163F, DATED 10/16/2014.



VICINITY MAP

NOT TO SCALE

### SHEET INDEX

C0.00	COVER SHEET
C0.10	GENERAL NOTES
PG 1 OF 2	ALTA SURVEY (FOR REFERENCE ONLY)
PG 2 OF 2	ALTA SURVEY (FOR REFERENCE ONLY)
C1.00	OVERALL KEY MAP
C1.10-C1.30	DEMOLITION PLAN
C2.00	EROSION CONTROL COVER SHEET
C2.10-C2.30	EROSION CONTROL PLAN
C2.40	EROSION CONTROL CONSTRUCTION DETAILS
C3.00	OVERALL HORIZONTAL CONTROL PLAN
C3.10-C3.30	HORIZONTAL CONTROL PLAN
C4.10-C4.30	GRADING PLAN
C4.40	GRADING DETAILS
C5.10-C5.30	UTILITY PLAN
C5.40-C5.70	SANITARY SEWER PLAN & PROFILE
C6.10-C6.19	SITE DETAILS
L1.10-L1.20	LANDSCAPE PLAN
L1.30	LANDSCAPE NOTES
P1.10	PHOTOMETRIC PLAN
P1.20	PHOTOMETRIC PLAN DETAILS
SHEET 1-15	ADS DESIGN PLANS

### GENERAL NOTES

- ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF SITE IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH BY THE CURRENT EDITION OF THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) AND THE CURRENT CITY OF AMES SUPPLEMENTAL SPECIFICATIONS TO SUDAS, AND APPLICABLE STATE AND FEDERAL REGULATIONS, WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND THE SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE HIGHER QUALITY STANDARD SHALL APPLY. ALL WORK WITHIN PUBLIC R.O.W. OR EASEMENTS SHALL BE INSPECTED AND APPROVED BY THE CITY OF AMES PUBLIC WORKS INSPECTOR AND WITH THE DEPARTMENT OF TRANSPORTATION INSPECTOR, INSPECTION SERVICES AND CONSTRUCTION CERTIFICATION TO BE PROVIDED BY ENGINEER OF RECORD.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS, IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PERTINENT LOCATIONS AND ELEVATIONS, ESPECIALLY AT THE CONNECTION POINTS AND AT POTENTIAL UTILITY CONFLICTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL NOTIFY THE CITY OF AMES PUBLIC WORKS INSPECTOR AT LEAST 48 HOURS PRIOR TO THE START OF ANY EARTH DISTURBING ACTIVITY, OR CONSTRUCTION ON ANY AND ALL PUBLIC IMPROVEMENTS.
- THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH THE CITY OF AMES AND ALL UTILITY COMPANIES INVOLVED WITH REGARD TO RELOCATIONS OR ADJUSTMENTS OF EXISTING UTILITIES DURING CONSTRUCTION AND TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH A MINIMUM DISRUPTION OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PARTIES AFFECTED BY ANY DISRUPTION OF ANY UTILITY SERVICE.
- THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE APPROVED PLANS, ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS, AND A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB, ON-SITE AT ALL TIMES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY INCLUDING, BUT NOT LIMITED TO, EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURITY.
- IF DURING THE CONSTRUCTION PROCESS CONDITIONS ARE ENCOUNTERED BY THE CONTRACTOR, HIS SUBCONTRACTORS, OR OTHER AFFECTED PARTIES, WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
- ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
- THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN, IN ACCORDANCE WITH THE M.U.T.C.D. TO THE APPROPRIATE RIGHT-OF-WAY AUTHORITY (CITY, COUNTY, OR STATE) FOR APPROVAL, PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN, OR AFFECTING, THE RIGHT-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY AND ALL TRAFFIC CONTROL DEVICES AS MAY BE REQUIRED BY THE CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS SHOWN ON THESE DRAWINGS OR DESIGNATED TO BE PROVIDED, INSTALLED, CONSTRUCTED, REMOVED AND RELOCATED UNLESS SPECIFICALLY NOTED OTHERWISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS AND DIRT TRACKED FROM THE SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT INFORMATION ON A SET OF RECORD DRAWINGS KEPT AT THE CONSTRUCTION SITE AND AVAILABLE TO THE CITY OF AMES PUBLIC WORKS INSPECTOR AT ALL TIMES. AS-BUILT INFORMATION TO BE GIVEN TO ENGINEER UPON PROJECT COMPLETION.
- DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. IF PERTINENT DIMENSIONS ARE NOT SHOWN, CONTACT THE CONSULTANT ENGINEER FOR CLARIFICATION, AND ANNOTATE THE DIMENSION ON THE AS-BUILT RECORD DRAWINGS.
- ALL STRUCTURAL EROSION CONTROL MEASURES SHALL BE INSTALLED, AT THE LIMITS OF CONSTRUCTION, PRIOR TO ANY OTHER GROUND-DISTURBING ACTIVITY. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN GOOD REPAIR BY THE CONTRACTOR, UNTIL SUCH TIME AS THE ENTIRE DISTURBED AREA IS STABILIZED WITH HARD SURFACE OR LANDSCAPING.
- THE CONTRACTOR SHALL SEQUENCE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO MINIMIZE POTENTIAL UTILITY CONFLICTS. IN GENERAL, STORM SEWER AND SANITARY SEWER SHOULD BE CONSTRUCTED PRIOR TO INSTALLATION OF WATER LINES AND DRY UTILITIES.
- ALL WORK WITHIN SOUTH DUFF AVE IS SUBJECT TO THE JURISDICTION OF THE IOWA DEPARTMENT OF TRANSPORTATION.
- ALL OPERATIONS CONDUCTED ON THE PREMISES, INCLUDING THE WARMING UP, REPAIR, ARRIVAL, DEPARTURE OR RUNNING OF TRUCKS, EARTH MOVING EQUIPMENT, CONSTRUCTION EQUIPMENT AND ANY OTHER ASSOCIATED EQUIPMENT SHALL BE LIMITED TO THE PERIOD BETWEEN 6:00 A.M. AND 11:00 P.M. EVERY DAY UNLESS OTHERWISE APPROVED BY THE CITY.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL UTILITY RELOCATIONS CONSISTENT WITH THE CONTRACTOR'S SCHEDULE FOR THIS PROJECT, WHETHER SHOWN OR NOT SHOWN AS IT RELATES TO THE CONSTRUCTION ACTIVITIES CONTEMPLATED IN THESE PLANS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL TEMPORARY POWER, TELEPHONE AND WATER TO THE SITE, PAYING ALL FEES EXCLUDING TAP FEES AND SYSTEM DEVELOPMENT FEES, REFERRING TO ARCHITECTURAL PLANS FOR THE EXACT LOCATION AND DIMENSIONS OF BUILDING EXITS, RAMPS, TRUCK DOCKS, AND UTILITY ENTRANCE LOCATIONS.
- IN GENERAL, LIMITS OF SITE WORK ARE UP TO THE FACE OF BUILDING.
- THE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, RAMPS AND TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS.
- CONTRACTOR TO MAINTAIN ALL SHRUB AND GROUND COVER AREAS FREE FROM WEEDS AND UNDESIRABLE VEGETATION THROUGH MAINTENANCE PERIOD.

### CONSULTANTS

**DEVELOPER:**  
ONPOINT DEVELOPMENT  
7514 GIRARD AVENUE SUITE 1015  
LA JOLLA, CALIFORNIA 92037  
CONTACT: TODD DWYER  
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510 S. 17TH STREET, SUITE #102  
AMES, IA 50010  
CONTACT: R. GRADLEY STUMBO  
PHONE: (515) 233-3689

**GEOTECHNICAL ENGINEER:**  
ALLENDEA BUTZKE ENGINEERS INC.  
3100 JUSTIN DRIVE, SUITE F  
URBANDALE, IA 50322  
CONTACT: MILT BUTZKE  
PHONE: (515) 252-1885

**CIVIL ENGINEER:**  
KIMLEY-HORN  
215 S. STATE STREET, SUITE 400  
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CONTACT: RICH PIGGOTT,  
PROJECT MANAGER  
PHONE: (385) 212-3181

**ARCHITECT:**  
SLAGGIE ARCHITECTS, INC.  
622 N 109TH PLAZA  
OMAHA, NE 68154  
CONTACT: PATRICK J. MORGAN A.I.A.  
PHONE: (688) 756-1958

**CIVIL ENGINEER:**  
2550 UNIVERSITY AVE. WEST  
STE. 2381 SAINT PAUL, MN 55114  
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PHONE: (651) 843-0497

### AGENCY CONTACTS

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CONTACT: JULIE GOULD  
PHONE: (515) 239-5443

**SANITARY SEWER:**  
PUBLIC WORKS OPERATIONS  
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AMES, IA, 50010  
CONTACT: DALE WEBER  
PHONE: (515) 239-5551

**GAS SERVICE:**  
ALLIANT ENERGY  
1284 XE PLACE  
AMES, IA, 50014  
CONTACT: RYAN PAUL  
PHONE: 515-266-3487

**ENGINEERING:**  
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515 CLARK AVE  
AMES, IA, 50010  
CONTACT: NATHAN WILLEY  
PHONE: (515) 239-543

**STORM DRAIN:**  
PUBLIC WORKS OPERATIONS  
2207 EDISON STREET  
AMES, IA, 50010  
CONTACT: DALE WEBER  
PHONE: (515) 239-5548

**ELECTRIC:**  
CITY PUBLIC WORKS DEPARTMENT  
515 CLARK AVE  
AMES, IA, 50010  
CONTACT: DAVE COLE  
PHONE: (515) 239-5175

**WATER DEPARTMENT:**  
PUBLIC WORKS OPERATIONS  
2207 EDISON STREET  
AMES, IA, 50010  
CONTACT: DALE WEBER  
PHONE: (515) 239-5551

**FIRE DEPARTMENT:**  
JASON ZPH  
1300 BURNETT AVE  
AMES, IA, 50010  
CONTACT: JASON ZPH  
PHONE: (515) 239-5150

**TELEPHONE:**  
CENTURY LINK  
2310 SE DELAWARE AVE F  
ARKENY, IA, 50021  
CONTACT: DEB DARLING  
PHONE: (515)-564-5071



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#### CAUTION: NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

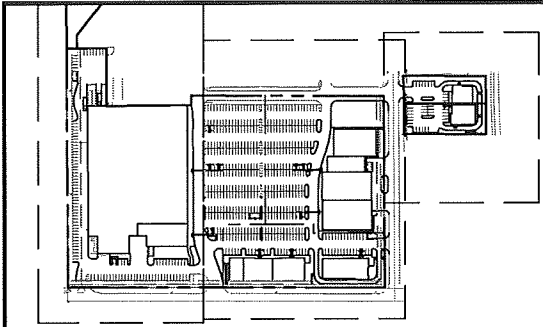
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PRELIMINARY FOR REVIEW ONLY NOT FOR CONSTRUCTION									
SHEET	C0.00								

**Kimley-Horn**  
215 South State Street, Suite 400 | Salt Lake City, UT 84111 | Tel. (801) 212-3176

COVER SHEET  
SHOPPES ON SOUTH DUFF  
AMES, IOWA

Date: November 5, 2018 12:02 PM User: BICK, CHRIS  
Path: K:\S\C\CIVIL\093615000 ONPOINT - AMES, IA\CADD\PLAN SHEETS\093615000\_ON.DWG  
This document, together with the contracts and design presented herein, is an instrument of service. It is intended only for the specific purpose and shall for which it was prepared. Issues of and proper release of this document without written authorization by Kimley-Horn and Associates, Inc.





**KEYMAP**

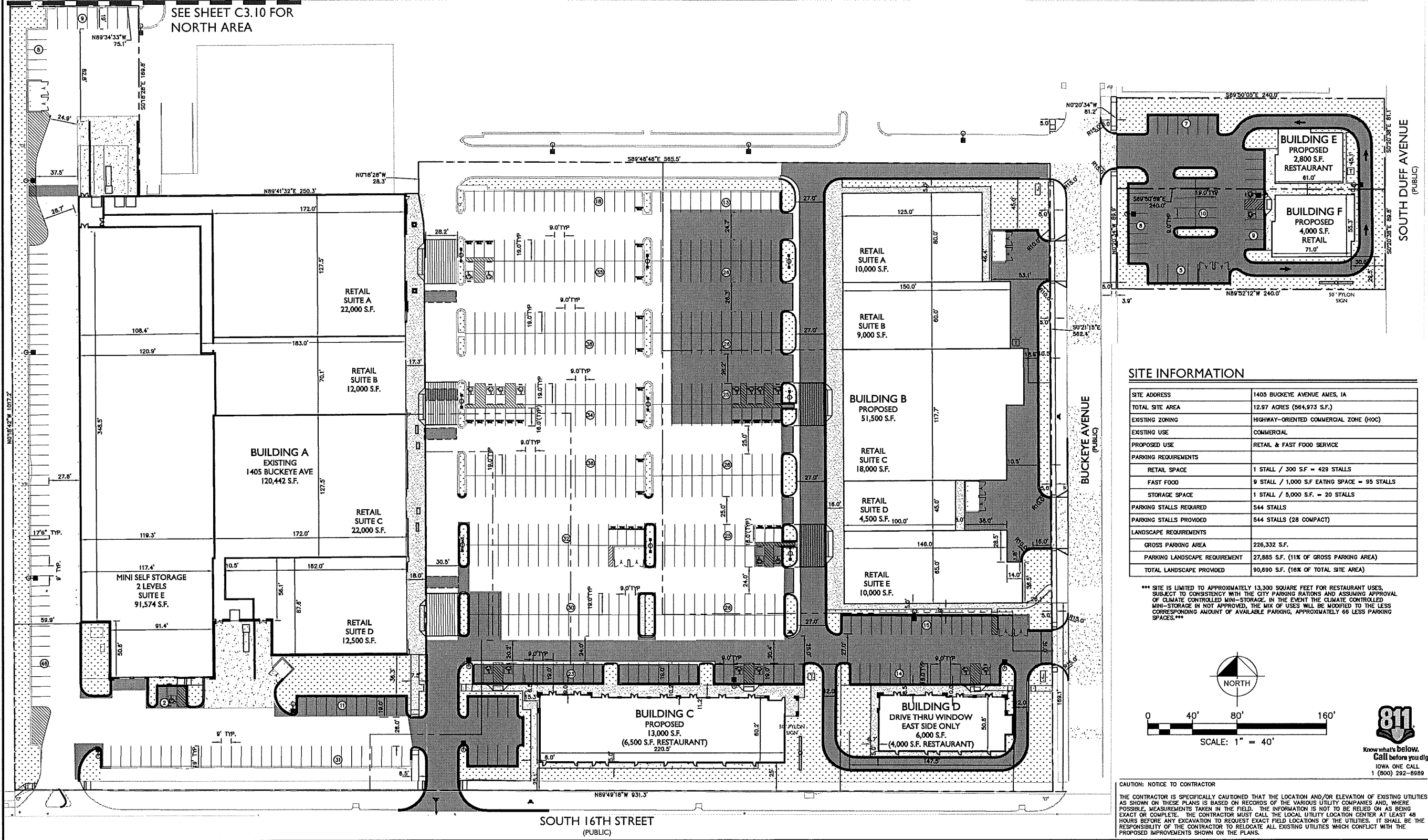
SEE SHEET C3.10 FOR NORTH AREA

**GENERAL NOTES**

1. CONTRACTOR TO VERIFY EXISTING IMPROVEMENTS SHOWN ON THE PLAN.
2. CONTRACTOR TO PROTECT IN PLACE, DURING DEMOLITION AND CONSTRUCTION, ALL EXISTING IMPROVEMENTS THAT ARE TO REMAIN AS NOTED ON THE PLAN.
3. ANY EXISTING STRUCTURE, IMPROVEMENT OR APPURTENANCE TO REMAIN THAT IS DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
4. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS NOTED OTHERWISE.
5. ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS, OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC RIGHT-OF-WAY.

**LEGEND**

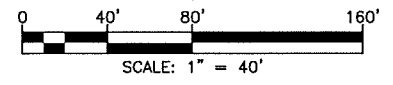
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- ADJACENT PROPERTY LINE
- PROPOSED SAWCUT LINE
- PROPOSED A.C. PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- PROPOSED LANDSCAPE



**SITE INFORMATION**

SITE ADDRESS	1405 BUCKEYE AVENUE AMES, IA
TOTAL SITE AREA	12.97 ACRES (564,973 S.F.)
EXISTING ZONING	HIGHWAY-ORIENTED COMMERCIAL ZONE (HOC)
EXISTING USE	COMMERCIAL
PROPOSED USE	RETAIL & FAST FOOD SERVICE
PARKING REQUIREMENTS	
RETAIL SPACE	1 STALL / 300 SF = 429 STALLS
FAST FOOD	9 STALL / 1,000 SF EATING SPACE = 99 STALLS
STORAGE SPACE	1 STALL / 5,000 S.F. = 20 STALLS
PARKING STALLS REQUIRED	544 STALLS
PARKING STALLS PROVIDED	544 STALLS (28 COMPACT)
LANDSCAPE REQUIREMENTS	
GROSS PARKING AREA	226,332 S.F.
PARKING LANDSCAPE REQUIREMENT	27,885 S.F. (11% OF GROSS PARKING AREA)
TOTAL LANDSCAPE PROVIDED	90,890 S.F. (16% OF TOTAL SITE AREA)

\*\*\* SITE IS LIMITED TO APPROXIMATELY 13,300 SQUARE FEET FOR RESTAURANT USES, SUBJECT TO CONSISTENCY WITH THE CITY PARKING RATIOS AND ASSUMING APPROVAL OF CLIMATE CONTROLLED MINI-STORAGE. IN THE EVENT THE CLIMATE CONTROLLED MINI-STORAGE IS NOT APPROVED, THE MIX OF USES WILL BE MODIFIED TO THE LESS CORRESPONDING AMOUNT OF AVAILABLE PARKING, APPROXIMATELY 66 LESS PARKING SPACES.\*\*\*



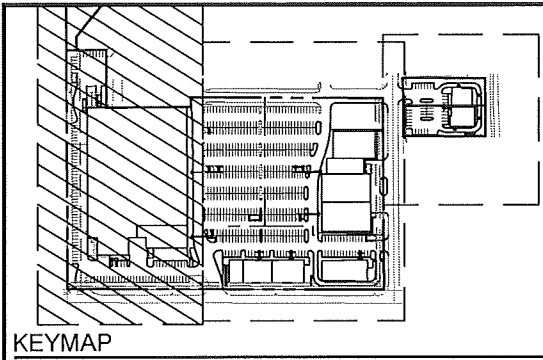
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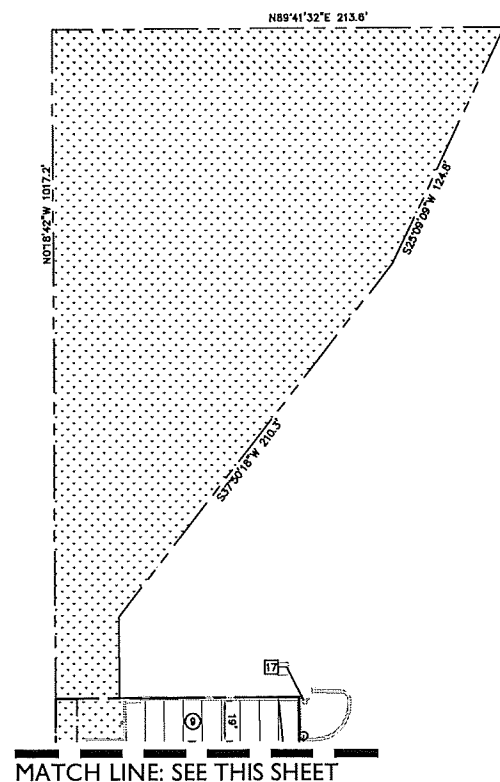
DRAWN BY: EKJ DESIGNED BY: CFB CHECKED BY: RP PROJECT NO.: 035815000 SCALE: AS SHOWN	DATE: _____ DESCRIPTION: _____ DATE: _____ DESCRIPTION: _____ DATE: _____ DESCRIPTION: _____	<b>HORIZONTAL CONTROL PLAN</b>  <b>SHOPPES ON SOUTH DUFF</b> AMES, IOWA
<b>PRELIMINARY</b> FOR REVIEW ONLY NOT FOR CONSTRUCTION 		
SHEET <b>C3.00</b>		

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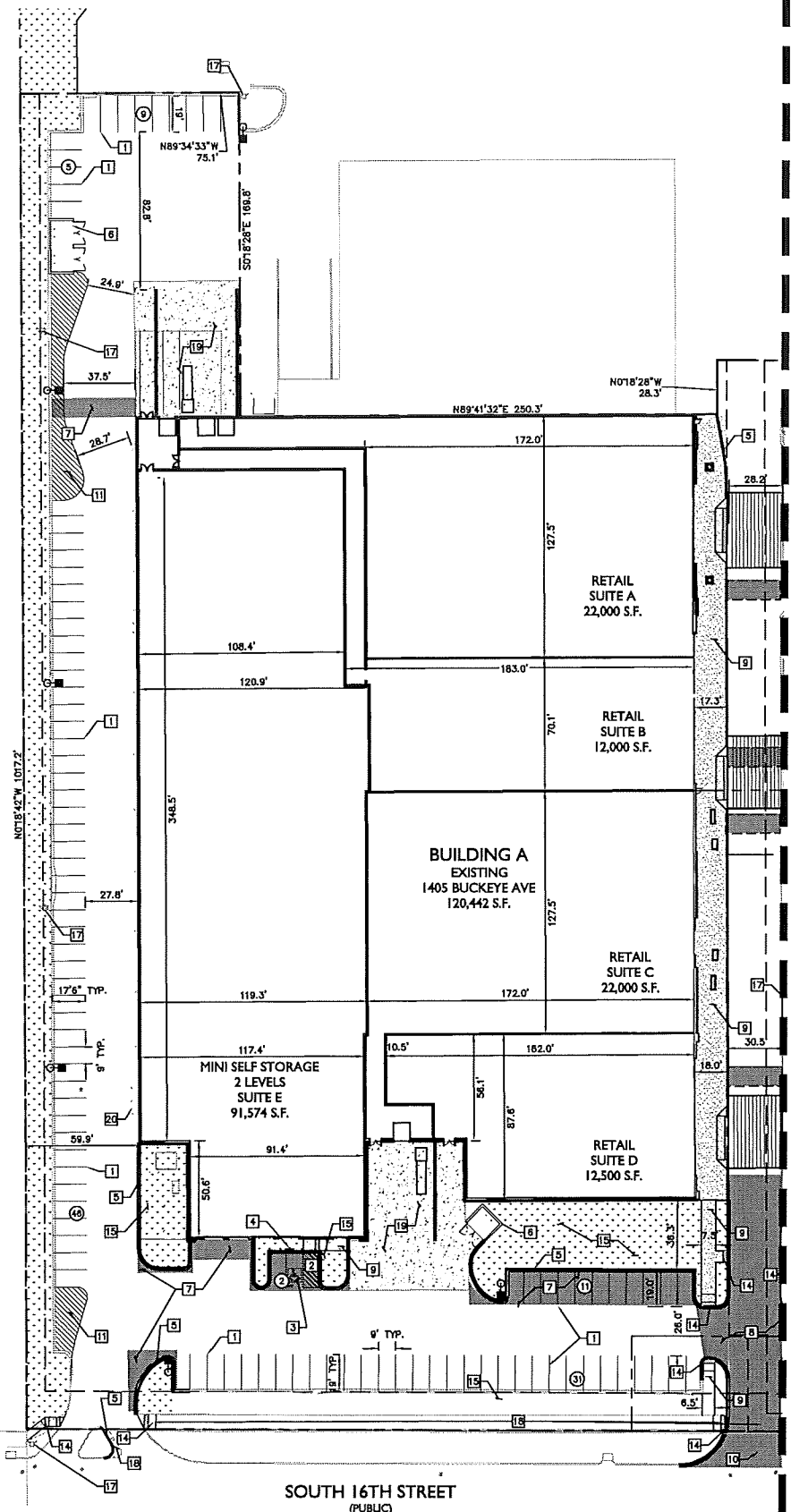
Date: November 5, 2018 12:06 PM User: BICK, CHRIS  
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 This document, together with the landscape and design presented herein, is a representation of work to be performed by Kimley-Horn and Associates, Inc. and shall be without liability to Kimley-Horn and Associates, Inc. without the written consent of Kimley-Horn and Associates, Inc.



KEYMAP



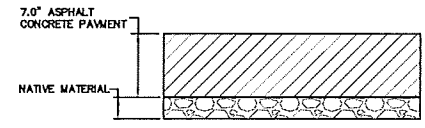
MATCH LINE: SEE THIS SHEET



SOUTH 16TH STREET  
(PUBLIC)

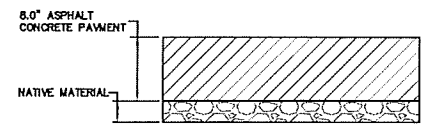
MATCH LINE: SEE SHEET C3.20

\*\*\* SITE IS LIMITED TO APPROXIMATELY 13,300 SQUARE FEET FOR RESTAURANT USES, SUBJECT TO CONSISTENCY WITH THE CITY PARKING RATIOS AND ASSUMING APPROVAL OF CLIMATE CONTROLLED MINI-STORAGE. IN THE EVENT THE CLIMATE CONTROLLED MINI-STORAGE IS NOT APPROVED, THE MIX OF USES WILL BE MODIFIED TO THE LESS CORRESPONDING AMOUNT OF AVAILABLE PARKING, APPROXIMATELY 66 LESS PARKING SPACES.\*\*\*



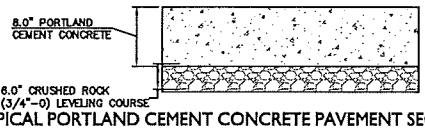
STANDARD DUTY ASPHALT CONCRETE PAVEMENT SECTION NOT TO SCALE

NOTE  
 1. STRUCTURAL FILL AND SUBGRADE SHALL BE PREPARED, PLACED, AND COMPACTED ACCORDING TO THE GEOTECHNICAL REPORT, SUDAS REQUIREMENTS AND THE CITY OF AMES SUPPLEMENTAL REQUIREMENTS.



HEAVY DUTY ASPHALT CONCRETE PAVEMENT SECTION NOT TO SCALE

NOTE  
 1. STRUCTURAL FILL AND SUBGRADE SHALL BE PREPARED, PLACED, AND COMPACTED ACCORDING TO THE GEOTECHNICAL REPORT, SUDAS REQUIREMENTS AND THE CITY OF AMES SUPPLEMENTAL REQUIREMENTS.



TYPICAL PORTLAND CEMENT CONCRETE PAVEMENT SECTION NOT TO SCALE

NOTE  
 1. STRUCTURAL FILL AND SUBGRADE SHALL BE PREPARED, PLACED, AND COMPACTED ACCORDING TO THE GEOTECHNICAL REPORT, SUDAS REQUIREMENTS AND THE CITY OF AMES SUPPLEMENTAL REQUIREMENTS.

GENERAL NOTES

- CONTRACTOR TO VERIFY EXISTING IMPROVEMENTS SHOWN ON THE PLAN.
- CONTRACTOR TO PROTECT IN PLACE, DURING DEMOLITION AND CONSTRUCTION, ALL EXISTING IMPROVEMENTS THAT ARE TO REMAIN AS NOTED ON THE PLAN.
- ANY EXISTING STRUCTURE, IMPROVEMENT OR APPURTENANCE TO REMAIN THAT IS DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS NOTED OTHERWISE.
- ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS, OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC RIGHT-OF-WAY.

CONSTRUCTION NOTES

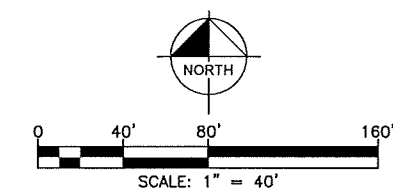
- INSTALL STRIPING WITH 4" WIDE MARKING (WHITE ACRYLIC PAINT) PER SUDAS SPECIFICATIONS.
- INSTALL 4" (WHITE) PAINT STRIPE AT 24" O.C. @ 45°
- INSTALL ADA ACCESSIBLE PARKING SIGN PER SUDAS SPECIFICATIONS.
- INSTALL ADA ACCESSIBLE PARKING SIGN PANEL PER DETAIL ON SHEET C6.14.
- FURNISH AND INSTALL 6" CURB AND GUTTER PER DETAIL ON SHEET C6.11.
- INSTALL TRASH ENCLOSURE. SEE SHEET C6.15 FOR DETAILS.
- INSTALL 7" ASPHALT OVER NATIVE MATERIAL IN PARKING AREA. SEE SOILS REPORT, SUDAS REQUIREMENTS, AND C3.10.
- INSTALL 8" ASPHALT OVER NATIVE MATERIAL IN MAIN CORRIDOR. SEE SOILS REPORT, SUDAS REQUIREMENTS, AND C3.10.
- CONSTRUCT CONCRETE SIDEWALK PER SUDAS. REF DETAIL ON SHEET C6.12.
- CONSTRUCT COMMERCIAL DRIVEWAY PER SUDAS. REF DETAIL ON SHEET C6.11.
- INSTALL 4" (YELLOW) PAINT STRIPE AT 45° ANGLE AT 24" O.C.
- CONSTRUCT 3' OR 6' (PER PLAN) CONCRETE WATERWAY PER DETAIL ON SHEET C6.14.
- PROPOSED FIRE LANE SIGNAGE AND STRIPING PER CITY OF AMES STANDARDS.
- CONSTRUCT SIDEWALK RAMP PER ADA AND SUDAS. REFER TO GRADING PLAN AND DETAIL SHEET C6.12 FOR DETAILS. CONTRACTOR WILL BE REQUIRED TO PROVIDE AS-BUILTS FOR EACH RAMP TO VERIFY COMPLIANCE TO ADA STANDARDS AND SPECIFICATIONS.
- LANDSCAPE AREA. REFER TO LANDSCAPE PLANS.
- PROPOSED FIRE HYDRANT.
- EXISTING FIRE HYDRANT.
- EXISTING 8" CITY PATH TO REMAIN.
- INSTALL 8" PCC OVER 6" COMPACTED NATIVE MATERIAL PUBLIC RIGHT OF WAY PER SUDAS REQUIREMENTS AND CITY OF AMES SUPPLEMENTAL REQUIREMENTS.
- EXISTING POST INDICATOR VALVE.

SITE INFORMATION

SITE ADDRESS	1405 BUCKEY AVENUE AMES, IA
TOTAL SITE AREA	12.97 ACRES (564,973 S.F.)
EXISTING ZONING	HIGHWAY-ORIENTED COMMERCIAL ZONE (HOC)
EXISTING USE	COMMERCIAL
PROPOSED USE	RETAIL & FAST FOOD SERVICE
PARKING REQUIREMENTS	
RETAIL SPACE	1 STALL / 300 S.F. = 429 STALLS
FAST FOOD	9 STALL / 1,000 S.F. EATING SPACE = 95 STALLS
STORAGE SPACE	1 STALL / 5,000 S.F. = 20 STALLS
PARKING STALLS REQUIRED	544 STALLS
PARKING STALLS PROVIDED	544 STALLS (28 COMPACT)
LANDSCAPE REQUIREMENTS	
GROSS PARKING AREA	226,332 S.F.
PARKING LANDSCAPE REQUIREMENT	27,865 S.F. (11% OF GROSS PARKING AREA)
TOTAL LANDSCAPE PROVIDED	90,690 S.F. (16% OF TOTAL SITE AREA)

LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- ADJACENT PROPERTY LINE
- PROPOSED SANOUT LINE
- PROPOSED A.C. PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- PROPOSED LANDSCAPE
- COMPACT STALL

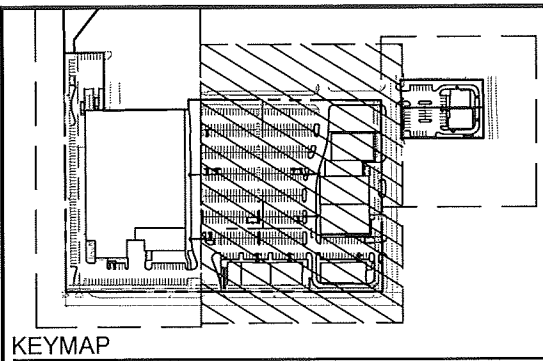


CAUTION: NOTICE TO CONTRACTOR

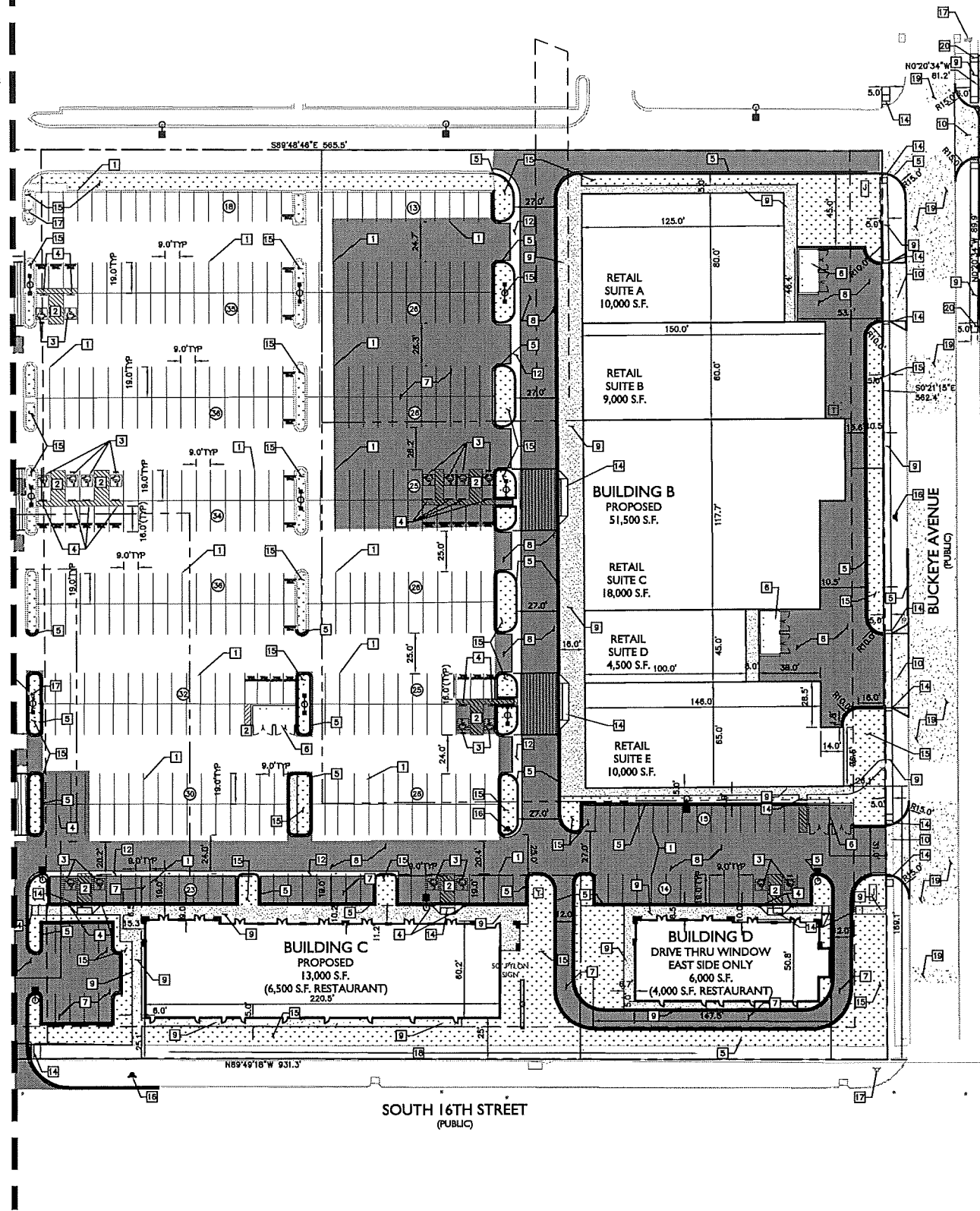
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

DESCRIPTION	
DATE	
<b>Kimley»Horn</b> 215 South State Street, Suite 401 Salt Lake City, UT 84111   Tel. No. (801) 212-3176	
DRAWN BY: EJK DESIGNED BY: CFB CHECKED BY: RP PROJECT No.: 0292815000 SCALE: AS SHOWN	HORIZONTAL CONTROL PLAN
SEAL	SHOPPES ON SOUTH DUFF AMES, IOWA
PRELIMINARY FOR REVIEW ONLY NOT FOR CONSTRUCTION <b>Kimley»Horn</b>	SHEET <b>C3.10</b>

Date: November 6, 2018 12:08 PM User: BCK, CUBS  
 Path: N:\SUDS\21503\21503000\PRINTING - AMES\IN-CAD\PLAN SHEETS\0815000\_HCDWG  
 This document, together with the contracts and design instrument, is intended only for the specific purpose and shall not be construed, in whole or in part, as a contract or agreement between the parties.



MATCH LINE: SEE SHEET C1.10



MATCH LINE: SEE SHEET C1.30

**GENERAL NOTES**

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**CONSTRUCTION NOTES**

- INSTALL STRIPING WITH 4" WIDE MARKING (WHITE ACRYLIC PAINT) PER SUDAS SPECIFICATIONS.
- INSTALL 4" (WHITE) PAINT STRIPE AT 24" O.C. @ 45°
- INSTALL ADA PAVEMENT LEGEND (WHITE PAINT) PER SUDAS SPECIFICATIONS.
- INSTALL ADA ACCESSIBLE PARKING SIGN PANEL PER DETAIL ON SHEET C6.14.
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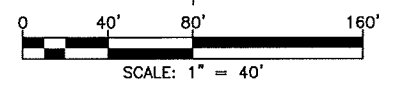
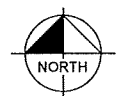
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EXISTING USE	COMMERCIAL
PROPOSED USE	RETAIL & FAST FOOD SERVICE
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RETAIL SPACE	1 STALL / 300 S.F. = 429 STALLS
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STORAGE SPACE	1 STALL / 5,000 S.F. = 20 STALLS
PARKING STALLS REQUIRED	544 STALLS
PARKING STALLS PROVIDED	544 STALLS (28 COMPACT)
LANDSCAPE REQUIREMENTS	
GROSS PARKING AREA	226,332 S.F.
PARKING LANDSCAPE REQUIREMENT	27,885 S.F. (11% OF GROSS PARKING AREA)
TOTAL LANDSCAPE PROVIDED	90,890 S.F. (16% OF TOTAL SITE AREA)

**LEGEND**

- PROPERTY LINE
- RIGHT-OF-WAY LINE
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- PROPOSED SAWCUT LINE
- PROPOSED A.C. PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- PROPOSED LANDSCAPE
- COMPACT STALL

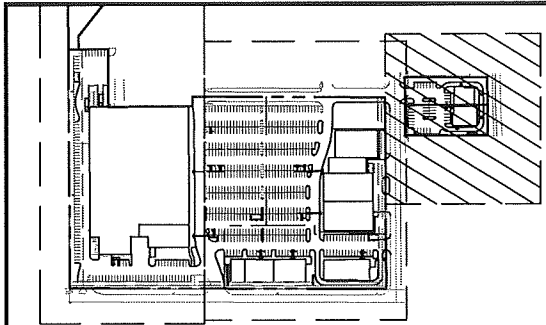
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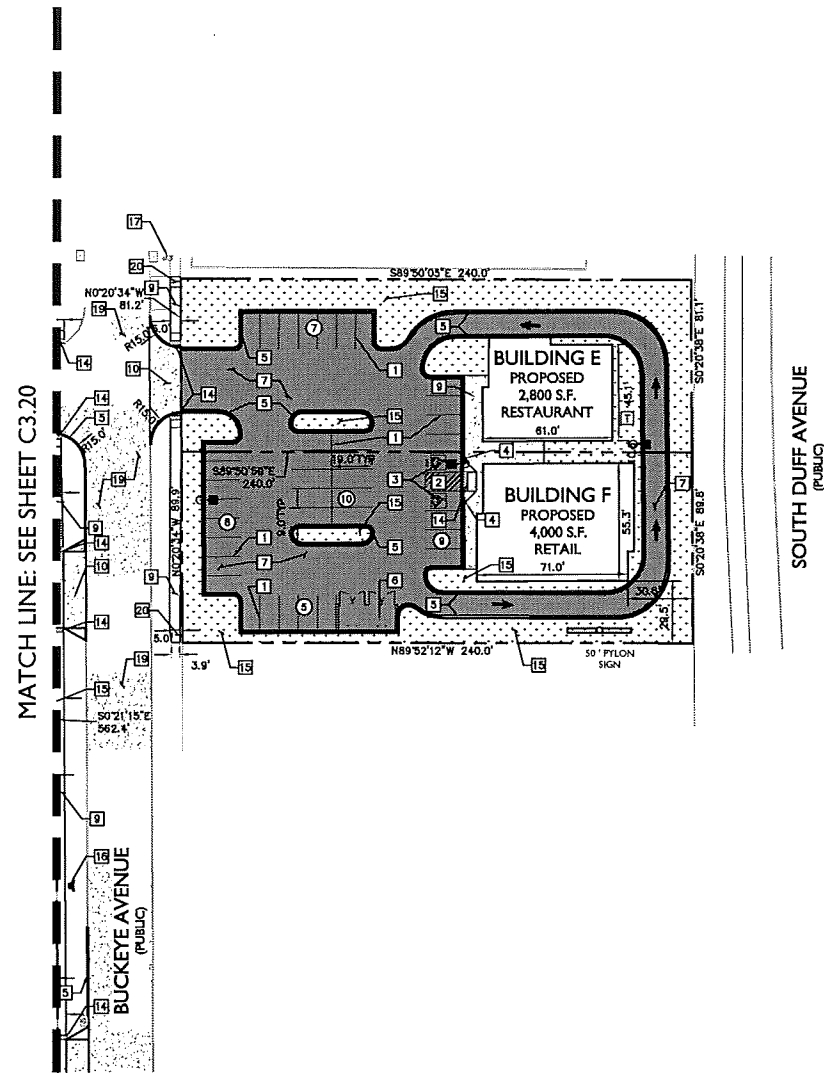
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DRAWN BY: BKJ DESIGNED BY: CFB CHECKED BY: RP PROJECT No.: 032615000	DATE: 11/05/2018 SCALE: AS SHOWN	SEAL	PRELIMINARY FOR REVIEW ONLY NOT FOR CONSTRUCTION Kimley»Horn	SHEET <b>C3.20</b>	<p><b>HORIZONTAL CONTROL PLAN</b></p> <p><b>SHOPPES ON SOUTH DUFF</b> AMES, IOWA</p> <p style="font-size: 2em; font-weight: bold; text-align: center;">Kimley»Horn</p> <p style="font-size: 0.8em; text-align: center;">215 South State Street, Suite 400   Salt Lake City, UT 84111   Tel. No. (866) 521-3176</p>
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Date: November 5, 2018 12:08 PM User: BICK, CHRIS  
 Path: K:\SCLC\_CIVIL\0815000\_ONPOINT - AMES, IA\CADD\PLAN\_SHEETS\0815000\_HCDWG  
 This document, together with the concepts and design presented herein, is intended only for the specific purpose and client for which it was prepared, issued or approved, and shall not be used for any other purpose without the written authorization of Kimley-Horn and Associates, Inc.



KEYMAP



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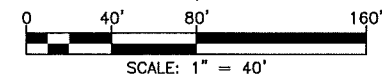
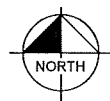
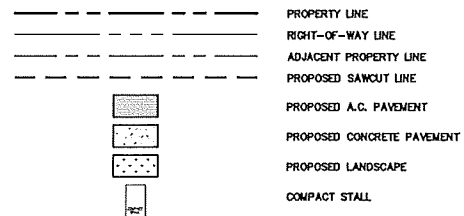
CONSTRUCTION NOTES

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- INSTALL ADA PAVEMENT LEGEND (WHITE PAINT) PER SUDAS SPECIFICATIONS.
- INSTALL ADA ACCESSIBLE PARKING SIGN PANEL PER DETAIL ON SHEET C8.14.
- FURNISH AND INSTALL 6" CURB AND GUTTER PER DETAIL ON SHEET C8.11.
- INSTALL TRASH ENCLOSURE. SEE SHEET C8.15 FOR DETAILS.
- INSTALL 7" ASPHALT OVER NATIVE MATERIAL IN PARKING AREA. SEE SOILS REPORT, SUDAS REQUIREMENTS, AND C3.10.
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- LANDSCAPE AREA. REFER TO LANDSCAPE PLANS.
- PROPOSED FIRE HYDRANT.
- EXISTING FIRE HYDRANT.
- EXISTING 8' CITY PATH TO REMAIN.
- INSTALL 8" PCC OVER OVER 6" COMPACTED NATIVE MATERIAL PUBLIC RIGHT OF WAY PER SUDAS REQUIREMENTS AND CITY OF AMES SUPPLEMENTAL REQUIREMENTS.
- CONTRACTOR TO TRANSITION SIDEWALK FROM APPROXIMATELY 4' TO 5' WITHIN ONE PANEL LENGTH. EXTEND NEW SIDEWALK TOWARDS BUCKEYE AVE.

SITE INFORMATION

SITE ADDRESS	1404 & 1410 BUCKEYE AVENUE AMES, IA
TOTAL SITE AREA	0.97 ACRES (40,964.4 S.F.)
EXISTING ZONING	HIGHWAY-ORIENTED COMMERCIAL ZONE (HOC)
EXISTING USE	OPEN SPACE
PROPOSED USE	RETAIL & FAST FOOD SERVICE
PARKING REQUIREMENTS	
RETAIL SPACE	1 STALL / 300 S.F. = 429 STALLS
FAST FOOD	9 STALL / 1,000 S.F. EATING SPACE = 95 STALLS
STORAGE SPACE	1 STALL / 5,000 S.F. = 20 STALLS
PARKING STALLS REQUIRED	39 STALLS
PARKING STALLS PROVIDED	39 STALLS
LANDSCAPE REQUIREMENTS	
GROSS PARKING AREA	16,069 S.F.
PARKING LANDSCAPE REQUIREMENT	5,197 S.F. (32% OF GROSS PARKING AREA)
TOTAL LANDSCAPE PROVIDED	13,277 S.F. (34% OF TOTAL SITE AREA)

LEGEND

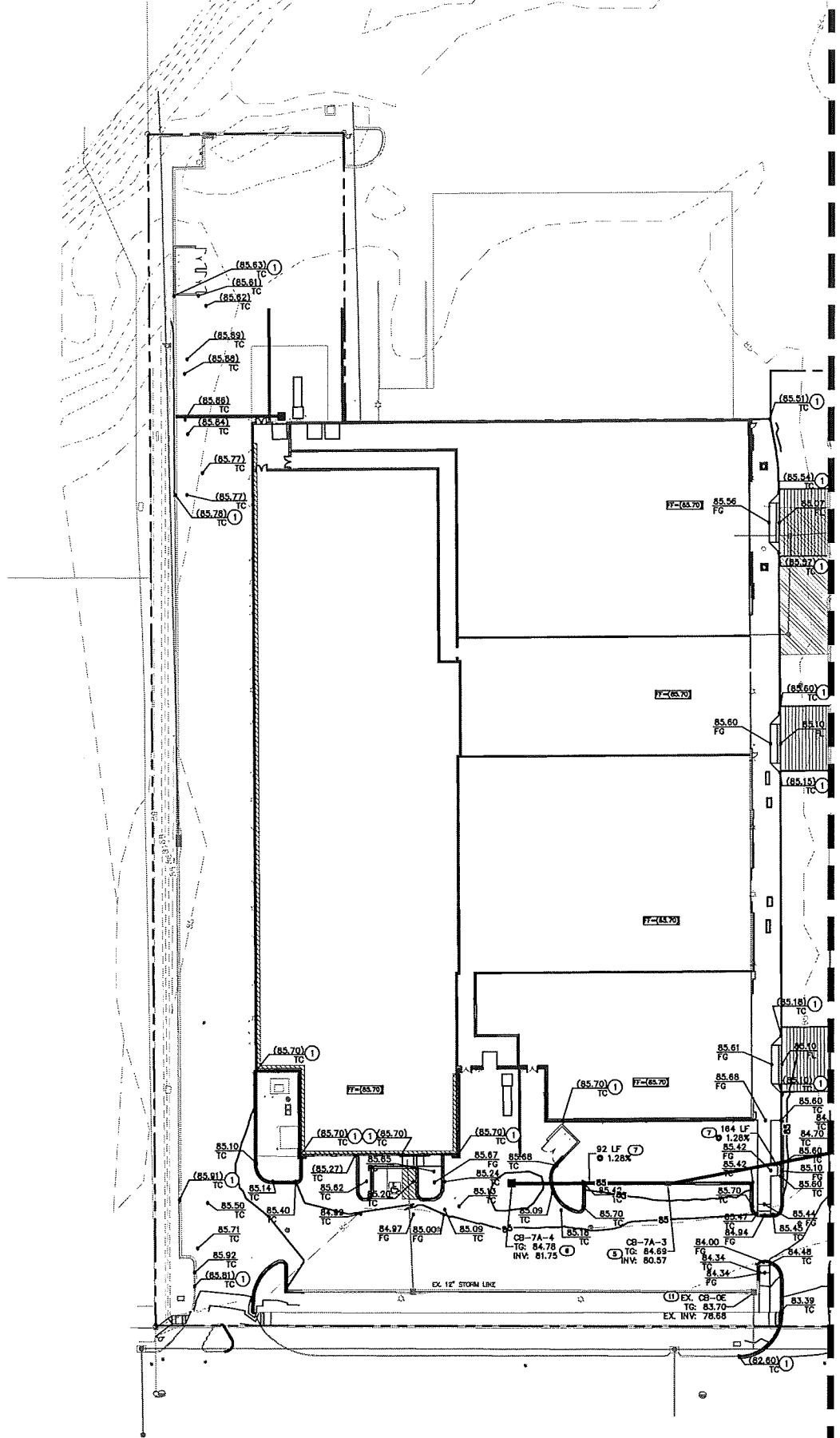
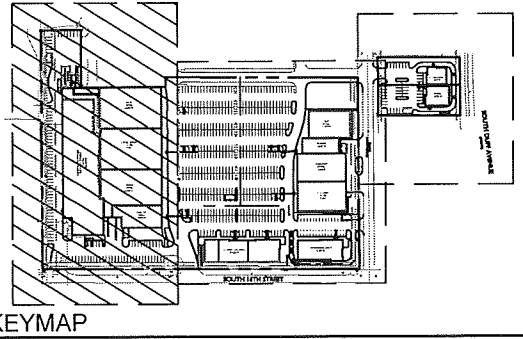


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DESCRIPTION	
DATE	
SCALE	AS SHOWN
PROJECT No.	092615000
CHECKED BY:	RP
DESIGNED BY:	CPR
DRAWN BY:	EJK
SEAL	
<b>HORIZONTAL CONTROL PLAN</b> <b>SHOPPES ON SOUTH DUFF</b> <b>AMES, IOWA</b>	
<b>PRELIMINARY</b> <b>FOR REVIEW ONLY</b> <b>NOT FOR CONSTRUCTION</b> 	
SHEET <b>C3.30</b>	

Date: November 5, 2018 12:06 PM User: BICK, CHRIS  
 Path: K:\SIC\_CIVIL\081815000 ONPOINT - AMES, IA\CADD\PLAN SHEETS\081815000\_GD.DWG  
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MATCH LINE: SEE SHEET C4.20

**GENERAL NOTES**

- CONTRACTOR TO VERIFY EXISTING GRADES SHOWN ON THE PLAN.
- CONTRACTOR TO ENSURE POSITIVE DRAINAGE. IF A CONFLICT OCCURS BETWEEN THESE PLANS AND FIELD CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- ALL GRADING AND EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERING REPORT.  
 ENGINEER: ALLENDER BUTZKE ENGINEERS INC.  
 ADDRESS: 3100 JUSTIN DRIVE SUITE F  
 URBANDALE, IA 50322  
 PHONE: (515) 252-1885  
 DATE: JULY 26, 1993  
 PROJECT No.: PH 921130A
- ALL EXISTING UTILITY LOCATIONS SHOWN HEREIN ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

**GRADING NOTES**

- ① MATCH EXISTING GRADE.

**STORM DRAIN NOTES**

- FURNISH AND INSTALL PRIVATE 18" HDPE STORM DRAIN PIPE.
- FURNISH AND INSTALL PRIVATE 24" HDPE STORM DRAIN PIPE.
- FURNISH AND INSTALL PRIVATE 48" STORM DRAIN MANHOLE PER DETAIL ON SHEET C6.13.
- CONVERT EXISTING CATCH BASIN TO MANHOLE. VERIFY INVERT PRIOR TO CONSTRUCTION.
- FURNISH AND INSTALL PRIVATE 2'x4' STORM DRAIN CURB INLET. REF DETAIL SW-501 ON SHEET C6.13.
- FURNISH AND INSTALL PRIVATE CB CATCH BASIN (OR SIMILAR PRODUCT). CHOOSE BASIN PER LARGEST PIPE CONNECTION AND ALLOWABLE KNOCKOUT SIZE ALLOWED ON DETAIL. REF DETAIL CB-B36 ON SHEET C6.13.
- FURNISH AND INSTALL PRIVATE 12" HDPE STORM DRAIN PIPE.
- STUB AND CAP PVC ROOF DRAIN PIPE FOR CONNECTION TO ROOF DRAIN. SEE PLUMBING PLANS FOR CONTINUATION. CONTRACTOR TO VERIFY INVERTS PRIOR TO CONSTRUCTION.
- FURNISH AND INSTALL PUBLIC 12" RCP STORM DRAIN PIPE.
- OUTFALL TO PROPOSED UNDERGROUND DETENTION POND.
- OUTFALL TO EXISTING STORM SYSTEM.
- FURNISH AND INSTALL PRIVATE 30" HDPE STORM DRAIN PIPE.

**DETENTION NOTE**

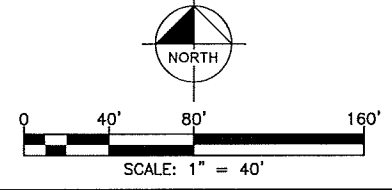
DETENTION STORAGE IS BASED ON A STAGED RELEASE FOR THE 5, 10 AND 100 YEAR STORMS USING A PRE-SETTLEMENT CURVE NUMBER OF 58 FOR ALL DISTURBED AREAS TO CALCULATE THE ALLOWABLE RELEASE RATES. THE ACCOMPANYING DRAINAGE REPORT SHOWS FURTHER CALCULATIONS AND VOLUMES FOR STORAGE. REFER TO DRAINAGE REPORT FOR COMPLETE DETENTION CALCULATIONS AND DETAILS.

**LEGEND**

---	PROPERTY LINE
---	RIGHT-OF-WAY LINE
---	ADJACENT PROPERTY LINE
---	EXISTING IMPROVEMENTS
---	SAWTOOTH LINE
---	GRADE BREAK
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	EXISTING STORM SEWER LINE
---	PROPOSED STORM SEWER LINE
---	EXTREME EVENT LOW POINT
①	EXISTING GRADE SPOT ELEVATION
②	PROPOSED GRADE SPOT ELEVATION

**ABBREVIATIONS**

①	FINISHED GRADE SPOT ELEVATION
②	FINISHED FLOOR SPOT ELEVATION
③	TOP OF CURB SPOT ELEVATION
④	FLOW LINE SPOT ELEVATION
⑤	HIGH POINT SPOT ELEVATION



**CAUTION: NOTICE TO CONTRACTOR**

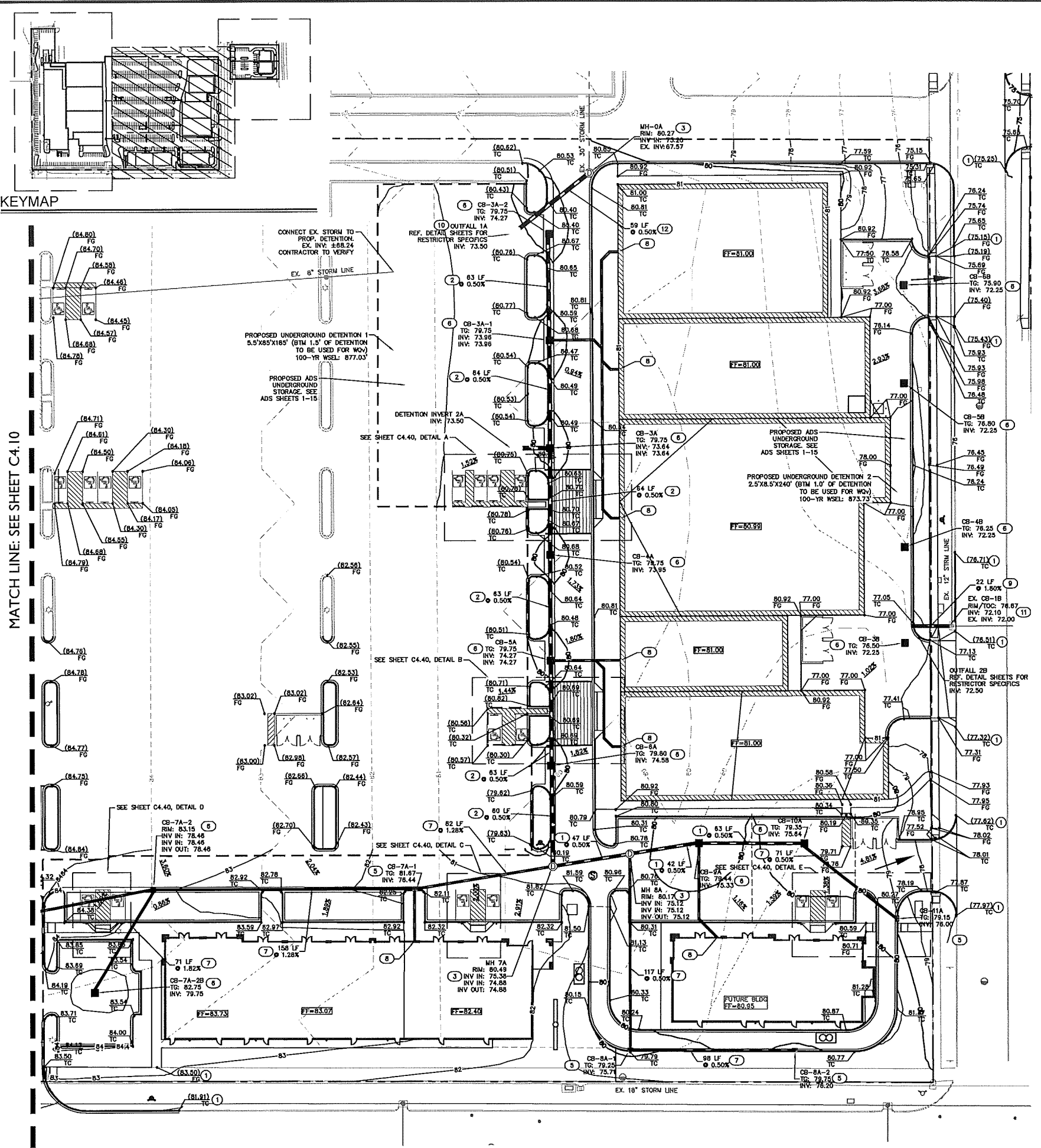
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

DATE		DESCRIPTION							
DRAWN BY:	EJK	11/05/2018							
DESIGNED BY:	CFB	11/05/2018							
CHECKED BY:	RP	11/05/2018							
PROJECT No.:	083615000	SCALE:	AS SHOWN						
SEAL									
<b>PRELIMINARY</b>									
FOR REVIEW ONLY									
NOT FOR CONSTRUCTION									
<b>Kimley»Horn</b>									
SHEET									
<b>C4.10</b>									

GRADING PLAN

SHOPPES ON SOUTH DUFF  
AMES, IOWA

**Kimley»Horn**  
215 South State Street, Suite 401 | Salt Lake City, UT 84111 | Tel. No. (801) 213-1716



KEYMAP

MATCH LINE: SEE SHEET C4.10

MATCH LINE: SEE SHEET C4.30

GENERAL NOTES

- CONTRACTOR TO VERIFY EXISTING GRADES SHOWN ON THE PLAN.
- CONTRACTOR TO ENSURE POSITIVE DRAINAGE. IF A CONFLICT OCCURS BETWEEN THESE PLANS AND FIELD CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- ALL GRADING AND EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERING REPORT.  
ENGINEER: ALLENDER BUTZKE ENGINEERS INC.  
ADDRESS: 3100 JUSTIN DRIVE SUITE F  
URBANDALE, IA 50322  
PHONE: (515) 252-1885  
DATE: JULY 28, 1993  
PROJECT No.: PN 921130A
- ALL EXISTING UTILITY LOCATIONS SHOWN HEREIN ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

GRADING NOTES

- ① MATCH EXISTING GRADE.

STORM DRAIN NOTES

- FURNISH AND INSTALL PRIVATE 18" HDPE STORM DRAIN PIPE.
- FURNISH AND INSTALL PRIVATE 24" HDPE STORM DRAIN PIPE.
- FURNISH AND INSTALL PRIVATE 48" STORM DRAIN MANHOLE PER DETAIL ON SHEET C6.13.
- CONVERT EXISTING CATCH BASIN TO MANHOLE. VERIFY INVERT PRIOR TO CONSTRUCTION.
- FURNISH AND INSTALL PRIVATE 2"x4" STORM DRAIN CURB INLET. REF DETAIL SW-501 ON SHEET C6.13.
- FURNISH AND INSTALL PRIVATE CB CATCH BASIN (OR SIMILAR PRODUCT). CHOOSE BASIN PER LARGEST PIPE CONNECTION AND ALLOWABLE KNOCKOUT SIZE ALLOWED ON DETAIL. REF DETAIL CB.636 ON SHEET C6.13.
- FURNISH AND INSTALL PRIVATE 12" HDPE STORM DRAIN PIPE.
- STUB AND CAP PVC ROOF DRAIN PIPE FOR CONNECTION TO ROOF DRAIN. SEE PLUMBING PLANS FOR CONTINUATION. CONTRACTOR TO VERIFY INVERTS PRIOR TO CONSTRUCTION.
- FURNISH AND INSTALL PUBLIC 12" RCP STORM DRAIN PIPE.
- OUTFALL TO PROPOSED UNDERGROUND DETENTION POND.
- OUTFALL TO EXISTING STORM SYSTEM.
- FURNISH AND INSTALL PRIVATE 30" HDPE STORM DRAIN PIPE.

DETENTION NOTE

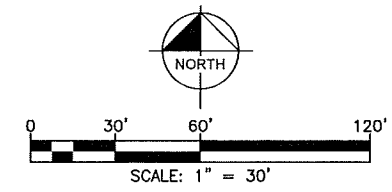
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LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY LINE
	ADJACENT PROPERTY LINE
	EXISTING IMPROVEMENTS
	SAWTOOTH LINE
	GRADE BREAK
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING STORM SEWER LINE
	PROPOSED STORM SEWER LINE
	EXTREME EVENT LOW POINT
	EXISTING GRADE SPOT ELEVATION
	PROPOSED GRADE SPOT ELEVATION

ABBREVIATIONS

	FINISHED GRADE SPOT ELEVATION
	FINISHED FLOOR SPOT ELEVATION
	TOP OF CURB SPOT ELEVATION
	FLOW LINE SPOT ELEVATION
	HIGH POINT SPOT ELEVATION



CAUTION: NOTICE TO CONTRACTOR  
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**Kimley»Horn**  
215 South State Street, Suite 401 | Salt Lake City, UT 84111 | Tel. No. (801) 213-3176

GRADING PLAN

SHOPPES ON SOUTH DUFF  
AMES, IOWA

DRAWN BY: EJK  
DESIGNED BY: CBR  
CHECKED BY: RP  
PROJECT No.: 032615000  
SCALE: AS SHOWN

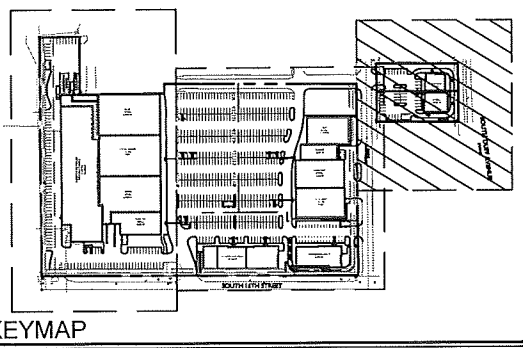
SEAL

**PRELIMINARY**  
FOR REVIEW ONLY  
NOT FOR  
CONSTRUCTION  
**Kimley»Horn**

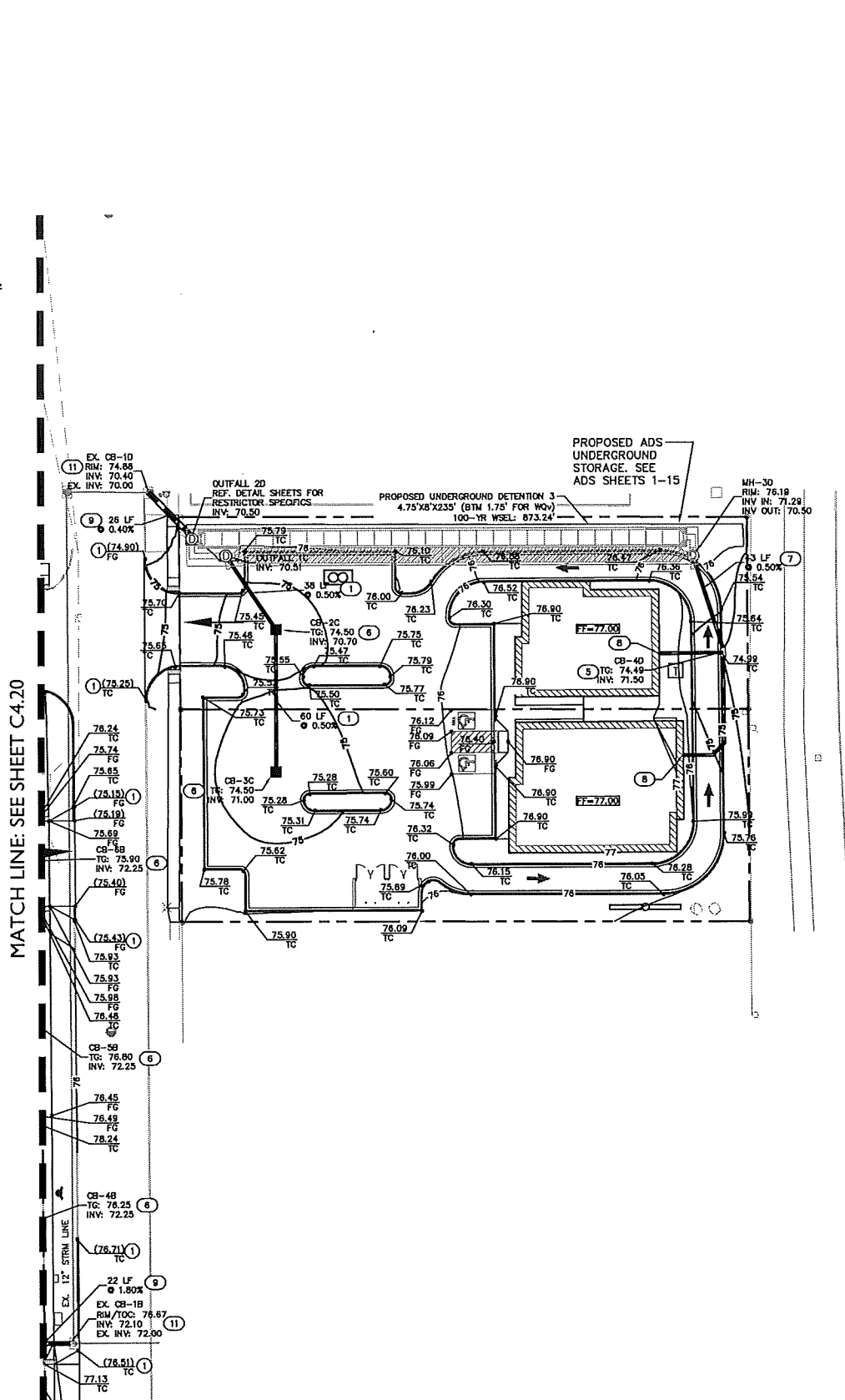
SHEET  
**C4.20**

Date: November 5, 2018 12:05 PM User: BICK, CHRIS Path: K:\SCL\_Civil\032615000\_CIVPOINT - AMES, IACAD\PLAN SHEETS\032615000\_CIV.DWG This document, together with the concepts and design presented herein, is an instrument of service, in as much as it was prepared, issued, and improved in accordance with the professional seal of the engineer and is intended to be used only for the specific project and client for which it was prepared. Release of this document, without written authorization by Kimley-Horn and Associates, Inc., shall be without liability to Kimley-Horn and Associates, Inc.

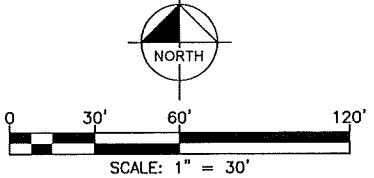
Date: November 5, 2018 12:06 PM User: BICK, CHRIS  
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KEYMAP



MATCH LINE: SEE SHEET C4.20



**GENERAL NOTES**

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- CONTRACTOR TO ENSURE POSITIVE DRAINAGE. IF A CONFLICT OCCURS BETWEEN THESE PLANS AND FIELD CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- ALL GRADING AND EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERING REPORT.  
ENGINEER: ALLENDER BUTZKE ENGINEERS INC.  
ADDRESS: 3100 JUSTIN DRIVE SUITE F  
URBANDALE, IA 50322  
PHONE: (515) 252-1885  
DATE: JULY 26, 1993  
PROJECT No.: PN 921130A
- ALL EXISTING UTILITY LOCATIONS SHOWN HEREIN ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

**GRADING NOTES**

- ① MATCH EXISTING GRADE.

**STORM DRAIN NOTES**

- FURNISH AND INSTALL PRIVATE 18" HDPE STORM DRAIN PIPE.
- FURNISH AND INSTALL PRIVATE 24" HDPE STORM DRAIN PIPE.
- FURNISH AND INSTALL PRIVATE 48" STORM DRAIN MANHOLE PER DETAIL ON SHEET C6.13.
- CONVERT EXISTING CATCH BASIN TO MANHOLE. VERIFY INVERT PRIOR TO CONSTRUCTION.
- FURNISH AND INSTALL PRIVATE 2'x4' STORM DRAIN CURB INLET. REF DETAIL SW-501 ON SHEET C6.13.
- FURNISH AND INSTALL PRIVATE CB CATCH BASIN (OR SIMILAR PRODUCT). CHOOSE BASIN PER LARGEST PIPE CONNECTION AND ALLOWABLE KNOCKOUT SIZE ALLOWED ON DETAIL. REF DETAIL CB-B36 ON SHEET C6.13.
- FURNISH AND INSTALL PRIVATE 12" HDPE STORM DRAIN PIPE.
- STUB AND CAP PVC ROOF DRAIN PIPE FOR CONNECTION TO ROOF DRAIN. SEE PLUMBING PLANS FOR CONTINUATION. CONTRACTOR TO VERIFY INVERTS PRIOR TO CONSTRUCTION.
- FURNISH AND INSTALL PUBLIC 12" RCP STORM DRAIN PIPE.
- OUTFALL TO PROPOSED UNDERGROUND DETENTION POND.
- OUTFALL TO EXISTING STORM SYSTEM.
- FURNISH AND INSTALL PRIVATE 30" HDPE STORM DRAIN PIPE.

**DETENTION NOTE**

DETENTION STORAGE IS BASED ON A STAGED RELEASE FOR THE 5, 10 AND 100 YEAR STORMS USING A PRE-SETTLEMENT CURVE NUMBER OF 50 FOR ALL DISTURBED AREAS TO CALCULATE THE ALLOWABLE RELEASE RATES. THE ACCOMPANYING DRAINAGE REPORT SHOWS FURTHER CALCULATIONS AND VOLUMES FOR STORAGE. REFER TO DRAINAGE REPORT FOR COMPLETE DETENTION CALCULATIONS AND DETAILS.

**LEGEND**

---	PROPERTY LINE
---	RIGHT-OF-WAY LINE
---	ADJACENT PROPERTY LINE
---	EXISTING IMPROVEMENTS
---	SAWTOOTH LINE
---	GRADE BREAK
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	EXISTING STORM SEWER LINE
---	PROPOSED STORM SEWER LINE
---	EXTREME EVENT LOW POINT
(86.24) FG	EXISTING GRADE SPOT ELEVATION
97.65 FG	PROPOSED GRADE SPOT ELEVATION

**ABBREVIATIONS**

97.65 FG	FINISHED GRADE SPOT ELEVATION
97.65 FF	FINISHED FLOOR SPOT ELEVATION
97.65 TC	TOP OF CURB SPOT ELEVATION
97.65 FL	FLOW LINE SPOT ELEVATION
97.65 HP	HIGH POINT SPOT ELEVATION

**CAUTION: NOTICE TO CONTRACTOR**

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DATE	DESCRIPTION

**Kimley»Horn**  
 215 South State Street, Suite 401 | Salt Lake City, UT 84111 | Tel. No. (801) 213-3176

**GRADING PLAN**  
 SHOPPES ON SOUTH DUFF  
 AMES, IOWA

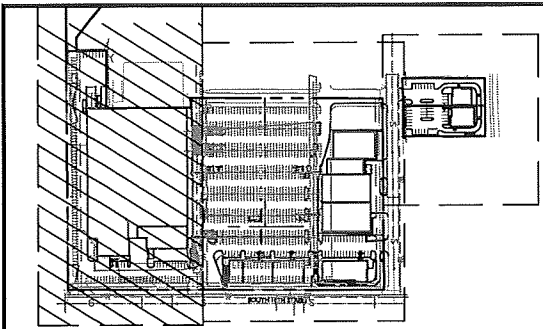
DRAWN BY: EKJ	11/05/2018
DESIGNED BY: CBR	11/05/2018
CHECKED BY: RP	11/05/2018
PROJECT No.: 038415000	SCALE: AS SHOWN

**PRELIMINARY**  
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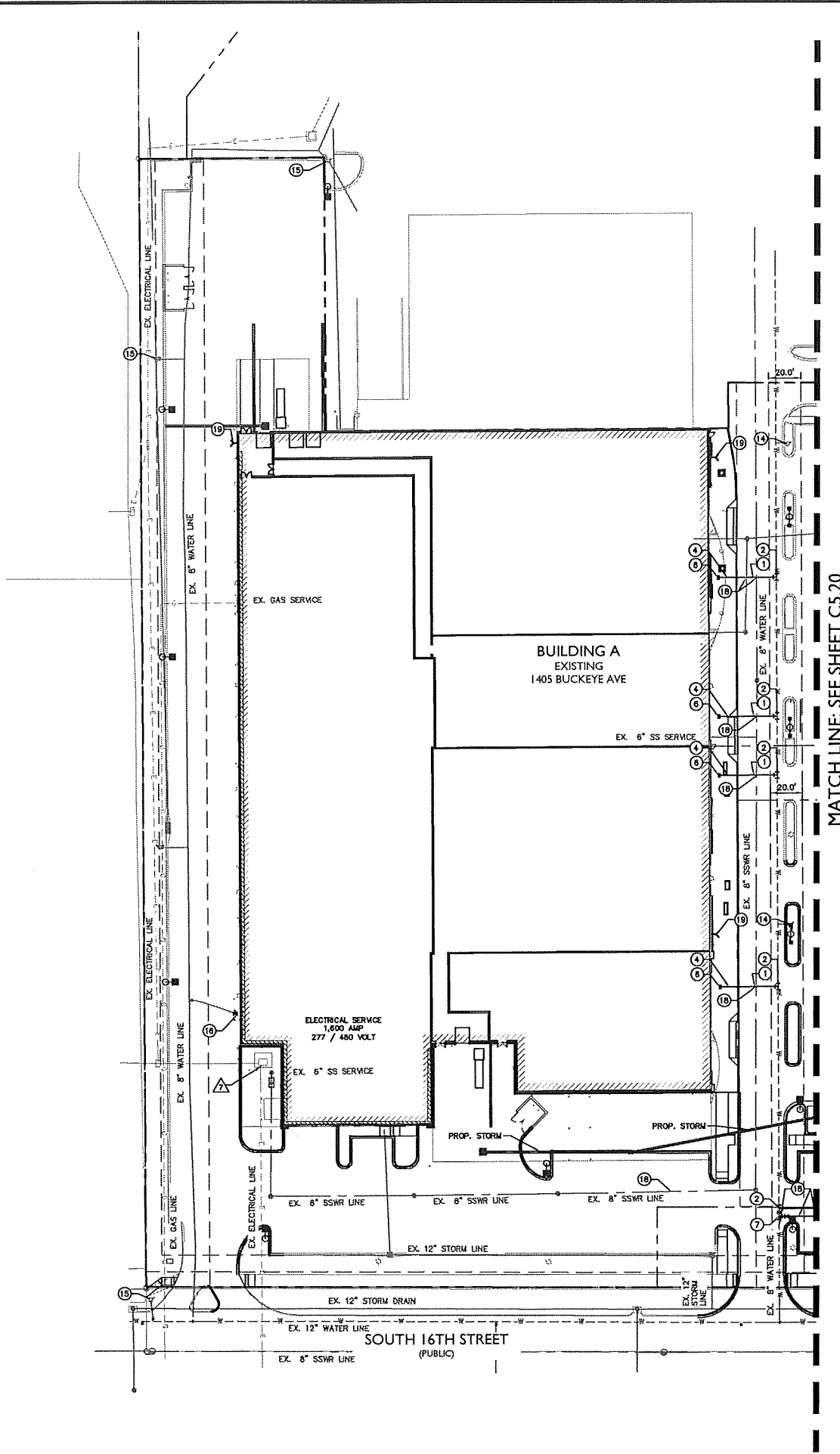
SHEET  
**C4.30**







KEYMAP



MATCH LINE: SEE SHEET C5.20

NOTE:  
 \*\*\* KNOX BOXES TO BE LOCATED BY TENANT AND CITY FIRE MARSHALL DURING CONSTRUCTION AT AGREED UPON LOCATION.\*\*\*

**GENERAL NOTES**

- CONTRACTOR TO VERIFY EXISTING IMPROVEMENTS SHOWN ON THE PLAN.
- ANY EXISTING STRUCTURE, IMPROVEMENT OR APPURTENANCE TO REMAIN THAT IS DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- ALL EXISTING UTILITIES SHOWN HEREIN ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.
- ALL ABOVE GROUND UTILITY APPURTENANCES SHALL BE ADJUSTED TO MATCH PROPOSED FINISHED GRADE ELEVATIONS.
- CONTRACTOR TO VERIFY EXISTING INVERT ELEVATIONS PRIOR CONSTRUCTION AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

**SEWER NOTES**

- TIE TO EXISTING 8" SANITARY SEWER MAIN.
- FURNISH AND INSTALL 8" SDR-35 PVC PER SUDAS STANDARDS, LENGTH AND SLOPE PER PLAN.
- FURNISH AND INSTALL 6" SANITARY SEWER CLEANOUT WITH TRAFFIC RATED LID PER SUDAS STANDARDS.
- FURNISH AND INSTALL WYE CONNECTION PER SUDAS STANDARDS.
- FURNISH AND INSTALL 48" SANITARY SEWER MANHOLE PER DETAIL, REF DETAIL SHEET C6.1.
- PROPOSED BUILDING TIE IN LOCATION. REFER TO PLUMBING PLANS BY OTHERS FOR CONTINUATION.

**WATER NOTES**

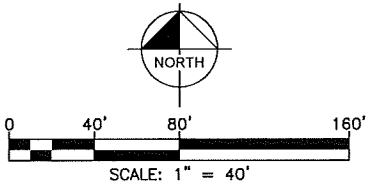
- INSTALL 2" TYPE K COPPER WATER LINE, LENGTH PER PLAN.
- INSTALL 8x8x2" TS&V CONNECTION.
- INSTALL DOUBLE CHECK VALVE ASSEMBLY.
- INSTALL 2" WATER METER IN BUILDING.
- INSTALL 3" PVC WATER LINE, LENGTH PER PLAN.
- PROPOSED BUILDING TIE IN LOCATION. REFER TO PLUMBING PLANS BY OTHERS FOR CONTINUATION.
- INSTALL 8x8x8" TS&V CONNECTION.
- INSTALL 8" C900 FIRE SERVICE LINE.
- INSTALL 6" DUCTILE IRON FIRE SERVICE LINE.
- INSTALL 8x8x8" TS&V CONNECTION.
- INSTALL 90° BEND.
- INSTALL FIRE DEPARTMENT CONNECTION. REFER TO ARCHITECTURAL AND MEP PLANS.
- INSTALL 6" FIRE HYDRANT ASSEMBLY.
- INSTALL 6" GATE VALVE.
- EXISTING FIRE HYDRANT TO REMAIN.
- EXISTING PIV TO REMAIN.
- FURNISH AND INSTALL POST INDICATOR VALVE PER SUDAS REQUIREMENTS.
- UTILITY CROSSING PER SUDAS REQUIREMENTS. CONTRACTOR TO MAINTAIN MINIMUM 3" MINIMUM HORIZONTAL SEPARATION BETWEEN WATER AND STORM SEWER.
- FURNISH AND INSTALL FIRE DEPARTMENT CONNECTION.

**DRY UTILITY CONSTRUCTION NOTES**

- ▲ PROPOSED ELECTRICAL TRANSFORMER LOCATION.
- ▲ CONTRACTOR TO COORDINATE WITH GAS COMPANY FOR INSTALLATION OF GAS METER. CONTRACTOR TO FURNISH AND INSTALL GAS SERVICE CONNECTION FROM METER TO BUILDING.
- ▲ CONTRACTOR TO COORDINATE WITH GAS COMPANY FOR CONNECTION TO EXISTING BURIED GAS LINE.
- ▲ FURNISH AND INSTALL ELECTRICAL CONDUITS.
- ▲ CONTRACTOR TO COORDINATE CONNECTION TO EXISTING TELEPHONE RISER.
- ▲ TELEPHONE CONDUIT BUILDING ENTRY LOCATION.
- ▲ EXISTING ELECTRICAL TRANSFORMER. CONTRACTOR TO COORDINATE WITH POWER COMPANY FOR NEW SERVICE.

**LEGEND**

---	PROPERTY LINE
- - - - -	RIGHT-OF-WAY LINE
- - - - -	ADJACENT PROPERTY LINE
- - - - -	PROPOSED SEWER LINE
- - - - -	PROPOSED NATURAL GAS LINE
- - - - -	PROPOSED WATER LINE
- - - - -	PROPOSED STORM SEWER LINE
- - - - -	PROPOSED BURIED TELEPHONE LINE
- - - - -	PROPOSED BURIED COMMUNICATIONS LINE
- - - - -	PROPOSED BURIED POWER LINE
- - - - -	EXISTING SEWER LINE
- - - - -	EXISTING NATURAL GAS LINE
- - - - -	EXISTING WATER LINE
- - - - -	EXISTING STORM SEWER LINE
- - - - -	EXISTING BURIED TELEPHONE LINE
- - - - -	EXISTING BURIED COMMUNICATIONS LINE



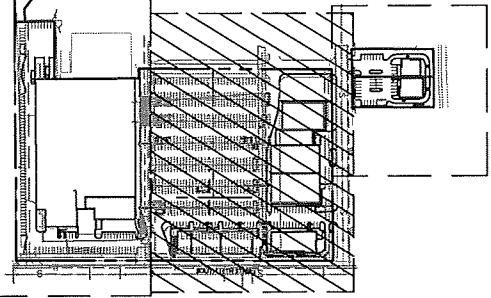
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Date: November 5, 2018 2:07 PM User: DICK, CHRIS  
 Path: K:\CADD\CADD\CONTRACT\CONTRACT - AMES, IA\CADD\PLAN SHEETS\2018\15000\UT.DWG  
 This document, together with the contracts and design provided herein, is an instrument of service, as an instrument of service, in accordance with the provisions of the contract documents for the project identified herein. It is intended only for the specific purpose and shall not be used for any other purpose without the written authorization of Kimley-Horn and Associates, Inc.

DRAWN BY: EKJ DESIGNED BY: CBR CHECKED BY: RP PROJECT No.: 095815000 SCALE: AS SHOWN	DATE: 11/05/2018 DATE: 11/05/2018 DATE: 11/05/2018	DESCRIPTION: UTILITY PLAN	<p><b>Kimley-Horn</b>          215 South State Street, Suite 400   Salt Lake City, UT 84111   Tel. No. (801) 212-3176</p>
SHOPPES ON SOUTH DUFF AMES, IOWA			SHEET <b>C5.10</b>



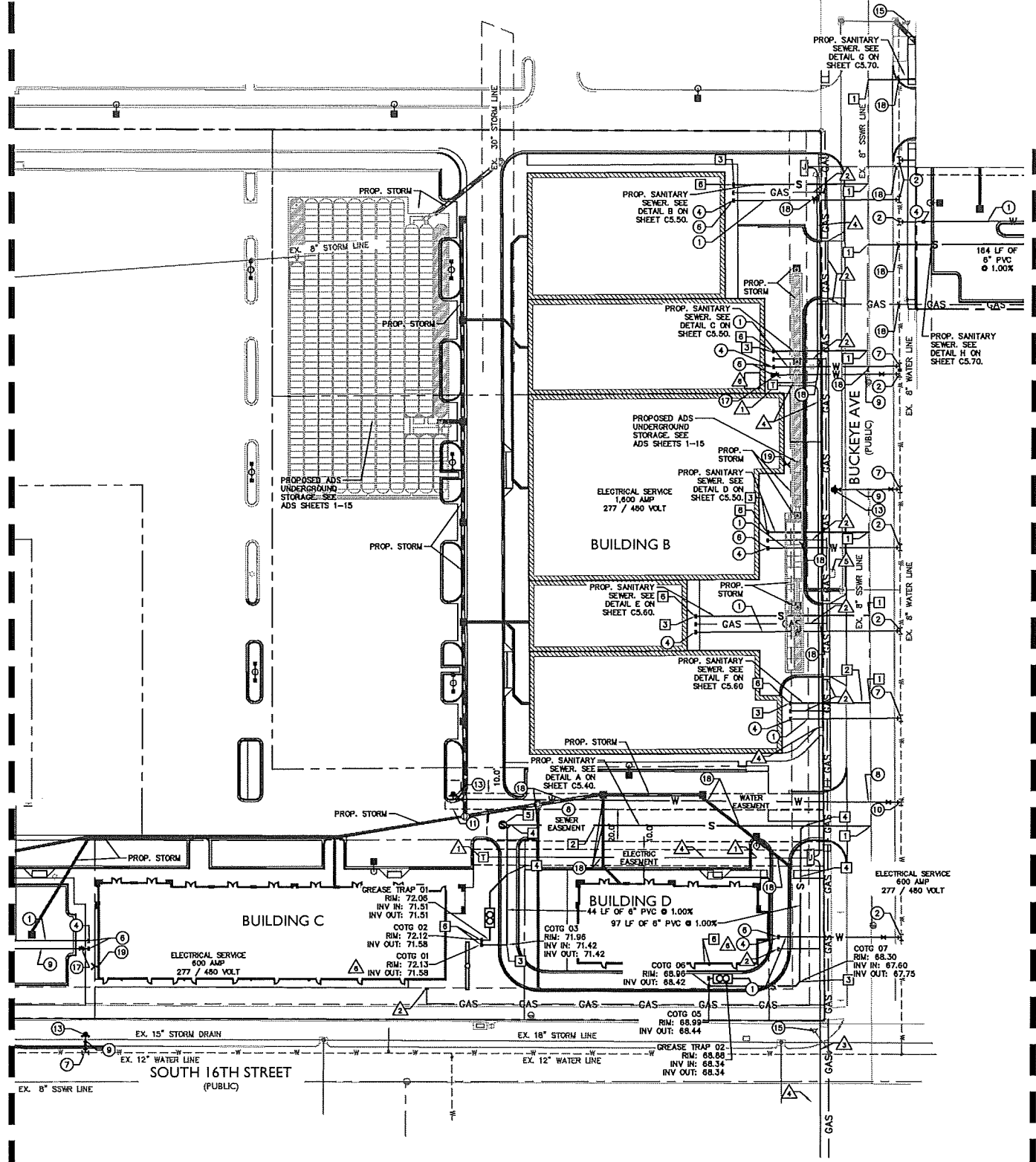
**PRELIMINARY**  
 FOR REVIEW ONLY  
 NOT FOR  
 CONSTRUCTION



KEYMAP

MATCH LINE: SEE SHEET C5.10

MATCH LINE: SEE SHEET C5.30



GENERAL NOTES

- CONTRACTOR TO VERIFY EXISTING IMPROVEMENTS SHOWN ON THE PLAN.
- ANY EXISTING STRUCTURE, IMPROVEMENT OR APPURTENANCE TO REMAIN THAT IS DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
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- CONTRACTOR TO VERIFY EXISTING INVERT ELEVATIONS PRIOR CONSTRUCTION AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

SEWER NOTES

- TIE TO EXISTING 8" SANITARY SEWER MAIN.
- FURNISH AND INSTALL 8" SDR-35 PVC PER SUDAS STANDARDS, LENGTH AND SLOPE PER PLAN.
- FURNISH AND INSTALL 8" SANITARY SEWER CLEANOUT WITH TRAFFIC RATED LID PER SUDAS STANDARDS.
- FURNISH AND INSTALL WYE CONNECTION PER SUDAS STANDARDS.
- FURNISH AND INSTALL 48" SANITARY SEWER MANHOLE PER DETAIL REF DETAIL SHEET C6.1.
- PROPOSED 6" PVC SANITARY SEWER BUILDING TIE IN LOCATION. REFER TO PLUMBING PLANS BY OTHERS FOR CONTINUATION.

WATER NOTES

- INSTALL 2" TYPE K COPPER WATER LINE, LENGTH PER PLAN.
- INSTALL 8x8x2" TS&V CONNECTION.
- INSTALL DOUBLE CHECK VALVE ASSEMBLY.
- INSTALL 2" WATER METER IN BUILDING.
- INSTALL 3" PVC WATER LINE, LENGTH PER PLAN.
- PROPOSED BUILDING TIE IN LOCATION. REFER TO PLUMBING PLANS BY OTHERS FOR CONTINUATION.
- INSTALL 8x8x6" TS&V CONNECTION.
- INSTALL 8" C900 FIRE SERVICE LINE.
- INSTALL 8" DUCTILE IRON FIRE SERVICE LINE.
- INSTALL 8x8x8" TS&V CONNECTION.
- INSTALL 90° BEND.
- INSTALL FIRE DEPARTMENT CONNECTION. REFER TO ARCHITECTURAL AND MEP PLANS.
- INSTALL 6" FIRE HYDRANT ASSEMBLY.
- INSTALL 6" GATE VALVE.
- EXISTING FIRE HYDRANT TO REMAIN.
- EXISTING PIV TO REMAIN.
- FURNISH AND INSTALL POST INDICATOR VALVE PER SUDAS REQUIREMENTS.
- UTILITY CROSSING PER SUDAS REQUIREMENTS. CONTRACTOR TO MAINTAIN MINIMUM 3' MINIMUM HORIZONTAL SEPARATION BETWEEN WATER AND STORM SEWER.
- FURNISH AND INSTALL FIRE DEPARTMENT CONNECTION.

DRY UTILITY CONSTRUCTION NOTES

- ▲ PROPOSED ELECTRICAL TRANSFORMER LOCATION.
- ▲ CONTRACTOR TO COORDINATE WITH GAS COMPANY FOR INSTALLATION OF GAS METER. CONTRACTOR TO FURNISH AND INSTALL GAS SERVICE CONNECTION FROM METER TO BUILDING.
- ▲ CONTRACTOR TO COORDINATE WITH GAS COMPANY FOR CONNECTION TO EXISTING BURIED GAS LINE.
- ▲ FURNISH AND INSTALL ELECTRICAL CONDUITS.
- ▲ CONTRACTOR TO COORDINATE CONNECTION TO EXISTING TELEPHONE RISER.
- ▲ TELEPHONE CONDUIT BUILDING ENTRY LOCATION.
- ▲ EXISTING ELECTRICAL TRANSFORMER. CONTRACTOR TO COORDINATE WITH POWER COMPANY FOR NEW SERVICE.

LEGEND

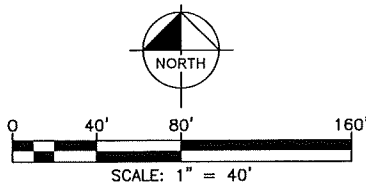
---	PROPERTY LINE
---	RIGHT-OF-WAY LINE
---	ADJACENT PROPERTY LINE
S	PROPOSED SEWER LINE
GAS	PROPOSED NATURAL GAS LINE
W	PROPOSED WATER LINE
---	PROPOSED STORM SEWER LINE
T	PROPOSED BURIED TELEPHONE LINE
COM	PROPOSED BURIED COMMUNICATIONS LINE
E	PROPOSED BURIED POWER LINE
---	EXISTING SEWER LINE
---	EXISTING NATURAL GAS LINE
---	EXISTING WATER LINE
---	EXISTING STORM SEWER LINE
T	EXISTING BURIED TELEPHONE LINE
---	EXISTING BURIED COMMUNICATIONS LINE

CAUTION: NOTICE TO CONTRACTOR

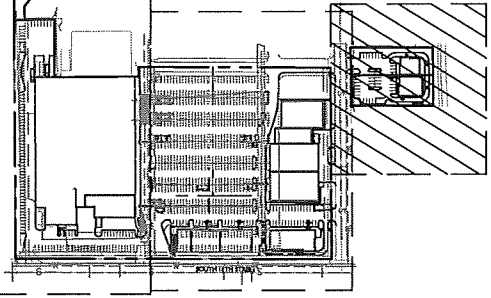
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

DRAWN BY: J110572018 DESIGNED BY: CFB CHECKED BY: RP PROJECT No.: 0295815000 SEAL: _____ SCALE: AS SHOWN	<b>UTILITY PLAN</b>	<b>Shoppes on South Duff</b> AMES, IOWA	
<b>PRELIMINARY</b> FOR REVIEW ONLY NOT FOR CONSTRUCTION 			SHEET <b>C5.20</b>

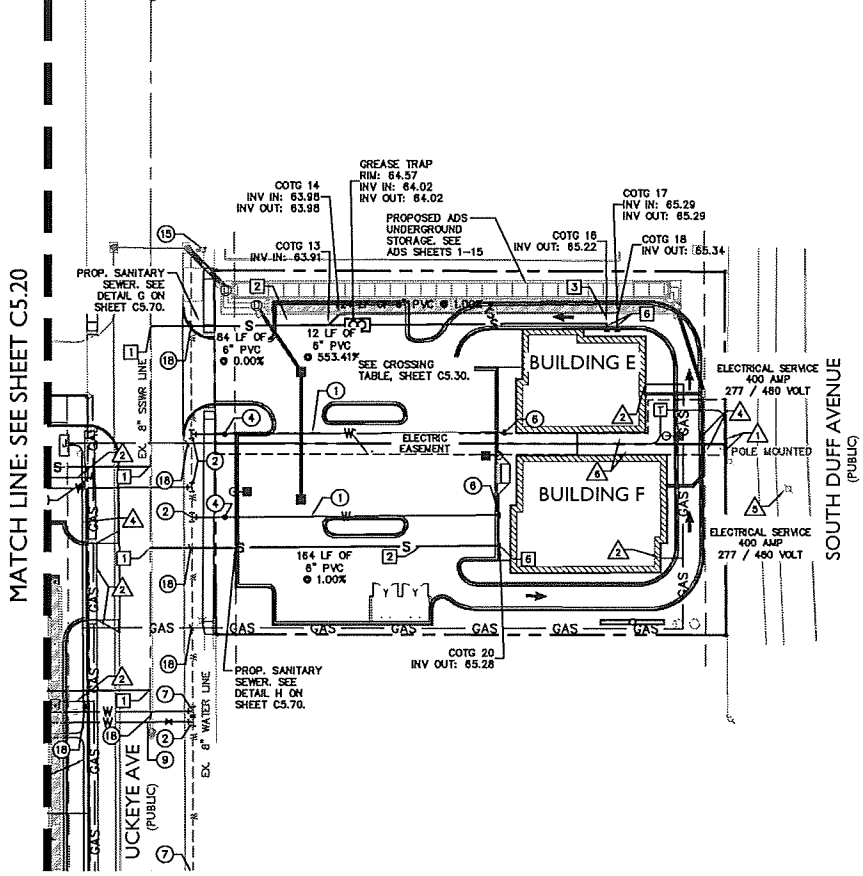
Date: November 5, 2018 12:03 PM User: BCK, CHRS  
 Path: I:\PROJECTS\2018\11\AMES\CLASH PLAN SHEETS\0295815000.LITING  
 This document, together with the contracts and design instrument thereon, is an instrument of service, in its entirety, for the specific project and shall be without liability to Kimley-Horn and Associates, Inc.



NOTE:  
 \*\*\* KNOX BOXES TO BE LOCATED BY TENANT AND CITY FIRE MARSHALL DURING CONSTRUCTION AT AGREED UPON LOCATION.\*\*\*



KEYMAP



NOTE:  
\*\*\* KNOX BOXES TO BE LOCATED BY TENANT AND CITY FIRE MARSHALL DURING CONSTRUCTION AT AGREED UPON LOCATION.\*\*\*

**GENERAL NOTES**

- CONTRACTOR TO VERIFY EXISTING IMPROVEMENTS SHOWN ON THE PLAN.
- ANY EXISTING STRUCTURE, IMPROVEMENT OR APPURTENANCE TO REMAIN THAT IS DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- ALL EXISTING UTILITIES SHOWN HEREIN ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.
- ALL ABOVE GROUND UTILITY APPURTENANCES SHALL BE ADJUSTED TO MATCH PROPOSED FINISHED GRADE ELEVATIONS.
- CONTRACTOR TO VERIFY EXISTING INVERT ELEVATIONS PRIOR CONSTRUCTION AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

**SEWER NOTES**

- TIE TO EXISTING 8" SANITARY SEWER MAIN.
- FURNISH AND INSTALL 8" SDR-35 PVC PER SUDAS STANDARDS, LENGTH AND SLOPE PER PLAN.
- FURNISH AND INSTALL 8" SANITARY SEWER CLEANOUT WITH TRAFFIC RATED LID PER SUDAS STANDARDS.
- FURNISH AND INSTALL WYE CONNECTION PER SUDAS STANDARDS.
- FURNISH AND INSTALL 48" SANITARY SEWER MANHOLE PER DETAIL, REF DETAIL SHEET CR.1.
- PROPOSED BUILDING TIE IN LOCATION. REFER TO PLUMBING PLANS BY OTHERS FOR CONTINUATION.

**WATER NOTES**

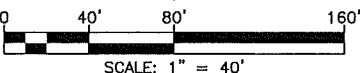
- INSTALL 2" TYPE K COPPER WATER LINE, LENGTH PER PLAN.
- INSTALL 8x8x2" TS&V CONNECTION.
- INSTALL DOUBLE CHECK VALVE ASSEMBLY.
- INSTALL 2" WATER METER IN BUILDING.
- INSTALL 3" PVC WATER LINE, LENGTH PER PLAN.
- PROPOSED BUILDING TIE IN LOCATION. REFER TO PLUMBING PLANS BY OTHERS FOR CONTINUATION.
- INSTALL 8x8x8" TS&V CONNECTION.
- INSTALL 8" CS90 FIRE SERVICE LINE.
- INSTALL 8" DUCTILE IRON FIRE SERVICE LINE.
- INSTALL 8x8x8" TS&V CONNECTION.
- INSTALL 90° BEND.
- INSTALL FIRE DEPARTMENT CONNECTION. REFER TO ARCHITECTURAL AND MEP PLANS.
- INSTALL 6" FIRE HYDRANT ASSEMBLY.
- INSTALL 6" GATE VALVE.
- EXISTING FIRE HYDRANT TO REMAIN.
- EXISTING PIV TO REMAIN.
- FURNISH AND INSTALL POST INDICATOR VALVE PER SUDAS REQUIREMENTS.
- UTILITY CROSSING PER SUDAS REQUIREMENTS. CONTRACTOR TO MAINTAIN MINIMUM 3' MINIMUM HORIZONTAL SEPARATION BETWEEN WATER AND STORM SEWER.
- FURNISH AND INSTALL FIRE DEPARTMENT CONNECTION.

**DRY UTILITY CONSTRUCTION NOTES**

- ▲ PROPOSED ELECTRICAL TRANSFORMER LOCATION.
- ▲ CONTRACTOR TO COORDINATE WITH GAS COMPANY FOR INSTALLATION OF GAS METER. CONTRACTOR TO FURNISH AND INSTALL GAS SERVICE CONNECTION FROM METER TO BUILDING.
- ▲ CONTRACTOR TO COORDINATE WITH GAS COMPANY FOR CONNECTION TO EXISTING BURIED GAS LINE.
- ▲ FURNISH AND INSTALL ELECTRICAL CONDUITS.
- ▲ CONTRACTOR TO COORDINATE CONNECTION TO EXISTING TELEPHONE RISER.
- ▲ TELEPHONE CONDUIT BUILDING ENTRY LOCATION.
- ▲ EXISTING ELECTRICAL TRANSFORMER. CONTRACTOR TO COORDINATE WITH POWER COMPANY FOR NEW SERVICE.

**LEGEND**

---	PROPERTY LINE
- - - -	RIGHT-OF-WAY LINE
---	ADJACENT PROPERTY LINE
-S-	PROPOSED SEWER LINE
-GAS-GAS-	PROPOSED NATURAL GAS LINE
-W-	PROPOSED WATER LINE
-T-	PROPOSED STORM SEWER LINE
-COM-	PROPOSED BURIED TELEPHONE LINE
-E-	PROPOSED BURIED POWER LINE
-S-	EXISTING SEWER LINE
-G-	EXISTING NATURAL GAS LINE
-W-	EXISTING WATER LINE
-T-	EXISTING STORM SEWER LINE
-COM-	EXISTING BURIED TELEPHONE LINE
-E-	EXISTING BURIED COMMUNICATIONS LINE

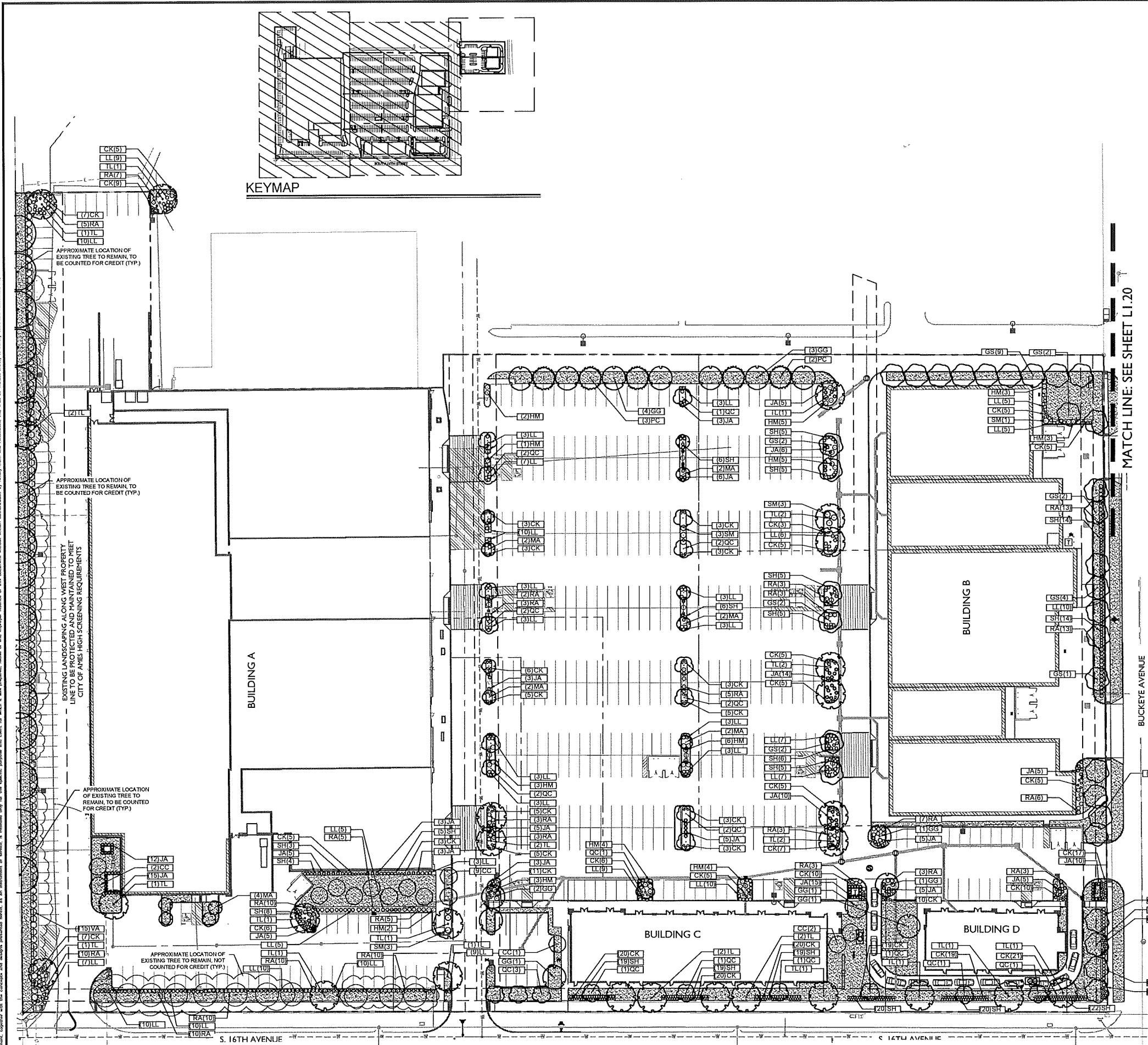


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DESCRIPTION	DATE								
<b>SHOPPES ON SOUTH DUFF</b> AMES, IOWA									
UTILITY PLAN									
DRAWN BY: EJK DESIGNED BY: CFB CHECKED BY: RP PROJECT No.: 092615000 SCALE: AS SHOWN									
SEAL									
<b>PRELIMINARY</b> FOR REVIEW ONLY NOT FOR CONSTRUCTION 									
SHEET <b>C5.30</b>									

Date: November 5, 2018 12:07 PM User: BECK, CHRIS  
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 This document, together with the concepts and design presented herein, is an instrument of service, a rendered only for the specific purpose and client for which it was prepared. Hours of and intellectual reliance of this document without written authorization of Kimley-Horn and Associates, Inc. and its without liability to Kimley-Horn and Associates, Inc.

Date: November 5, 2018 12:21 PM User: BICK, CHRIS  
 Path: K:\S\1.C. CIVIL\031515000 ONPRINT - AMES, IACADD\PLAN SHEETS\031515000\_LANDSCAPE.dwg  
 This document, together with the contract and sample printed herein, is intended only for the specific purpose and client for which it was prepared. Items of and improper reliance on this document without written authorization by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



**GENERAL LANDSCAPE NOTES**

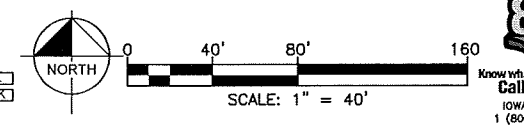
1. ALL PLANT SPECIFICATIONS IN THE PLANT SCHEDULE SHALL BE CONSIDERED THE MINIMUM ALLOWABLE SPECIFICATIONS. CONTRACTOR SHALL PROCURE PLANT MATERIALS AND UPSIZE AS NECESSARY TO MEET THE MOST STRINGENT SPECIFICATION.
2. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO FIELD ADJUST ALL PLANT MATERIAL.
3. ALL QUANTITIES PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR SHALL CONFIRM ALL QUANTITIES PER PLAN PRIOR TO BIDDING AND CONSTRUCTION.
4. IF ANY TRANSFORMERS, GROUND-MOUNTED HVAC UNITS, UTILITY PEDESTALS, AND SIMILAR FEATURES ARE NOT SHOWN ON THE SDP, ADDITIONAL LANDSCAPING AND SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DURING THE SITE INSPECTION PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, OR FINAL INSPECTION, AS APPLICABLE.
5. EXISTING TREES ALONG WEST SIDE OF PROPERTY TO REMAIN AND TO BE USED TOWARDS LANDSCAPE BUFFER COMPLIANCE (REF. LANDSCAPE REQUIREMENTS CHART)
6. ALL LANDSCAPE BUFFER AREAS, ISLANDS AND PLANTERS TO HAVE DARK BROWN WOOD MULCH
7. SOIL USED TO BE CONDITIONED AND TILLED INTO TOP 6 INCHES OR EXISTING SOIL WITH AT LEAST 5% ORGANIC CONTENTS.

**GENERAL NOTES**

1. CONTRACTOR TO VERIFY EXISTING IMPROVEMENTS SHOWN ON THE PLAN.
2. CONTRACTOR TO PROTECT IN PLACE, DURING DEMOLITION AND CONSTRUCTION, ALL EXISTING IMPROVEMENTS THAT ARE TO REMAIN AS NOTED ON THE PLAN.
3. ANY EXISTING STRUCTURE, IMPROVEMENT OR APPURTENANCE TO REMAIN THAT IS DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.

**LEGEND**

	PROPERTY LINE
	RIGHT-OF-WAY LINE
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DESCRIPTION	
DATE	
<b>Kimley»Horn</b>	
215 South State Street, Suite 401   Salt Lake City, UT 84111   Tel. No. (801) 215-3176	
LANDSCAPE PLAN	SHOPPES ON SOUTH DUFF AMES, IOWA
DRAWN BY: EKJ	11/05/2018
DESIGNED BY: CBR	11/05/2018
CHECKED BY: BP	11/05/2018
PROJECT No.: 031515000	SCALE: AS SHOWN
SEAL	
PRELIMINARY FOR REVIEW ONLY NOT FOR CONSTRUCTION <b>Kimley»Horn</b>	
SHEET <b>LI.10</b>	





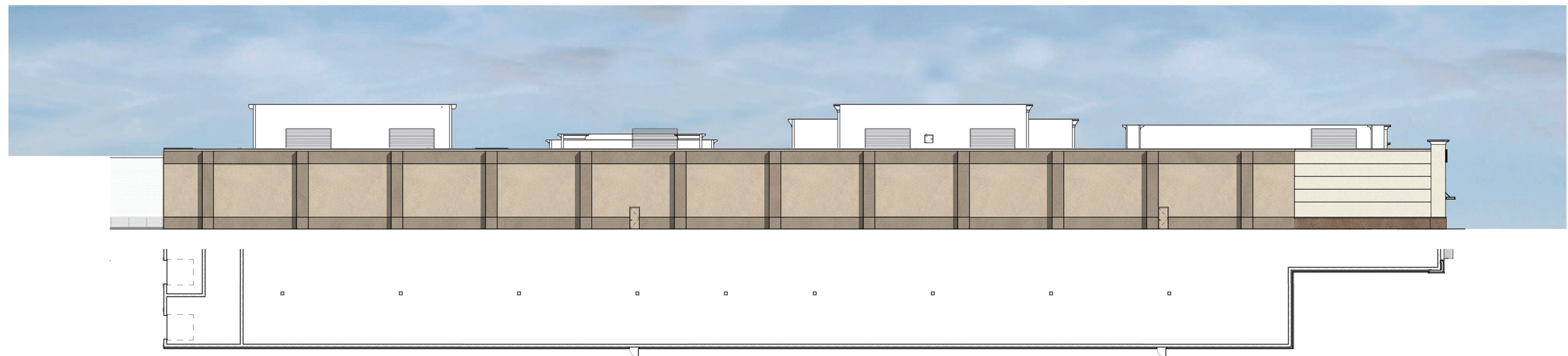


Building A | East Elevation

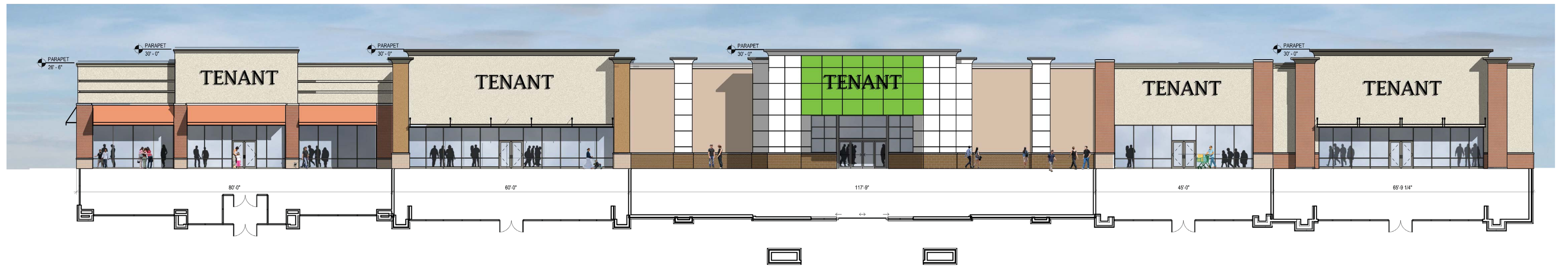


Building A | North Elevation

Building A | South Elevation



Building A | West Elevation



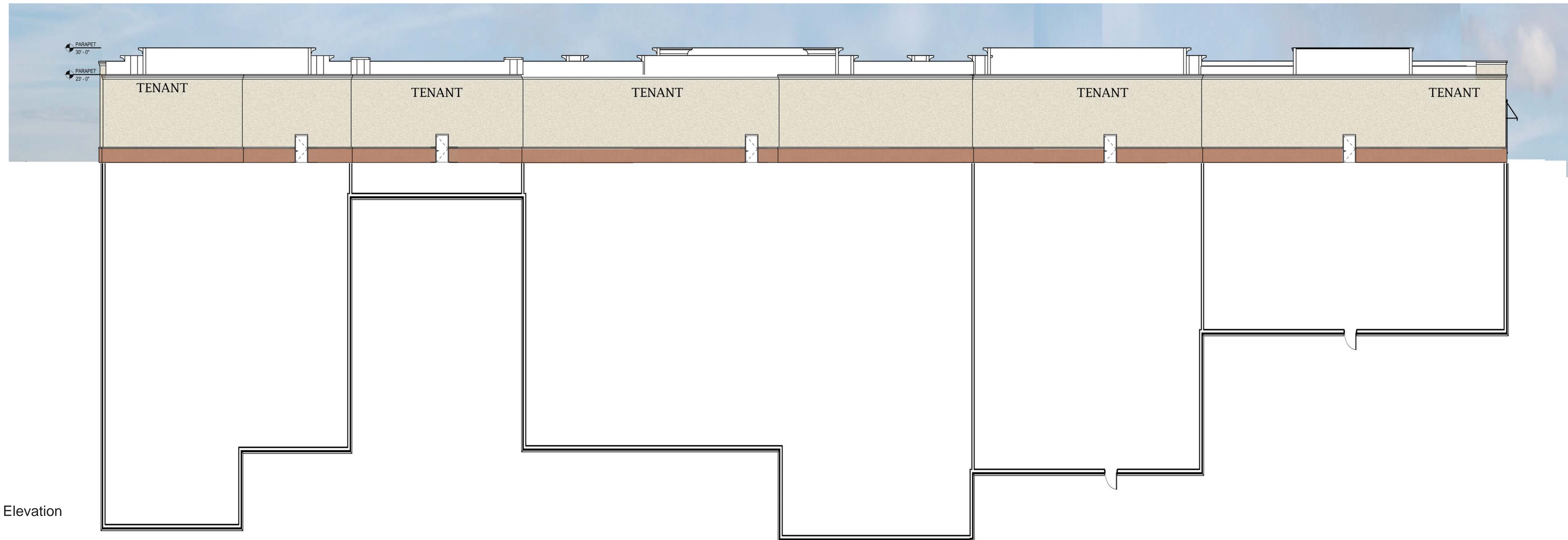
Building B | West Elevation



Building B | North Elevation



Building B | South Elevation



Building B | East Elevation





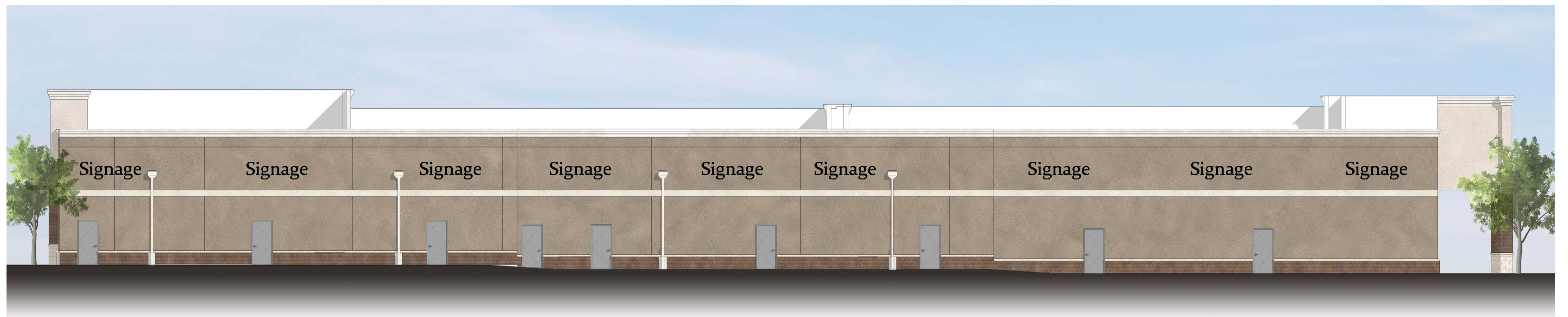
Building C | North Elevation



Building C | West Elevation



Building C | East Elevation



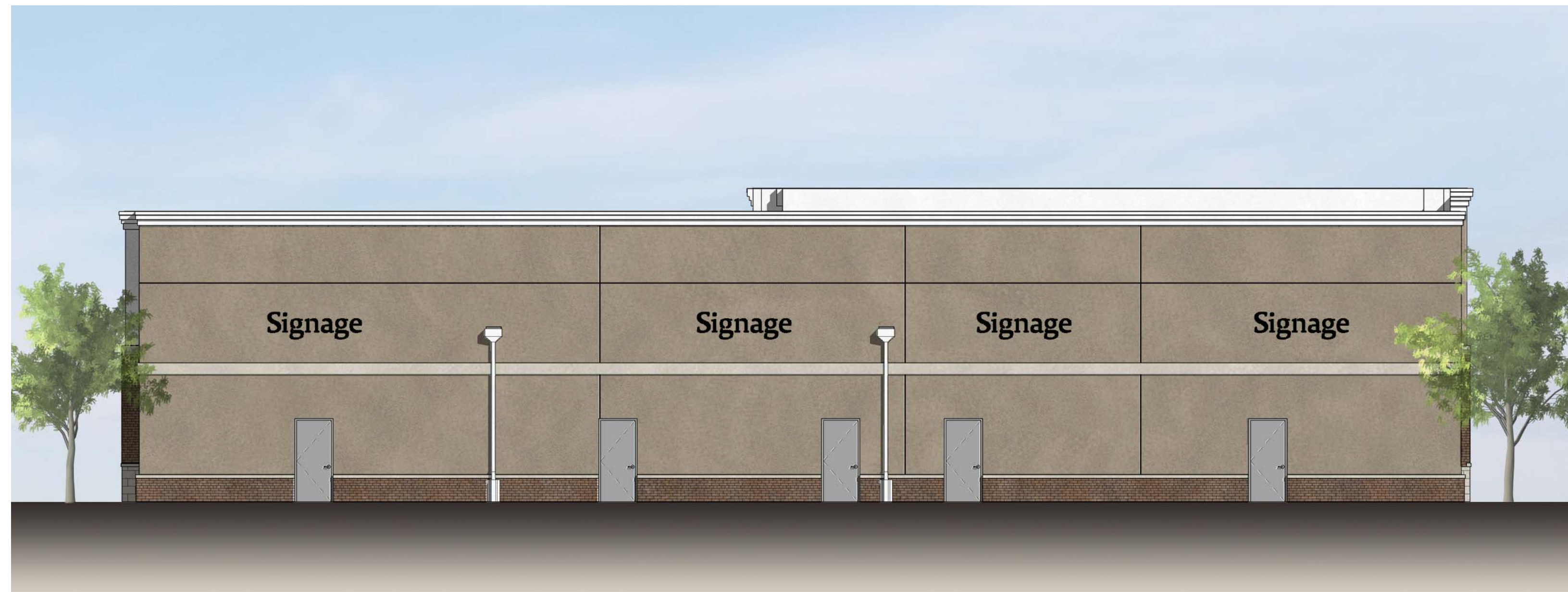
Building C | South Elevation



Building D | North Elevation



Building D | West Elevation



Building D | South Elevation



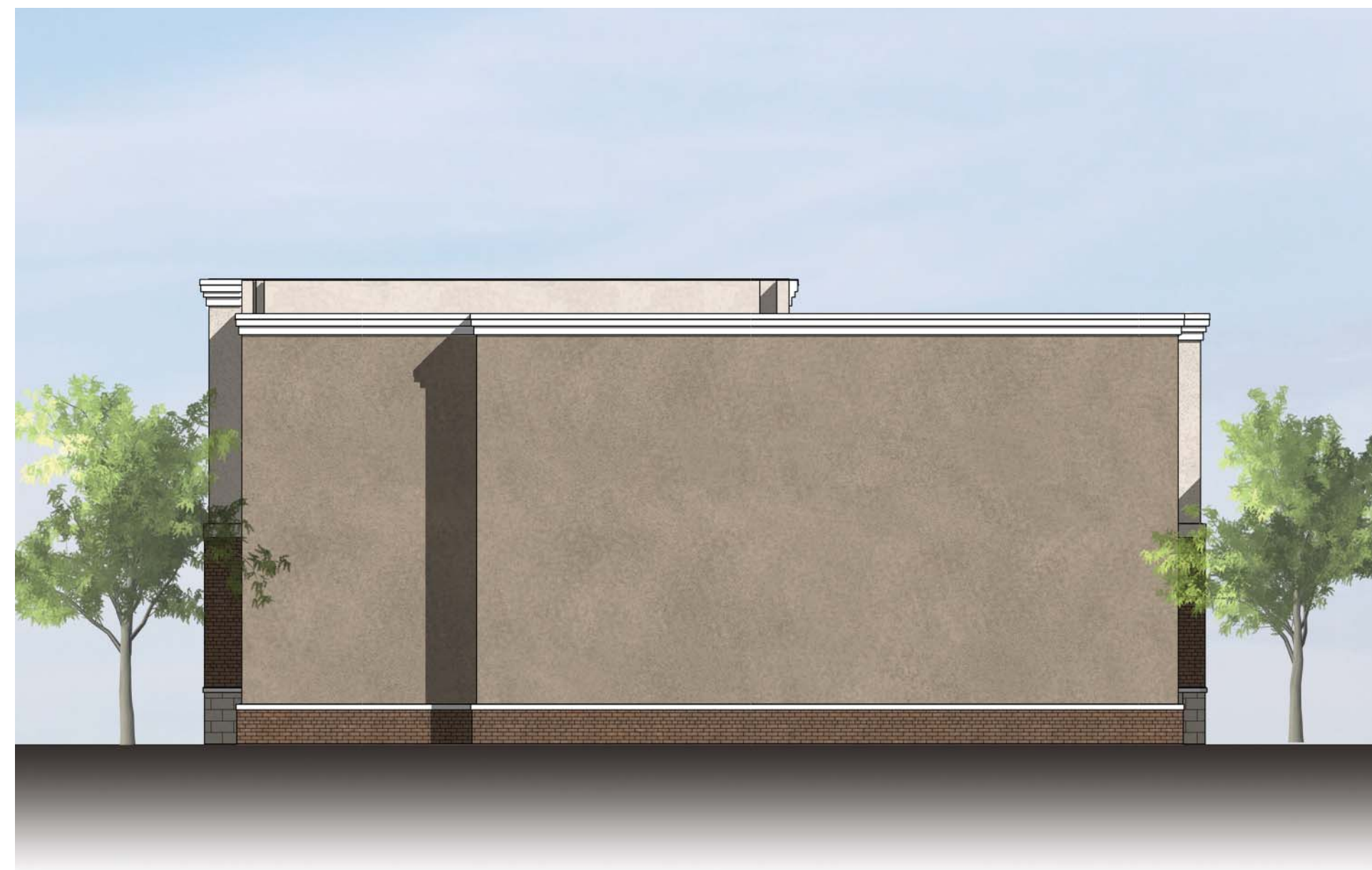
Building D | East Elevation



Building E | North Elevation



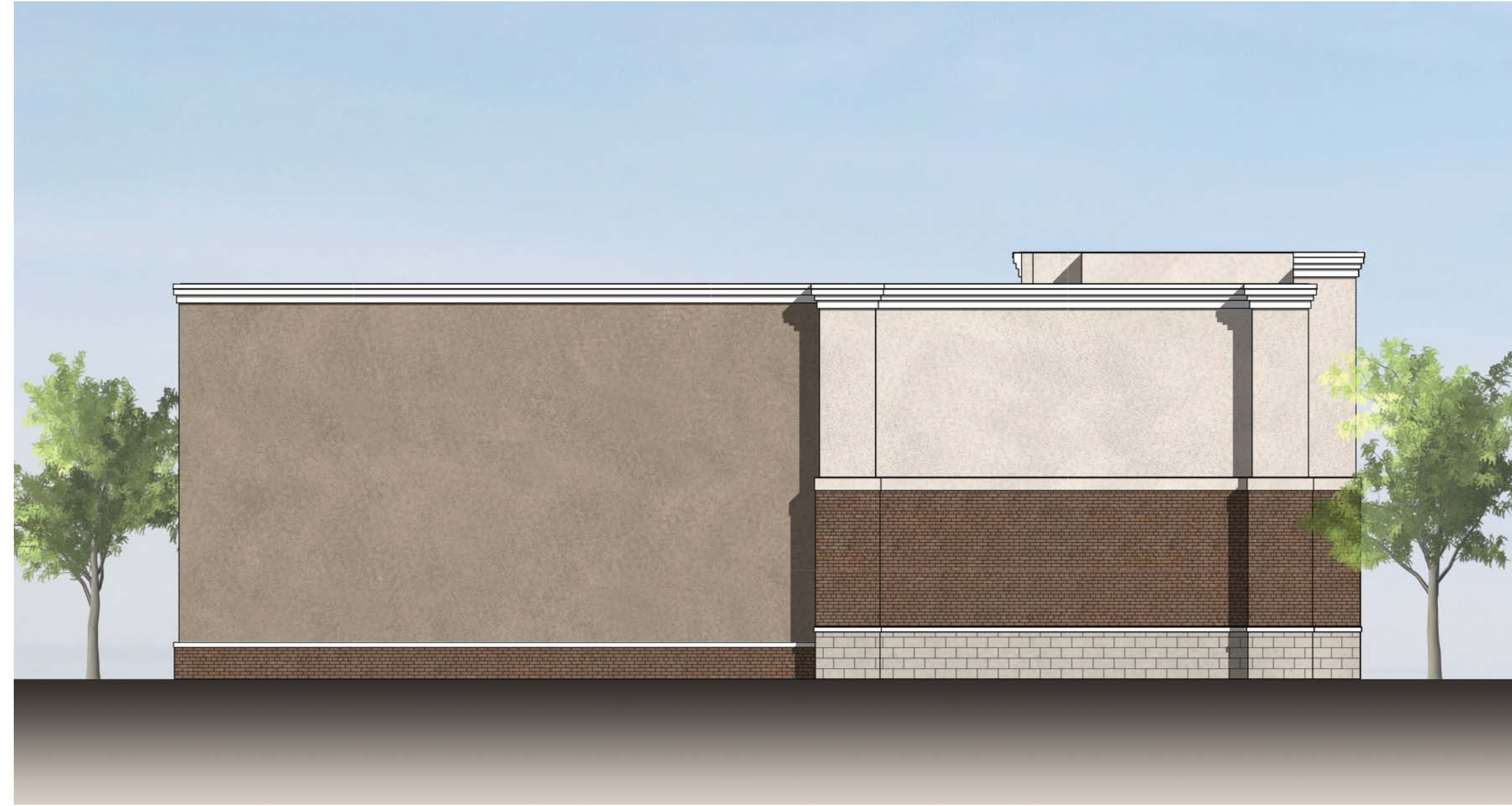
Building E | West Elevation



Building E | South Elevation



Building E | East Elevation



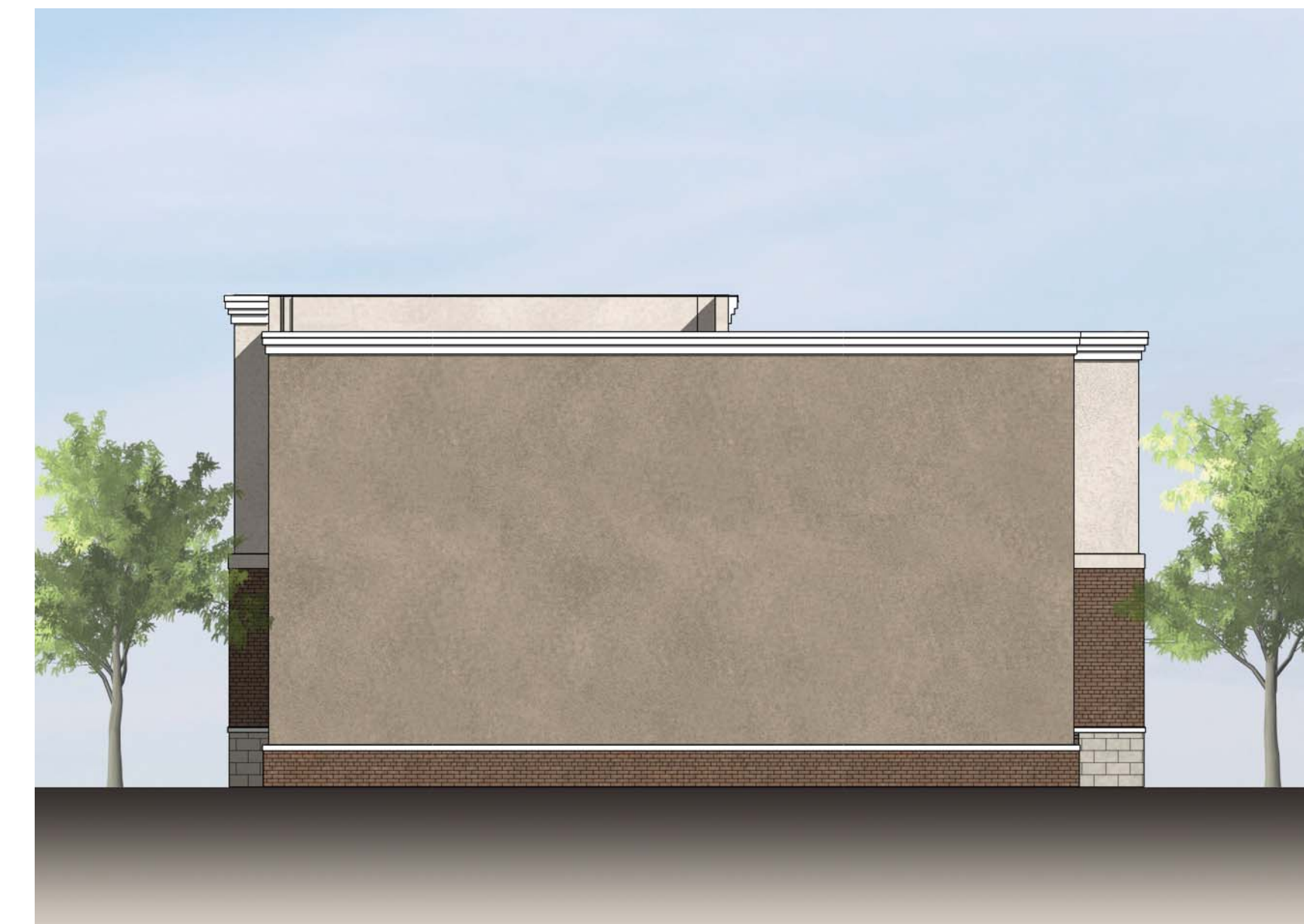
Building F | North Elevation



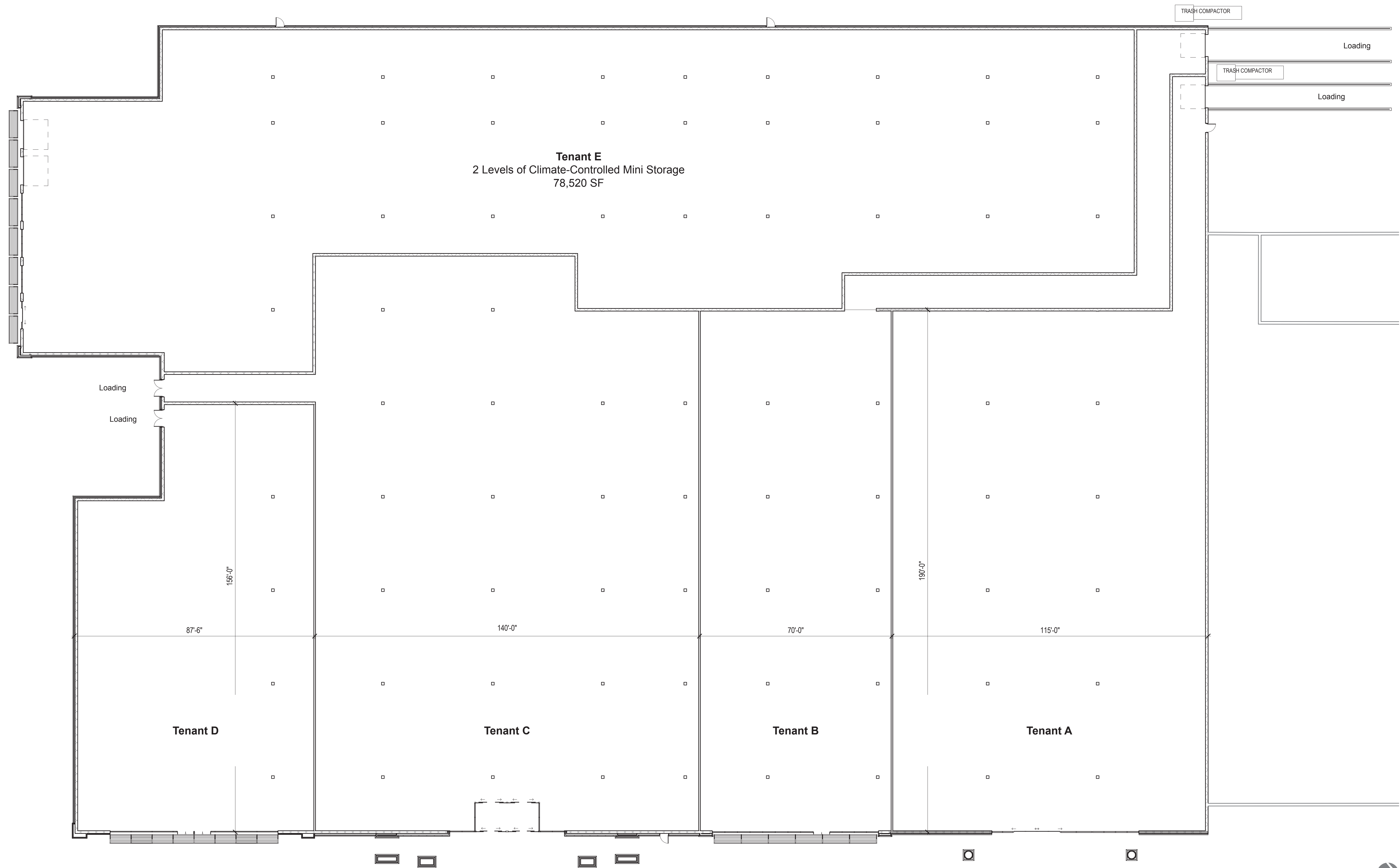
Building F | West Elevation



Building F | South Elevation

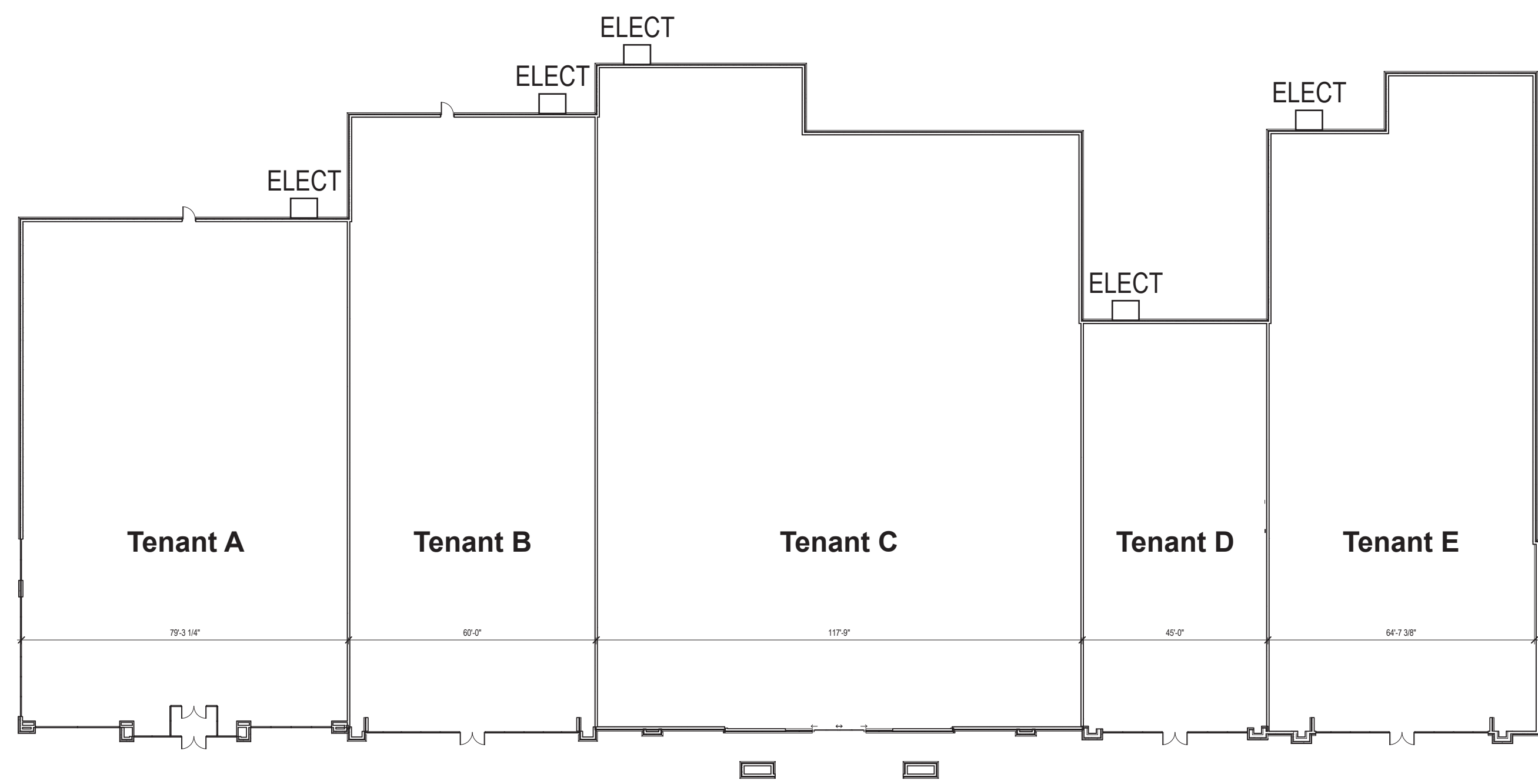


Building F | East Elevation

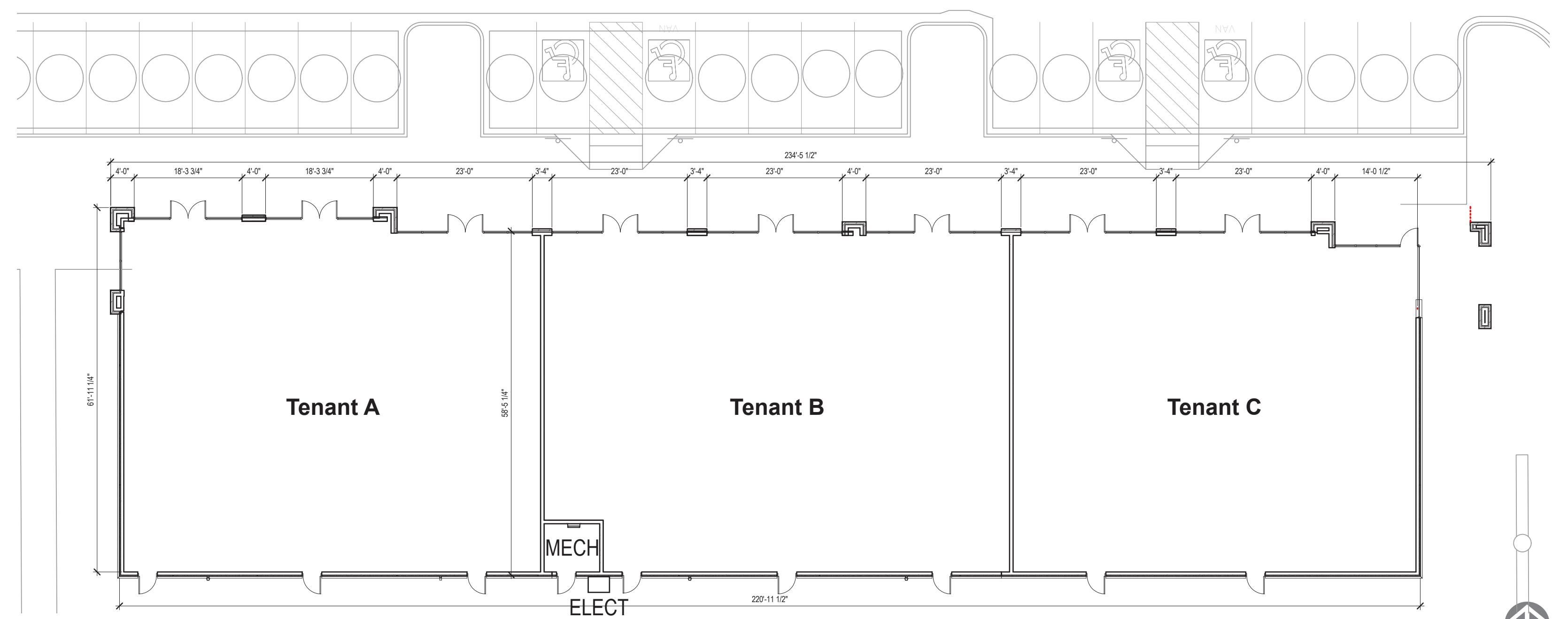


Building A | Floor Plan



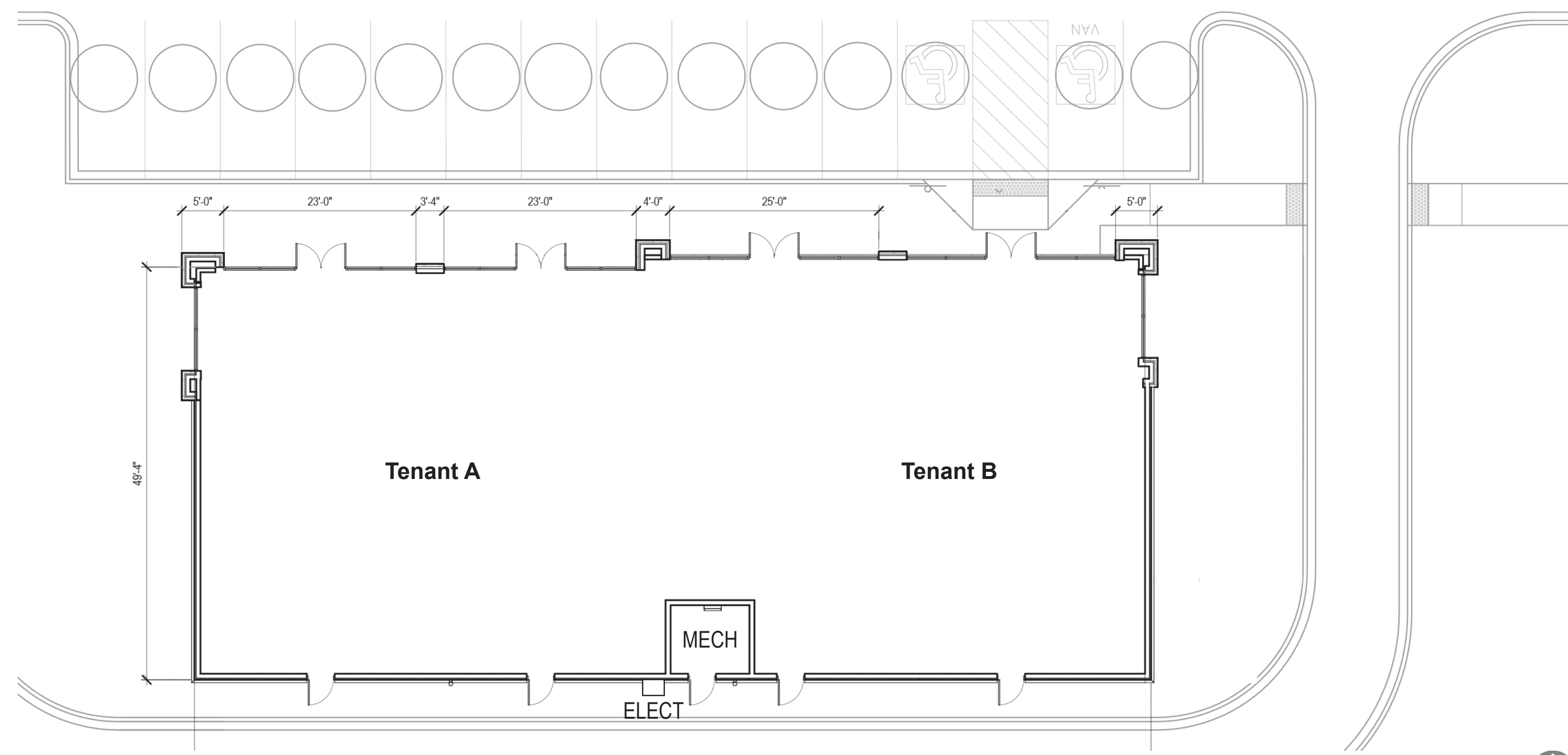


Building B | Floor Plan

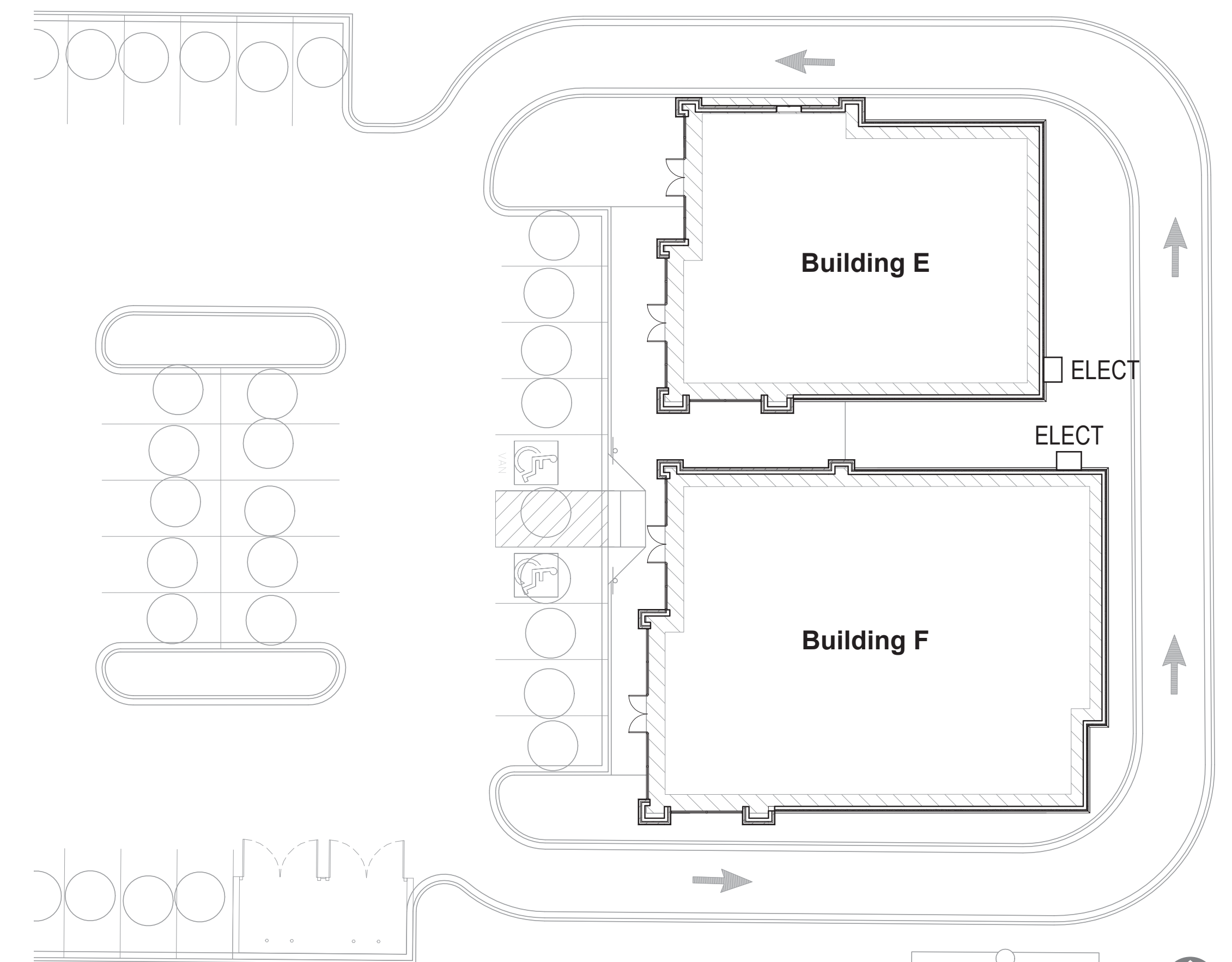


Building C | Floor Plan





Building D | Floor Plan



Buildings E + F | Floor Plan