ITEM #: <u>25</u> DATE: <u>10-23-18</u>

#### **COUNCIL ACTION FORM**

REQUEST: INTEGRATED SITE PLAN SUBDIVISION PRELIMINARY PLAT AND

MAJOR SITE DEVELOPMENT PLAN FOR 1404, 1405, AND 1410 BUCKEYE AVENUE WITHIN THE SOUTHWOOD SUBDIVISION

(FORMER KMART SITE)

#### **BACKGROUND:**

OnPoint Development, LLC, requests approval of an Integrated Site Plan Subdivision, which includes concurrent Preliminary Plat and Major Site Development Plan approval. The request is for the proposed redevelopment of 1405 Buckeye Avenue (former Kmart site) and development of vacant land at 1404 and 1410 Buckeye Avenue (Attachment A – Location Map). The subject site totals 14.02 gross acres with the combination of existing properties.

The proposed development includes retrofitting the existing Kmart building site (1405 Buckeye) into five tenants and constructing three new commercial buildings for multiple tenants. 1404 and 1410 Buckeye are currently vacant lots that will be developed with a commercial building on each lot and a shared parking lot. The existing former Kmart building is approximately 120,424 square feet. The proposed total development is 237,374 square feet with 145,787 square feet of commercial use and 91,587 square feet of climate controlled self-storage within two stories. There is a net increase of approximately 66,000 square feet of commercial development square footage when accounting for use of part of the site as industrial for mini-storage. The proposed subdivision includes nine lots. The combined site will have access from S 16th Street and Buckeye Avenue. There will be no direct access from S Duff Avenue.

The Integrated Site Plan allows for subdivision of a site into individual lots, but to consider the area within the subdivision as a single site for purposes of evaluating access, circulation, maintenance, and compliance with certain zoning development standards (setbacks, landscaping, parking, etc.) that would otherwise be applicable to individual lots. Approval of an Integrated Site Plan allows for more flexible application of most development standards through the approval of the Major Site Development Plan, although the overall site must meet all minimum standards for quantities and percentages. The concurrent review of a Major Site Development Plan and Preliminary Plat is required as part of the Integrated Site Plan approval process.

The site was part of a larger commercial subdivision, Southwood Subdivision originally platted in the 1980s. The site was approved for development as Planned Commercial and included the current theater and Jethro's sites as well. These sites are still subject to a shared parking and reciprocal operating agreements. The land that abuts the site to the north, south and east is all commercially developed and zoned Highway Oriented Commercial, HOC. The site also abuts the Aspen Ridge townhouse development to the west which is a single-family attached development zoned Floating Planned Residence

District (F-PRD).

The proposed preliminary plat includes subdividing the former Kmart site (1405 Buckeye Avenue) into seven developable lots, including placing lots lines through buildings. The proposed layout was created by the applicant in order to meet the Floor Area Ratio requirements of the Zoning Ordinance and provide desired signage allowances for each planned tenant space. Two lots will remain at 1404 and 1410 Buckeye site. All lots within the proposed plat will benefit from shared access and parking for the future commercial uses. The proposed lots all have frontage on a public street.

The unusual lot configuration does include a flat lot (Lot #2), due to the narrowness of the lot from the lot frontage to the area of the building. One flag lot is allowed per subdivision per the Zoning Ordinance standards for lots. The applicant desires to keep the current shared use path along S 16th Street within an easement that exists on the property rather than dedicate it as additional right-of-way. The shared use path and easement were part of the original subdivision approval and would be typically placed within right-of-way rather than an easement under current requirements. However, dedication is not necessarily required due to the prior subdivision approval and existing improvements. If additional dedication is required along S. 16th Street, it would affect the location of the front yard and require additional building setback along 16th Street for the new buildings.

A traffic study was reviewed by the City of Ames for the proposed development. The study consider buildout under current conditions and in future conditions. All driveways and intersections abutting the site were determined to operate acceptably with the exception of left turns from Buckeye Avenue onto S 16th Street. Widening Buckeye Avenue to accommodate an additional lane on Buckeye would partially mitigate this issue; however, there is not a recommended improvement by the City's traffic engineer due to the likelihood of a median on S 16th Street that would result in restricting future left turns.

The proposed Major Site Development Plan accounts for all building configurations, uses, and features of the site layout. The plan will also include large pylon signs along S16th Street and S Duff Avenue. The developer has designed the site with options for a variety of tenant choices. Proposed uses include a limited area of climate controlled mini-storage or wholesale trade, general office, retail trade and services, and restaurants. A table summarizing the square footage of uses for each lot is included within the addendum. Staff has proposed a condition outlining the categories of allowed uses consistent with the zoning categories and uses described by the applicant. This condition is intended to clarify the uses proposed with the plan are the range of allowed use. The condition would limit other uses that would normally be permitted in HOC that are not identified at this time and require modification to the approved plan to allow them.

The proposed use of Interior Climate Controlled Mini-storage facility will require approval of a Special Use Permit by the Zoning Board of Adjustment. This use will have to comply with certain building design requirements as part of the special use permit. The developer estimates the proposal will be a two-story facility with a maximum of 800

units. The interior space of the existing Kmart building is large enough for two stories of storage without altering the height of the existing building. For purposes of site plan approval, Staff has reviewed this portion of the Kmart building as either mini-storage or as an allowable display store retail use.

The proposed building plans label a range of uses that are intended to be flexible for tenanting and may result in some changes to façade designs and mix of uses as the plans are finalized for individual tenants. For example, Building "D" indicates a drive-thru use will be located on this lot. However, the building elevations do not indicate where a menu board or service window would be placed. Staff has included a condition regarding the design of the drive through to manage potential queuing issues with this site and its potential use.

The applicant's plans include 587 parking spaces to serve the combined development. This amount exceeds the amount of required parking by 15 stalls based upon the applicant's proposed mix of uses, if the Special Use Permit for the mini-storage facility is approved. Staff estimates the proposed mix of retail and restaurant uses without the storage use would require at least 653 stalls with the mini-storage area calculated as parking for allowed display store/wholesale trade uses at a 1/500 parking stall/square feet. In the event the Special Use Permit is not approved, the use mix or the amount of total square footage would need to be adjusted to reduce required parking by approximately 66 spaces. This issue is noted on the plans and staff has included a condition regarding the required parking spaces and limits uses.

The proposed parking includes retention of existing parking areas and the construction of new parking spaces along with new building construction. The current parking lot is nonconforming for its current level of landscaping. Current standards would require substantial changes to add landscape medians and islands that would substantially reduce parking compared to the current built condition. Approximately 114 trees would be required for the entire parking area, where 50 trees are proposed to meet current standards. However, these areas are not required to come up to full compliance with the new in areas that are not being rebuilt as it is viewed as not practicable at this time due to the retention of the existing Kmart building and the parking area in front of the building. The proposed plan does include improvements for distribution of accessible parking spaces and some enhanced landscape planter areas. The newly developed areas meet current landscape planting requirements for percentage area and quantity of trees, but do not include medians due to existing conditions. The proposed configuration is approvable as a Major Site Development Plan component for parking lot design.

The Integrated Site Plan allows for calculation of landscaping requirements across the entire site rather than by individual lots. The developer proposes approval of a landscape plan that meets the overall 15% landscaped area percentage requirement by utilizing area acquired from the property to the north and with improvements to the site. Additionally, the site requires front yard landscaping along all street frontages with a mix of trees, grasses, and shrubs to create visual interest and screening. A High Screen is required along the west property to screen the commercial uses from the adjacent residentially zoned property. There is an existing screen that meets the screening

requirements of Section 29.403(3)(F) that consists of a berm, shrubs and trees the length of the property line. The developer is proposing to keep the existing landscaping and maintain the screen along the west and southwest edge of the site.

The developer proposes alternative configurations from what is required by Code along S 16<sup>th</sup> Street for tree planting due to planting constraints for placing front yard landscaping due to the existing shared use path on the site. The shared use path encroaches ten feet into the typical 20-foot front yard setback area, thereby limiting the use of some overstory tree types. Overstory trees are unable to meet the required planting distance (15 feet) from a building and three feet from paving as a result. The front yard landscaping along S 16<sup>th</sup> Street does provide the required number of trees, but proposes a combination of overstory and ornamental trees that does not meet the allowed substitution criteria outlined in the landscaping code that would require additional plantings. The alternative landscaping plan tree planting layout can be approved along S 16<sup>th</sup> Street as meeting the intent of the standards for a variety of tree types and adequate space for the maturity of trees, despite the limitations of the front yard space.

Typical building elevations are included (Attachment D – Building Elevations). Parapets are being added to the front façade of the existing Kmart store. The proposed height of the parapets ranges from 9 – 19 feet taller than the existing building, for a maximum height of approximately 43 feet. The size of parapets and their total height are larger than most commercial retail uses. The architectural design elements of the planned mini-storage use within the former Kmart building will be reviewed as part of the Special Use Permit to ensure it meets specific design requirements.

Five new buildings are also proposed with this development. The proposed layout has the backs of all five buildings facing public streets, S Duff Avenue, S 16<sup>th</sup> Street, Buckeye Avenue. The buildings are setback a minimum of 20 feet. The proposed buildings include minor architectural transitions along both the fronts and the rear facades. The rear facades could include multiple exit doors to meet building code exiting requirements. Building B located along Buckeye has more building modulation than the other buildings due to varying tenant sizes and planned loading areas. Building materials will consist of brick or stone veneer on the base of buildings and the full height of pillars. EIFS will be the main façade treatment along with glazing treatments. Minor changes to the design could occur with individual tenants, but they will be consistent with the overall design approach.

The proposed project relies upon front yard landscape standards to soften the building appearance overall rather than building design elements. This approach is different than the design treatment of the office buildings that located in the area, but similar to other retail buildings. The building façade designs along S16th Street could include additional architectural features to enhance their appearance and create more individual identity and modulation while still meeting the interests of the developer for total square footage on the site. City Council would need to add a condition to address architectural detailing and massing of the new buildings along S 16th Street if it determines the proposed plans are not in keeping with the surrounding development area along Buckeye and S. Duff.

Additional information regarding the Integrated Site Plan request is included in the addendum.

Planning and Zoning Commission: At its meeting on October 3, 2018, the Ames Planning and Zoning Commission reviewed the proposed Integrated Site Plan as a public hearing. Staff described the range of uses and configuration of the site, including comments on building design, shared site improvements, and parking. There were questions from an adjacent property owner regarding lighting for the storage facility. Staff explained that the site will have to comply with the outdoor lighting code and the lighting would be reviewed further through the Special Use Permit process. Commissioners questioned the amount of required parking and what relief was possible in order to prevent unused parking lot area. Through the Integrated Site Plan process all of the parking must be provided as required by each use, but the parking can be shared and located throughout the site. However, there is no direct reduction in required parking rates without a variance.

The Commission voted 5-0 to recommend approval of the Integrated Site Plan with conditions of approval for finalizing landscaping, storm water and utility design, limits on uses, and information regarding lighting. The applicant has since addressed landscaping, access, utility, Fire Dept., and storm water design requirements. The remaining issues are included with the Alternative described below.

#### **ALTERNATIVES:**

- 1. The City Council can approve the following requests:
  - A. Approval of the Major Site Development Plan, subject to the following conditions:
    - i. Allowed uses permitted on the site are retail trade and services, general office, restaurants, wholesale trade, or mini-storage uses (subject to approval of Special Use Permit) as indicated on the Site Development Plan. Any other use is subject to approval of a major amendment to the Site Development Plan.
    - ii. The allowed amount of tenant restaurant square footage or total retail space will be reduced, or a combination of both, to match the amount of parking provided within the site, as indicated in the note included on the site plan (Sheet C3.00)
    - iii. Include a note on the plan that states during construction and operation of the site, retain the existing high screen along the west side of the property.
    - iv. Recording of easements for public utilities as noted on the site plan prior to occupancy of buildings.
    - v. Include a note on the plan to modify the design of Building D for a drive through use to only have a pick-up window on the east side of the building and the location of menu board located along the south side of the site to create optimal queuing capacity within Lot 5. The revisions are subject to Planning Director approval.
    - vi. Prior to installation of exterior lighting, submit a final lighting plan for a determination by the Planning Director of compliance with the Outdoor Lighting Code of Zoning Ordinance.

- vii. Provide roof top mechanical equipment screening and collectively locate equipment and related screening when feasible, final design and location to be approved by the Planning Director.
- viii. Prior to construction of any new buildings, the Final Plat for the Integrated Site Plan must be approved by the City.
- ix. Additional design details and landscape requirements regarding a climate controlled mini-storage facility may be approved as minor amendments by the Zoning Board of Adjustment for the Special Use Permit.
- B. Approval of the Preliminary Plat for The Fourth Addition to Southwood Subdivision, noting that prior to final plat all requirements of the integrated subdivision for agreements and easements are to be reviewed and approved by the City.
- 2. The City Council can approve the request for an Integrated Site Plan, which includes concurrent preliminary plat and Major Site Development Plan approval, for the properties at 1404, 1405, and 1410 Buckeye Avenue, with modified conditions.
- 3. The City Council can <u>deny</u> the request for an Integrated Site Plan, which includes concurrent preliminary plat and Major Site Development Plan approval, for the properties at 1404, 1405, and 1410 Buckeye Avenue if the Commission finds that the City's regulations and policies are not met.
- 4. The City Council can <u>defer action</u> on this request and refer it back to City staff and/or the applicant for additional information.

#### **MANAGER'S RECOMMENDED ACTION:**

The proposed Integrated Site Plan is a partial redevelopment of an existing site. The developer looks to maximize the amount of developable area with the proposed retention of the Kmart building and much of the current parking lot. The purpose of the Integrated Site Plan Subdivision review is to determine the overall layout, function, and building design meet City standards as a collective site and not as individual lots. Key considerations for the proposal are the design and location of buildings along street frontages, appropriate landscaping and screening, retention of existing landscaping, integration of storm water treatment features, mix of uses, access and circulation, and overall parking supply.

The proposed mix of uses are typical for a commercial shopping center, with the exception of the interior climate controlled mini-storage use, which will require a separate Special Use Permit approval from the Zoning Board of Adjustment. Prior to final plat a number of easements and agreements are required to complete the integrated subdivision process and ensure the site is collectively utilized and managed. The proposed lot arrangement is unusual, but allowable due to the integrated site plan process that allows for consideration of the function of the site overall rather than as individual lots. The effect of the subdivision is a requirement that all the development be coordinated together and that any future changes will require the other lot owners to agree.

The applicant's architectural design is typical for contemporary retail development, but could include some aesthetic enhancements to address the rear facades adjacent to streets for better consistency with new development areas along Buckeye and South Duff. With the conditions of approval, staff finds that the project meets the design principles of an Integrated Site Plan, subdivision standards, and the standards of the Major Site Development Plan.

Therefore, it is the recommendation of the City Manager that the City Council act in accordance with Alternative #1 to approve the request for an Integrated Site Plan, which includes concurrent preliminary plat and Major Site Development Plan approval, for the properties at 1404, 1405, and 1410 Buckeye Avenue with the noted conditions.

#### **ADDENDUM**

#### PROJECT DESCRIPTION:

The project site is a parcel of land totaling 14.02 acres fronting on South S 16th Street and Buckeye Avenue. The proposed development is a redevelopment of the former Kmart site (1405 Buckeye Avenue) and the development of two lots (1404 and 1410 Buckeye Ave) adjacent to S Duff Avenue. The preliminary plat indicates a total of 9 lots will be created. 1404 and 1410 Buckeye will remain as two separate lots and the Kmart site will be split into seven lots that will be included with this development.

The proposed site plan includes five commercial buildings with approximately 237,374 square feet of commercial space (Attachment C – Site Plan) The former Kmart building is 120,442 square feet and will be split into 5 separate tenant spaces. Four tenant spaces be what was the front of the store, with entrances into the spaces on the east side of the building. The rear portion of the building is proposed as two stories of Interior Climate Controlled Mini-storage. Climate controlled mini-storage use will require approval of a separate Special Use Permit. The remainder of the square footage (77,300 square feet) will be spread amongst five new buildings. In the event the climate controlled mini-storage use is not approved, the rear space could be uses for other HOC allowed uses based upon the availability of parking. The proposed five new commercial buildings will have a mix of retail and restaurant users. The following table described the uses proposed for each lot.

| Building/<br>Suites            | Proposed Use  | Size of Use  | Parking Ratio<br>Requirement  | Parking<br>Stalls<br>Required  | Parking<br>Stalls<br>Provided  |  |
|--------------------------------|---|--|---|--|--|--|
| Building A                     | Mini-storage estimated<br>800 units (2 story)<br>or   |  | 5 stalls/first 200<br>storage units, 1<br>stall/100<br>storage units<br>thereafter  | 11 stalls  |  |  |
|                                | Wholesale Trade or<br>Display Store* 1 story  | 45,787 Sq. Ft.   | 1/500 Sq. Ft.   | 92 stalls  | 103 stalls   |  |
| Building A Suites<br>A & B     | Retail  | 34,000 Sq Ft   | 1/300 Sq Ft   | 113 Stalls   | 206 stalls   |  |
| Building A Suites<br>C & D     | Retail  | 34,500 Sq Ft   | 1/300 Sq Ft   | 115 stalls   | 74 stalls  |  |
| Building C                     | Retail/Restaurant**   | 6,500 Sq Ft<br>Retail  | 1/300 Sq. Ft  | 22 stalls  |  |  |
|                                |   | 6,500 Sq Ft<br>Restaurant  | 9/1,000 Sq. Ft  | 59 stalls  | 23 stalls  |  |
| Building D                     | Retail/Restaurant**   | 2,000 Sq Ft<br>Retail  | 1/300 Sq Ft   | 7 stalls   |  |  |
|                                |   | 4,000 Sq Ft<br>Restaurant  | 9/1,000 Sq Ft   | 36 stalls  | 0 stalls   |  |
| Building B Suites<br>C, D, & E | Retail  | 32,500 Sq Ft   | 1/300 Sq Ft   | 108 stalls   | 82 stalls  |  |
| Building B Suites<br>A & B     | Retail  | 19,000 Sq Ft   | 1/300 Sq Ft   | 63 stalls  | 60 stalls  |  |
| Building F                     | Retail  | 4,000 Sq Ft  | 1/300 Sq Ft   | 13 stalls  | 25 stalls  |  |
| Building E                     | Restaurant**  | 2,800 Sq Ft  | 9/1,000 Sq Ft   | 25 stalls  | 14 stalls  |  |
| TOTALS                         |   | Total Restaurant 132,000 Sq Ft  Total Restaurant 13,300 Sq Ft  |   | Required with storage facility -Or 653 stalls Required with no storage | 587 stalls<br>Provided   |  |
|                                | Building A Suites A & B Building A Suites C & D Building C  Building D  Building B Suites C, D, & E  Building B Suites A & B  Building B Suites C, D, & E | Building A  Building A  Mini-storage estimated 800 units (2 story)  or  Wholesale Trade or Display Store* 1 story  Building A Suites A & B  Building A Suites C & D  Building C  Retail  Building C  Retail/Restaurant**  Building B Suites C, D, & E  Building B Suites A & B  Building B Suites Retail  Retail | Building A  Building A  Mini-storage estimated 800 units (2 story)  or  Wholesale Trade or Display Store* 1 story  Building A Suites A & B  Building A Suites C & D  Building C  Retail  Retail  Building C  Retail/Restaurant**  Building D  Retail/Restaurant**  Building D  Retail/Restaurant**  Building B Suites C, D, & E  Building B Suites C, D, & E  Building F  Retail  Retail  Retail  19,000 Sq Ft  Restaurant  19,000 Sq Ft  Retail  19,000 Sq Ft  Retail  19,000 Sq Ft  Retail  19,000 Sq Ft  Total Retail  132,000 Sq Ft  Total Retail  Total Restaurant | Building A   | Building A  Building A  Mini-storage estimated 800 units (2 story)  or  Wholesale Trade or Display Store* 1 story  Building A Suites A & B  Building A Suites C & D  Building A Suites C & D  Building C  Retail A Suites C & D  Building C  Retail/Restaurant**  Building D  Retail/Restaurant**  Building B Suites C & D  Build |  |

<sup>\*</sup>The Display Store parking requirement ratio was applied to the gross floor area of this Suite. This ratio is to be applied if the Special Use Permit for Interior Climate Controlled Mini-storage is not approved.

<sup>\*\*</sup> The sit down restaurant parking requirement ratio was applied to all restaurant spaces shown on the plan since tenants are not known at this time. The fast food parking requirement ratio cannot be calculated without floor plans.

<sup>\*\*\*</sup> The allowed amount of restaurant square footage or total retail space will be reduced, or combination of both, to match the amount of parking provided within the Integrated Site Plan.

**Parking**. The parking for the development will be spread across eight of the nine lots. Shared access and parking agreements will be required. A note has been added to the preliminary plat, as required, that states all parking areas, drives, sidewalks, fire lanes, etc. are for the common use of all lots within the subdivision.

Staff calculated the required parking for the uses and areas shown on the site plan two different ways. The only difference in the calculation was how we calculated the ministorage requirement for separate approval via Special Use Permit. 573 parking stalls will be required if a Special Use Permit is approved for up to 800 mini-storage units, as indicated by the developer. This use requires approval of a Special Use Permit that will be reviewed subsequent to the Integrated Site Plan review. In the event the Special Use Permit is not approved, the calculation for parking must account for the use of the space with a permitted HOC use. Alternative use of the space is calculated as a one-story display store use, i.e. furniture, carpet, appliance store, which has a lower parking ratio requirement than general retail uses. 653 parking stalls are required across the site using the display store use. The site plan shows that 587 parking stall will be provided. If the Special Use Permit for a two-story mini-storage facility is approved, then adequate parking is provided. If the Special Use permit is not approved, the site is 66 parking stalls short of required parking even with the minimum parking allowed for a display store.

The proposed plan can still be approved and developed in one of two ways. The amount of building area could be reduced or a limit on the amount of restaurant space within the development could be established. Restaurant parking requirements are the highest parked uses at 9 stalls/1,000 square feet of restaurant space. For purposes of calculating the amount of required parking, staff assumed the sit down restaurant ratio since tenants are not known and fast food parking ratios cannot be calculated accurately without a floor plan. A condition is included to address balancing the allowed square footage of uses to reflect the level of parking that is provided with development of the entire site.

Landscaping. Highway Oriented Commercial zoned properties are required to provide a minimum of 15% open space. A benefit of the Integrated Site Plan is that this 15% can be applied across the entire development rather than on a per lot basis. The amount of open space provided meets the 15% area requirement. This open space area is made of green space principally along the perimeter of the site and an area of vegetation behind the Staples building that is intended to be added to this site by process of a Plat of Survey. The current open area along Buckeye that was part of the original Planned Commercial approval for storm water and open space is replaced with Building B, this is area partially made up for with the area located behind Staples. Storm water is addressed with an underground system rather than an open area.

The required amount of trees is provided along both S 16th Street and Buckeye Avenue. Two existing mature trees will remain on the S Duff Avenue side of 1404 and 1410 Buckeye and will count for the required four trees. The trees along Buckeye Avenue will need to be located on private property and not placed within the right-ofway. The required planting area depth does exist on both sides of Buckeye Avenue to

accommodate required trees. The landscaping calculations for shrubs and grasses reflect front yard planting requirements.

The amount of parking lot trees shown on the site plan exceeds the 49 required trees when calculating only the area of the parking lot that will be new/reconstructed with the development of the new commercial buildings. It is typical for an existing site to only be required to comply with the landscaping standards as an "other nonconformity" for those areas that are new/disturbed on and existing site. Other improvements to parking areas are required as practicable for landscaping. Calculating the required amount of parking lot trees based on the entire parking area across the development would be 114 trees. The landscaping plan shows a total of 50 new parking lot trees being planted and meeting planting requirements for the new parking lot areas.

The developer proposes to use the existing vegetation to screen this development from adjacent properties. Some of the existing vegetation and fencing exists on the adjacent property and not on this site. The landscaping will need to be protected during construction and remain in order for the site to meet the high screen requirement along the west property line.

All sidewalks along public streets exists and will remain, including an eight-foot shared use path along Buckeye Avenue. Private sidewalks will be provided along buildings and connection will be provided to public walks.

**Building Elevations**. Typical building elevations have been included to define the building materials, entrances, parapets, and façade design. (Attachment D – Building Elevations). The developer has planned two spaces principally as multi-tenant buildings to allow for corporate façade and parapet treatments on larger buildings. The smaller buildings are designed as more strip commercial properties with minor levels of detailing and building variation. The front of the former Kmart store will be divided into four store fronts, with the southeast corner design as the climate controlled mini-storage location. Building elevations indicate that each tenant space will have a new parapet that is significantly taller than the existing building. The existing building is twenty-four feet in height and the tallest parapet is proposed at forty-three feet. The parapets will include signage facing the parking lots. As a result of the proposed height of the parapets they will be visible from the back and side when traveling west on S 16th Street. Staff requested side return treatment for these large parapets as shown on the architectural plans of Building A (south elevation) to provide the appearance of a more intentional and substantial architectural feature proportional to the overall design.

The rear elevations of buildings along S 16th Street and Buckeye Avenue have no proposed roof line variation or detailing other than a cornice. The buildings are located as close as 25 feet from the street property lines. The facades of Building B have modulation due to differences in tenant space sizing and planed loading areas. Buildings C, D, E, F do not include modulation or substantial elements of architectural relief. The rear elevations include individual doors for each tenant space for potential exiting. Buildings along S 16th Street could include additional architectural treatment to help break up the roof lines and façade interest with the inclusion of additional parapets, extended canopy along portions of the rear façade, the addition of vertical trim, or changes in materials/color of façade would give some relief of a plain rear of a building.

These types of changes would increase visual interest for the facades in addition to required front yard landscaping

Building elevations for the Interior Climate Controlled Mini-storage Use are included as well. This use is only allowed within the HOC zoning district with approval of a Special Use Permit. Section 29.1308 includes building design requirement specific to this use type. Compliance with these regulations will be evaluated as part of the Special Use Permit. The mini-storage facility main entrance will face south, towards S 16th Street. It will be in the portion of the former Kmart store where the automotive repair facility was located. The amount of overhead doors will be reduced from six to two. The remainder of the former overhead doors will be converted to a series of windows and one store front entrance. There are existing trees along this portion of S 16th Street. Staff has asked for additional landscaping to increase screening of this area from S 16th Street but is unable to determine what is being proposed for shrubs or bushes as the landscape plan details are unreadable. Staff will work with the developer to clarify the planting types and amounts.

Building "D" indicates a drive thru use will be located on this lot. Stacking usually occurs at the menu board where orders are taken. Staff is concerned that peak queuing could block circulation if not sited correctly. The building layout was adjusted on the site plan to indicate that a pick up window would be located on the east side of the building as requested by Staff. Staff requested the pick-up window to be located on the east side of the building with a menu board located as far from the drive thru entrance as possible to prevent stacking to back up into parking lot drive aisles and blocking parking stalls.

The building elevations do indicate some lighting will be located on the buildings. The drawings give the appearance that the lights may be up lit. This is not allowed by code if lights are over a certain amount of lumens. Fixture information was not provided for such lighting. It should be noted that all site lighting on buildings and in parking areas will need to comply with the City's Outdoor Lighting Code.

Since all tenant spaces are not known it is possible that doors and windows may shift from where they are shown on the elevations. As the plan is refined, staff would be able to approve changes proposed by the developer that modify architectural treatments, awnings, windows, and entrances that do not reduce the quality and interest of the building design and compliment the overall shopping center design aesthetic. Building materials will consist of brick or a stone veneer at the base of the buildings up to 3 feet 6 inches in height with EIFS as the main building material above that height, with the exception of glazing treatments. Pillars will be full height masonry or stone.

**Infrastructure.** The site is fully served by City infrastructure. All public utilities are available to serve the development a small amount of public sanitary sewer and water mains will be installed from Buckeye Avenue south of Building B as part of the development. Electric Services will be supplied by the City of Ames electric service territory. Easements are shown on the Preliminary Plat/Site Plan and any additional easements needed to accommodate the proposed development for utilities will be recorded with the Final Plat at the time of subdivision of the individual lots.

**Storm Water Treatment.** The site is subject to conformance with Municipal Code Chapter 5a and 5b requirements for storm water control and treatment. The site must not increase release rates for the overall site and must treat water quality for all new impervious areas of the site. The primary storm water treatment measures is an in ground chamber located under the new parking area in front of Building 'B'. The Public Works Department has reviewed the Storm Water Management Plan for this subdivision and site plan and determined the proposed approach is consistent with City standards.

Access/Traffic. Vehicular access is provided to the site from S 16th Street and Buckeye Avenue. There are two driveways from S 16th Street and two proposed from Buckeye Avenue, including the shared drive with the Staples/Theater site to the north. The existing central drive on S 16th Street into the site will be straightened but will remain a full turn access point and not require improvements to S 16th Street. Parking and shared access will be provided throughout the development.

Although access points meet spacing requirements, staff has included a condition to address potential drive through queuing for Building 'D'. The location of the drive thru could block thru traffic across the front of the building and staff has included a condition to restrict the drive through use to the east side of the building and to position the menu board along the south edge to minimize potential backups. Staff does not anticipate impacts from the drive thru queuing will impact traffic entering from Buckeye Avenue.

A traffic study was submitted and reviewed by the City's Traffic Engineer. It analyzed both near term build out and future build out conditions. The study noted satisfactory operations for all facilities with the exception of the left turns from Buckeye to S 16th Street. However, the traffic engineer does not recommend improvements at this time to widen Buckeye to add a third lane for future queuing issues. The primary reason that no improvements are required with this development is due to planned City improvements to S 16th Street from S Duff Avenue to S. Kellogg Avenue. These improvements are unrelated to this project and anticipated to be completed in 2019. The improvements are likely to include a median restricting left turn movements from Buckeye Avenue onto S 16th Street, which would negate the identified queuing impact by not allowing for that particular turning movement. In the event widening of Buckeye Avenue is needed, an additional lane can be configured within existing right-of-way or with a minor expansion of paving.

#### Major Site Development Plan Criteria.

The standards are found in Ames *Municipal Code* Section 29.1502(4)(d) and include the following requirements. When acting upon an application for a Major Site Development Plan approval, the Planning and Zoning Commission and the City Council shall rely upon generally accepted site planning criteria and design standards. These criteria and standards are necessary to fulfill the intent of the Zoning Ordinance, the Land Use Policy Plan, and are the minimum necessary to safeguard the public health, safety, aesthetics, and general welfare. See Attachment E for a full review of the individual Development criteria for the Major Site Development Plan.

**Public Notice.** Notice was mailed to property owners within 200 feet of the subject site and a sign was posted on the subject property. As of this writing, no comments have been received by staff. There were speakers at the Planning and Zoning Commission

meeting.

## **Attachment A**

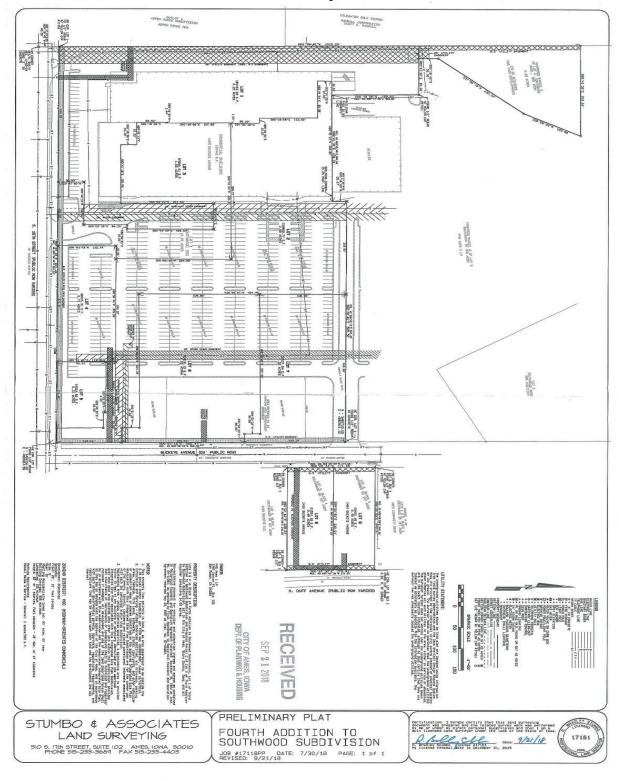
Location Map



Proposed Preliminary Plat and Major Site Development Plan 1404, 1405, and 1410 Buckeye Avenue

### **Attachment B**

#### Preliminary Plat



# Attachment C Major Site Plan

# Attachment D Building Elevations

#### **Attachment E**

Major Site Development Plan Criteria.

1. The design of the proposed development shall make adequate provisions for surface and subsurface drainage to limit the rate of increased runoff of surface water to adjacent and downstream property.

The Public Works Department has reviewed the storm water management plan. The developer proposes an underground treatment chamber at the east side of the site under the new parking area to treat most of the storm water runoff.

2. The design of the proposed development shall make adequate provision for connection to water, sanitary sewer, electrical, and other utility lines within the capacity limits of those utility lines.

The existing utilities were reviewed and found adequate to support the anticipated load of the proposed development. There are no offsite upgrades needed to serve the site for any utility.

3. The design of the proposed development shall make adequate provision for fire protection through building placement, acceptable location of flammable materials, and other measures to ensure fire safety.

The fire inspector has reviewed access and fire truck circulation and found that the needs of the fire department are met for access and circulation. The main access into the site are from public streets, S 16th Street and Buckeye Avenue. Review of the climate controlled mini-storage plans will be subject to the Special Use Permit review.

4. The design of the proposed development shall not increase the danger of erosion, flooding, landslide, or other endangerment to adjoining and surrounding property.

It is not anticipated that this proposed development will be a danger due to its location on the site. The storm water features have been enlarged to help reduce potential future flooding within this site and the subdivision to the east.

5. Natural topographic and landscape features of the site shall be incorporated into the development design.

The developer is working with the existing topography of the site. Critically, the existing landscape buffer along the west property line is to be retained. Some existing trees will be retained along S 16th Street, but much of the existing landscaping will be replaced as it is at the end of its useful life or impedes the site layout for new buildings. The disturbed areas of the site are required to come into compliance with current landscape requirements.

6. The design of the interior vehicle and pedestrian circulation shall provide for convenient flow of vehicles and movement of pedestrians and shall prevent hazards to adjacent streets or property.

The proposed development will provide vehicular access off S 16th Street and Buckeye Avenue. There is an existing eight foot shared use path along S 16th Street. All interior private sidewalks will connect with the public sidewalk system that is already in place. The City is in the process of completing the design of S 16th Street and S Duff Avenue intersection improvements which may include a median at the Buckeye intersection. Driveway access to the site will not be impacted.

The Ames Traffic Division reviewed a traffic impact study for the project. The study found acceptable operations for all analyzed intersections, but noted that left turning queuing on Buckeye could justify an additional lane for Buckeye. The traffic division does not recommend this widening at this time due to likely restrictions on left turns from Buckeye Avenue to S 16th Street.

7. The design of outdoor parking areas, storage yards, trash and dumpster areas, and other exterior features shall be adequately landscaped or screened to minimize potential nuisance and impairment to the use of adjoining property.

Much of the existing site's parking areas will be retained. The applicant will mill and overlay these areas. The developer will refurbish landscaping in these areas, but not bring the design up to current landscape standards. The arrangement of parking serves each of the individual buildings and includes distributed ADA compliance parking spaces. The parking plans assumed approval of climate controlled ministorage to allow for the full range of uses proposed on the site. The amount of restaurant uses would be reduced is mini-storage is not approved.

will have Loading area access for Building B will be directly from Buckeye Avenue and somewhat visible. Front yard landscaping is the primary treatment for screening of this area without additional landscaping being required.

8. The proposed development shall limit entrances and exits upon adjacent streets in order to prevent congestion on adjacent and surrounding streets and in order to provide for safe and orderly vehicle movement.

All existing access into the development will remain at their existing locations. One drive on S 16th Street will be redesigned and shifted slightly to the west to allow for a small amount of parking to be added to the site. New driveways will be created along Buckeye as secondary entrances and exits to the site. The proposed drive through use is designed to allow for queuing on site with minimal interruption to overall circulation of the site, however peak ques could block through lanes in/out to Buckeye and a condition of approval is included to minimize this concern.

9. Exterior lighting shall relate to the scale and location of the development in order to maintain adequate security, while preventing a nuisance or hardship to adjacent property or streets.

All lighting will be required to comply with the City's Outdoor Lighting code, Section 29.411. Building lighting must also meet down lighting requirements.

10. The proposed development shall ensure that dust and other forms of air pollution, noise disturbances, odor, glare, and other nuisances will be limited to acceptable levels as prescribed in other applicable State and City regulations.

The proposed development is not expected to generate any nuisances.

11. Site coverage, building scale, setbacks, and open spaces shall be in proportion with the development property and with existing and planned development and structures, in adjacent and surrounding property.

The combination of existing conditions and new development creates an unbalanced plan with most improvements focused on the perimeter of the site compared to equal distribution of improvements across a site as would occur with a complete redevelopment. The site does meet minimum landscape percentage requirements and front yard planting standards, as conditioned.

The proposed layout of the development is consistent with existing surrounding commercial development. Building heights are typically 23 feet in height with parapets extending much higher up to approximately 43 feet. The building locations differ to othe5 smaller sites in the area with parking centrally located and the rear of buildings located adjacent to streets.

The approval of an Integrated Site Plan allows some benefit by allowing some site development regulations to be applied across the entire site rather than on an individual lot basis allowing for a more condensed site compared to individual lot development.

# Attachment F Applicable Subdivision Law

The laws applicable to this Preliminary Plat Subdivision include, but are not limited to, the following: (verbatim language is shown in *italics*, other references are paraphrased):

<u>Code of Iowa</u> Chapter 354, Section 8 requires that the governing body shall determine whether the subdivision conforms to its Land Use Policy Plan.

Ames <u>Municipal Code</u> Chapter 23, Subdivisions, Division I, outlines the general provisions for subdivisions within the City limits and within two miles of the City limits of Ames.

Ames Municipal Code Section 23.302(3):

- (3) Planning and Zoning Commission Review:
  - (a) The Planning and Zoning Commission shall examine the Preliminary Plat, any comments, recommendations or reports assembled or made by the Department of Planning and Housing, and such other information as it deems necessary or desirable to consider.
  - (b) Based upon such examination, the Planning and Zoning Commission shall ascertain whether the Preliminary Plat conforms to relevant and applicable design and improvement standards in these Regulations, to other City ordinances and standards, to the City's Land Use Policy Plan, and to the City's other duly adopted Plans.

Ames Municipal Code Section 23.302(4):

Planning and Zoning Commission Recommendation: Following such examination and within 30 days of the regular meeting of the Planning and Zoning Commission at which a complete Application is first formally received for consideration, the Planning and Zoning Commission shall forward a report including its recommendation to the City Council. The Planning and Zoning Commission shall set forth its reasons for any recommendation to disapprove or to modify any Preliminary Plat in its report to the City Council and shall provide a written copy of such reasons to the developer.

#### 23.700 SUBDIVISION FOR INTEGRATED SUBDIVISIONS

#### 23.702. APPLICABILITY.

- (1) The subject site shall consist of one or more legally created lots.
- (2) The property must be zoned commercial, industrial, medium density residential or high density residential.
- (3) Residential development under these provisions is limited to apartment dwellings only.

(4) The subdivision must be associated with a Major Site Development Plan under Chapter 29.1502. Within this context, the Major Site Development Plan will be considered and referred to as an Integrated Site Plan.

#### REVIEW PROCEDURE.

An Integrated Site Plan Subdivision is subject to the same review process and decision criteria as Major Subdivision (Section 23.302); and an Integrated Site Plan is subject to the same review process and decision criteria as a Major Site Development Plan (Section 29.1502). Although the subdivision and site plans are separate documents, they are reviewed and processed simultaneously, and an Integrated Site Plan Subdivision incorporates by reference all documents of an approved Integrated Site Plan.

## SITE DEVELOPMENT PLANS

## SHOPPES ON SOUTH DUFF

SEC 11, TWP 83, RNG 24 1404, 1405, & 1410 BUCKEYE AVE. AMES, IA 50010

#### BASIS OF BEARING AND BENCHMARK

FROM SURVEY PREPARED BY FOX ENGINEERING DATED 3/18/97

CAP BOLT ON HYDRANT IN FRONT OF

ELEVATION = 70.78 (CITY DATUM)

#### LEGAL DESCRIPTION

THE LAND REFERED TO IN THIS COMMITMENT IS DESCRIBED AS FOLLOW

PARCEL I:

NON-EXCLUSIVE EASEMENT FOR VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS AS CONTAINED IN RECIPROCAL EASEMENT AND OPERATION AGREEMENT RECORDED NOW-DIEBE ID, 1994 AT INST. NO. 94-11981; AS AMENDED BY FIRST AMENDMENT TO RECIP

LOTS 3 AND 4, BLOCK 1, FIRST ADDITION TO SOUTHWOOD SUBDIVISION, AMES, IOWA

#### FLOOD ZONE NOTE

**CONSULTANTS** 

KINEET-HORN
215 S. STATE STREET, SUITE 400
SALT LAKE CITY, UT 84111
CONTACT: RICH PIGGOTT,
PROJECT MANAGER
PHONE: (385) 212-3181

AGENCY CONTACTS

CIVIL ENGINEER:

515 CLARK AVE AMES, IA, 50010 CONTACT: JULIE GOULD

WATER DEPARTMENT: PUBLIC WORKS OPERATIONS 2207 EDISON STREET AMES, IA 50010 CONTACT: DALE WEBER PHONE: (515) 239-5551

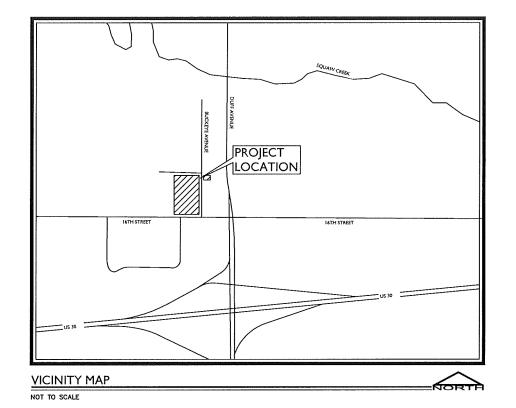
THIS PROPERTY LES ENTIRELY IN ZONE X, AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS PER FIRM MAP 1916/901631F, DATED 10116/2014.

SURVEYOR:
STUMBO ASSOCIATES LAND SURVEYING
510 S. 17TH STREET, SUITE \$102
AMES, KONA 50010
CONTACT: R. BRADLEY STUMBO
PHONE: (515) 233—3689

STORM DRAIN:
PUBLIC WORKS OPERATIONS
2207 EDISON STREET
AMES, IA 50010
CONTACT: DAVE COLE
PHONE: (515) 239-5548

FIRE DEPARTMENT: JASON ZIPH
1300 BURNETT AVE
AVES, IA, 50010
CONTACT: JASON ZIPH
PHONE: (515) 239-515

ARCHITECT
SLAGGIE ASCHTECTS, INC.
822 N 103TH PLAZA
822 N 103TH PLAZA
823 N 103TH PLAZA
825 ONINVERSITY AVE. WEST
STE 23SM SANT PAUL, INN 55114
CONTACT: MILL MATZEK, P.E.
PHONE: (688) 756–1959



#### SHEET INDEX

| C0.00       | COVER SHEET                          |
|-------------|--------------------------------------|
| C0.10       | general notes                        |
| PG I OF 2   | ALTA SURVEY (FOR REFERENCE ONLY)     |
| PG 2 OF 2   | ALTA SURVEY (FOR REFERENCE ONLY)     |
| C1.00       | OVERALL KEY MAP                      |
| C1.10-C1.30 | DEMOLITION PLAN                      |
| C2.00       | EROSION CONTROL COVER SHEET          |
| C2.10-C2.30 | EROSION CONTROL PLAN                 |
| C2.40       | EROSION CONTROL CONSTRUCTION DETAILS |
| C3.00       | OVERALL HORIZONTAL CONTROL PLAN      |
| C3.10-C3.30 | HORIZONTAL CONTROL PLAN              |
| C4.10-C4.30 | GRADING PLAN                         |
| C4.40       | GRADING DETAILS                      |
| C5.10-C5.30 | UTILITY PLAN                         |
| C5.40-C5.70 | SANITARY SEWER PLAN & PROFILE        |
| C6.10-C6.19 | SITE DETAILS                         |
| L1.10-L1.20 | LANDSCAPE PLAN                       |
| L1.30       | LANDSCAPE NOTES                      |
| P1.10       | PHOTOMETRIC PLAN                     |
| P1.20       | PHOTOMETRIC PLAN DETAILS             |
| SHEET 1-15  | ADS DESIGN PLANS                     |

#### **GENERAL NOTES**

- ALL MATERIALS, WORKPMSHER AND CONTRUCTION OF STELLIPROVERENTS SHALL MEET OR EXCELS THE STANDARDS AND SPECIFICATIONS SET FORTH BY THE CURRENT ENTING OF THE STANDARDS AND SPECIFICATIONS AND AND THE CURRENT OF TO PACK AND STREAMENTAL SPECIFICATIONS OF THE STANDARDS AND APPLICABLE STATE AND FEDERAL REGULATIONS. WHITE THERE IS CONFLICT SETWERN THESE PLANS AND THE SPECIFICATIONS, OR ANY APPLICABLE STANDARDS. THE HORSE QUALITY STANDARDS AND LATE AND THE STANDARDS. THE HORSE QUALITY STANDARDS AND LATE AND THE STANDARDS. THE HORSE QUALITY STANDARDS AND LATE AND THE MORE THAN THE PROPRIET AND LATE AND THE STANDARDS. THE HORSE QUALITY STANDARDS AND LATE AND THE MORE THAN THE PROPRIET AND LATE AND THE STANDARDS. THE HORSE QUALITY STANDARD STANDARDS AND THE STANDARDS AND CONSTRUCTION CRATEFICATION TO BE FOUND.
- 2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE FLANS, IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, HEASUREMENTS TAKEN IN THE REID. THE INFORMATION IS NOT TO BE RELID UPON AS BEINGE PACK OF COMPANIES OF MUST CALL THE COOMFACTOR OF MUST CALL THE COOMFACTOR OF COMPANIES FROM ANY EXCANATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES FROM TO CONSTRUCTION, THE CONTRACTOR SHALL VERBY PRETINENT LOCATIONS AND ELEVATIONS, ESPECIALLY AT THE CONNECTION POINTS AND AT POTENTIAL UTILITY CONNECTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE FLANS.
- 4. THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH THE CITY OF AMES AND ALL UTILITY COMPANIES INVOLVED WITH REGARD TO RELOCATIONS OR ADJUSTMENTS OF DISTINGUITURES DURING CONSTRUCTION AND TO ASSIRE HAT THE WORK IS ACCOMPLISHED IN A THELY FASHED AND WITH ARMHUM DISAUTION OF SENSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTRACTING ALL PRATIES AFFECTED STAY OF DISAUTION OF ANY UTILITY SENSE.
- 5. THE CONTRACTOR SHALL HAVE ONE (I) SIGNED COPY OF THE APPROVED PLANS, ONE (I) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS, AND A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB, ON-SITE AT ALL TIMES.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY INCLUDING, BUT NOT UMITED TO, EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURITY.
- IF DURING THE CONSTRUCTION PROCESS CONDITIONS ARE ENCOUNTERED BY THE CONTRACTOR, HIS SUBCONTRACTORS, OR OTHER AFFECTED PARTIES, WHICH
  COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTRACT THE ENGINEER INMEDIATELY.
- 8. ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
- THE CONTRACTOR SHALL SUBHIT A TRAFFIC CONTROL PLAN, IN ACCORDANCE WITH THE MU.T.C.D. TO THE APPROPRIATE RIGHT-OF-WAY AUTHORITY (CTY COUNTY, OR STATE) FOR APPROVIAL, PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN, OR APPECTING, THE RIGHT-OF-WAY. THE CONTRACTOR SHALL BE REPONSIBLE FOR PROVIDING ANY AND ALL TRAFFIC CONTRICL DEVICES AS HAY BE REQUIRED BY THE CONSTRUCTION CONSTRUCTION.
- 10. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS SHOWN ON THESE DRAWNINGS OR DESIGNATED TO BE PROVIDED, INSTALLED, CONSTRUCTED, REMOVED AND RELOCATED UNLESS SPECIFICALLY NOTED. OTHERWISE.
- 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS AND DIRT TRACKED FROM THE SITE.
- 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING AS BUILT INFORMATION ON A SET OF RECORD DRAWINGS KEPT AT THE CONSTRUCTION SITE, AND AVAILABLE TO THE CITY OF AMES PUBLIC WORKS INSPECTOR AT ALL TIMES, AS-BUILT INFORMATION TO BE GIVEN TO ENGINEER UPON PROJECT COMPLETION.
- 13. DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. IF FERTINENT DIMENSIONS ARE NOT SHOWN, CONTACT THE CONSULTANT ENGINEER FOR CUARIFICATION, AND ANNOTATE THE DIMENSION ON THE AS-BULT RECORD DRAWINGS.
- 14. ALL STRUCTURAL EROSION CONTROL HEASURES SHALL BE INSTALLED, AT THE LIHITS OF CONSTRUCTION, PRIOR TO ANY OTHER GROUND DISTURBING ACTIVITY.
  ALL EROSION CONTROL MEASURES SHALL BE HAINTAINED IN GOOD REPAIR BY THE CONTRACTOR, UNTIL SUCH TIME AS THE ENTIRE DISTURBED AREAS ARE
  STABILIZED WITH HAPD SURFACE OR LANDSCAPING.
- 15. THE CONTRACTOR SHALL SEQUENCE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO MINIMIZE POTENTIAL UTILITY CONFUCTS. IN GENERAL, STORM SEWER AND SANITARY SEVER SHOULD BE CONSTRUCTED PRIOR TO INSTALLATION OF WATER LINES AND DRY UTILITIES.
- 16. ALL WORK WITHIN SOUTH DUFF AVE IS SUBJECT TO THE JURISDICTION OF THE JOWA DEPARTMENT OF TRANSPORTATION.
- 17. ALL OPERATIONS CONDUCTED ON THE PREMISES, INCLUDING THE WARMING UP, REPAIR, ARRIVAL DEPARTURE OR RUNNING OF TRUCKS, EARTH MOWING EQUIPMENT, CONSTRUCTION EQUIPMENT AND ANY OTHER ASSOCIATED EQUIPMENT SHALL GENERALLY BE UNITED TO THE PERIOD SETVIEN 600 AM, AND 1140 PM, DEPARTON UNLESS OTHERWISE APPROVED BY THE CITY.
- IR. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL UTILITY RELOCATIONS CONSISTENT WITH THE CONTRACTOR'S SCHEDULE FOR THIS PROJECT, WHETHER SHOWN OR NOT SHOWN AS IT RELATES TO THE CONSTRUCTION ACTIVITIES CONTEMPLATED IN THESE PLANS.
- 19. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL TEMPORARY POWER, TELEPHONE AND WATER TO THE SITE, PAYING ALL FEES EXCLUDING TAP FEES AND SYSTEM DEVELOPMENT FEES, REFERRING TO ARCHITECTURAL PLANS FOR THE EXACT LOCATION AND DIMENSIONS OF BUILDING EXITS, RAMPS, TRUCK DOCKS, AND UTILITY ENTRANCE LOCATIONS.
- 20. IN GENERAL, LIMITS OF SITE WORK ARE UP TO THE FACE OF BUILDING.
- 21. THE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAYING, EXIT PORCHES, RAMIS AND TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS.
- 22. CONTRACTOR TO MAINTAIN ALL SHRUB AND GROUND COVER AREAS FREE FROM WEEDS AND UNDESIRABLE VEGETATION THROUGH MAINTENANCE PERIO

| COVER SHEET                                      |            |              | SHOPPES ON SOUTH DUFF<br>AMES, IOWA |             |            |              |           |  |
|--|------------|--------------|-------------------------------------|-------------|------------|--------------|-----------|--|
|  | 11/05/2018 |              | 11/05/2018                          |             | 11/05/2018 | SCALE        | AS SHOWN  |  |
| DRAWN BY:  | ĘĶ         | DESIGNED BY: | SPB<br>CPB                          | CHECKED BY: | RP         | PROJECT No.: | 093615000 |  |
| PRELIMINARY FOR REVIEW ONLY NOT FOR CONSTRUCTION |            |              |                                     |             |            |              |           |  |

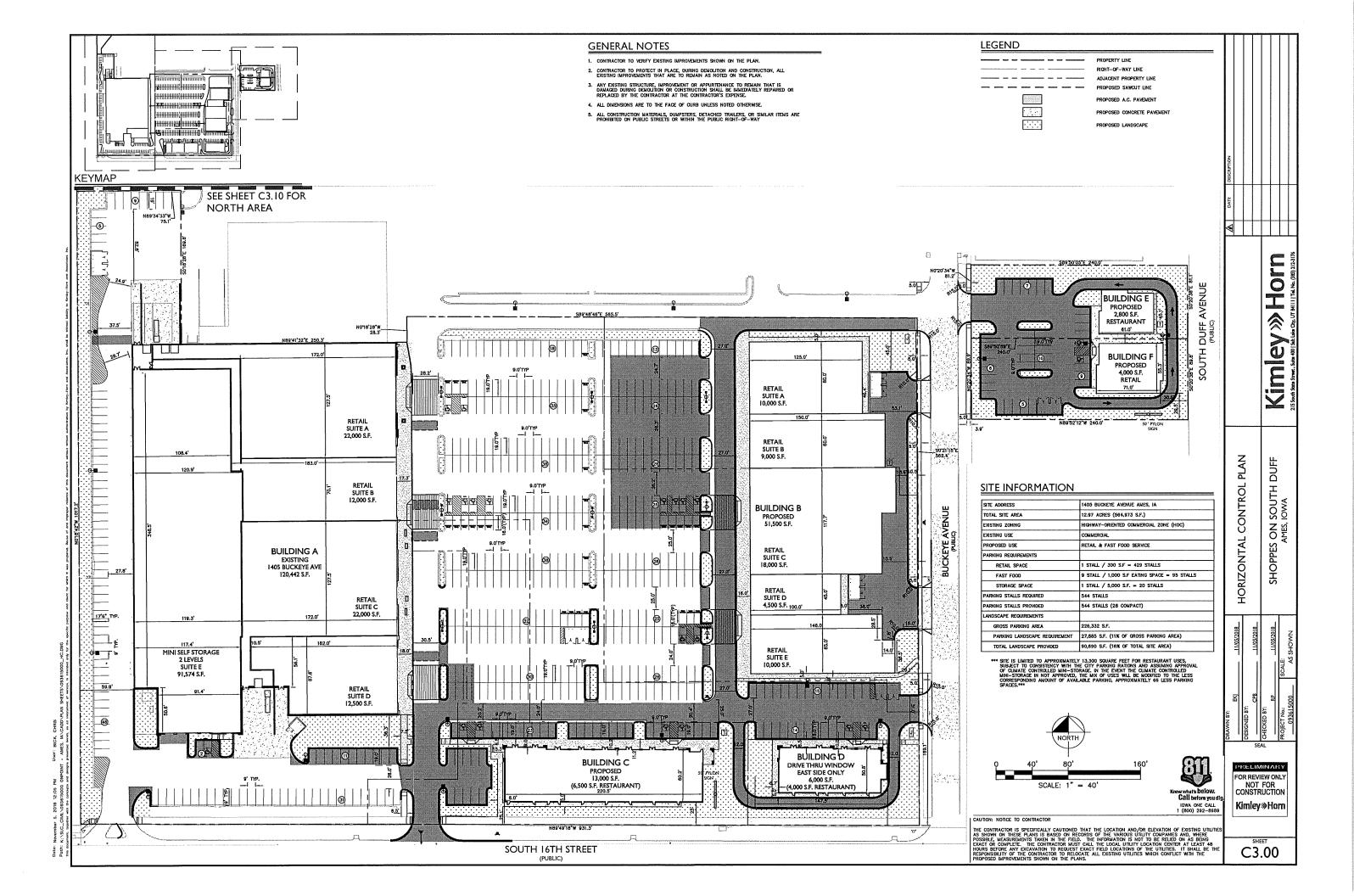
Kimley»

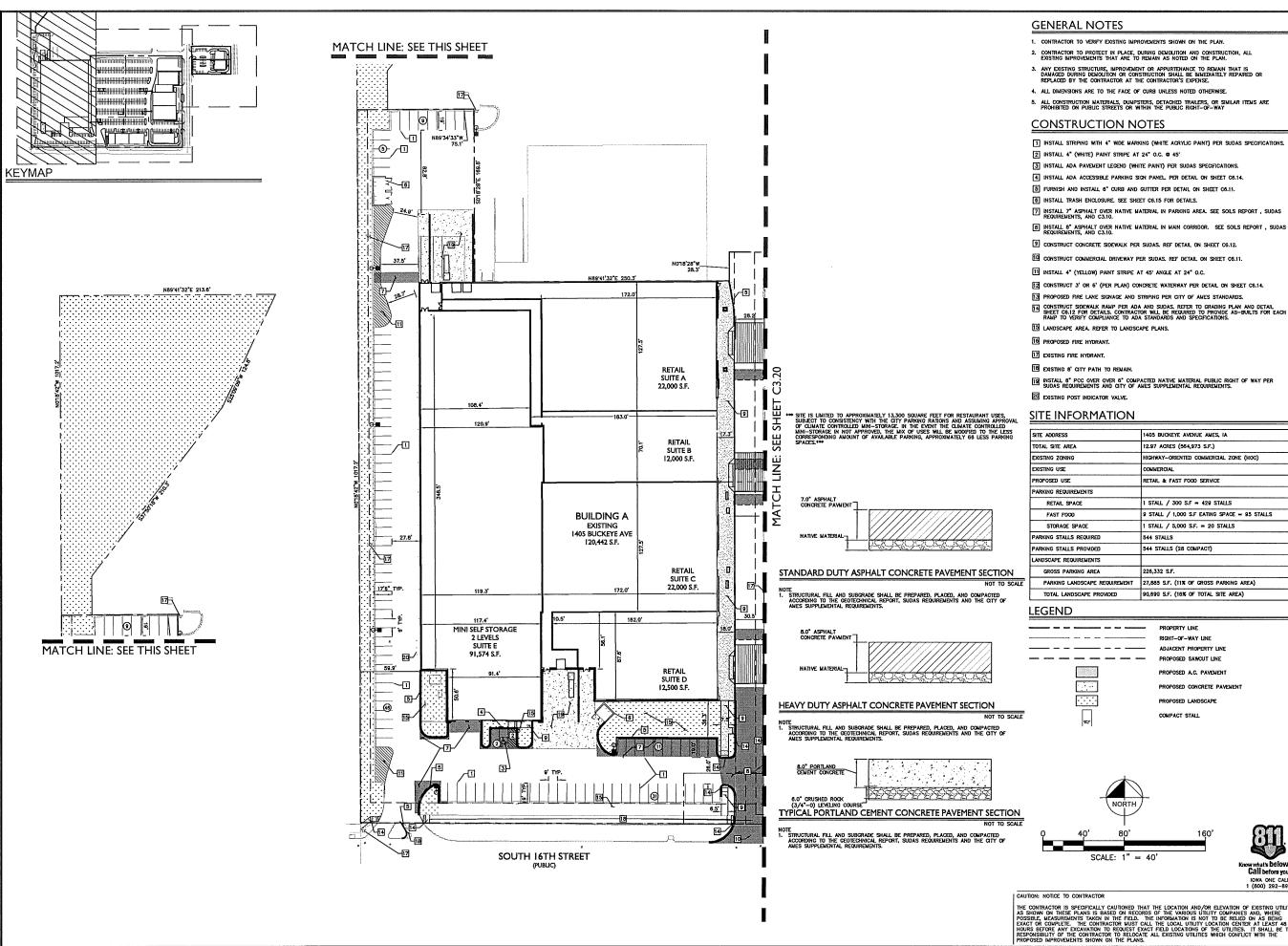
CAUTION: NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXSTING UTILITY AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COUPAMIES AND, MIRER POSSBELE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE FREIDED ON AS BEING EXACT OR COUPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

C<sub>0.00</sub>

Kimley»Horn





1. CONTRACTOR TO VERIFY EXISTING IMPROVEMENTS SHOWN ON THE PLAN.

CONTRACTOR TO PROTECT IN PLACE, DURING DEMOUTION AND CONSTRUCTION, ALL EXISTING IMPROVEMENTS THAT ARE TO REMAIN AS NOTED ON THE PLAN.

3. ANY EXISTING STRUCTURE, IMPROVEMENT OR APPURTENANCE TO REMAIN THAT IS DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.

4. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS NOTED OTHERWISE.

5. ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS, OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC RIGHT—OF—WAY

I INSTALL STRIPING WITH 4" WIDE MARKING (WHITE ACRYLIC PAINT) PER SUDAS SPECIFICATIONS.

2 INSTALL 4" (WHITE) PAINT STRIPE AT 24" O.C. 0 45"

[3] INSTALL ADA PAVEMENT LEGEND (WHITE PAINT) PER SUDAS SPECIFICATIONS.

5 FURNISH AND INSTALL 6" CURB AND GUTTER PER DETAIL ON SHEET C8.11.

6 INSTALL TRASH ENCLOSURE, SEE SHEET C6.15 FOR DETAILS.

7 INSTALL 7" ASPHALT OVER NATIVE MATERIAL IN PARKING AREA. SEE SOILS REPORT, SUDAS REQUIREMENTS, AND C3.10.

ONSTRUCT CONCRETE SIDEWALK PER SUDAS, REF DETAIL ON SHEET C6.12.

 ${\ensuremath{\overline{10}}}$  construct commercial driveway per sudas. Ref detail on sheet c6.11.

11 INSTALL 4" (YELLOW) PAINT STRIPE AT 45' ANGLE AT 24" O.C.

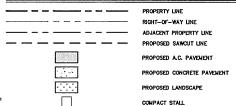
[2] CONSTRUCT 3' OR 6' (PER PLAN) CONCRETE WATERWAY PER DETAIL ON SHEET C6.14.

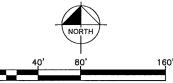
[3] PROPOSED FIRE LANE SIGNAGE AND STRIPING PER CITY OF AMES STANDARDS.

CONSTRUCT SOEWALK RAMP PER ADA AND SUDAS, REFER TO GRADING PLAN AND DETAIL SHEET CS.12 FOR DETAILS, CONTRACTOR WILL BE REQUIRED TO PROVIDE AS-BUILTS FOR EACH RAMP TO VERBY COMPLIANCE TO JOAN STANDARDS AND SPECIFICATIONS.

[19] INSTALL 8" PCC OVER OVER 6" COMPACTED NATIVE MATERIAL PUBLIC RIGHT OF WAY PER SUDAS REQUIREMENTS AND CITY OF AMES SUPPLEMENTAL REQUIREMENTS.

| SITE ADDRESS                  | 1405 BUCKEYE AVENUE AMES, IA                 |
|-------------------------------|--|
| TOTAL SITE AREA               | 12.97 ACRES (564,973 S.F.)                   |
| Existing zoning               | HIGHWAY-ORIENTED COMMERCIAL ZONE (HOC)       |
| existing use                  | CONNERCIAL                                   |
| PROPOSED USE                  | RETAIL & FAST FOOD SERVICE                   |
| PARKING REQUIREMENTS          |  |
| RETAIL SPACE                  | 1 STALL / 300 S.F = 429 STALLS               |
| FAST FOOD                     | 9 STALL / 1,000 S.F EATING SPACE = 95 STALLS |
| STORAGE SPACE                 | 1 STALL / 5,000 S.F. = 20 STALLS             |
| PARKING STALLS REQUIRED       | 544 STALLS                                   |
| PARKING STALLS PROVIDED       | 544 STALLS (28 COMPACT)                      |
| LANDSCAPE REQUIREMENTS        |  |
| GROSS PARKING AREA            | 226,332 S.F.                                 |
| PARKING LANDSCAPE REQUIREMENT | 27,885 S.F. (11% OF GROSS PARKING AREA)      |
| TOTAL LANDSCAPE PROVIDED      | 90,690 S.F. (16% OF TOTAL SITE AREA)         |







Know what's below. Call before you IOWA ONE CALL 1 (800) 292-898

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITY AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS ATMORN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCANATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH COMPLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

Kimley»Horn

PRELIMINARY FOR REVIEW ONLY

NOT FOR CONSTRUCTION

Kimley » Horn

DUFF

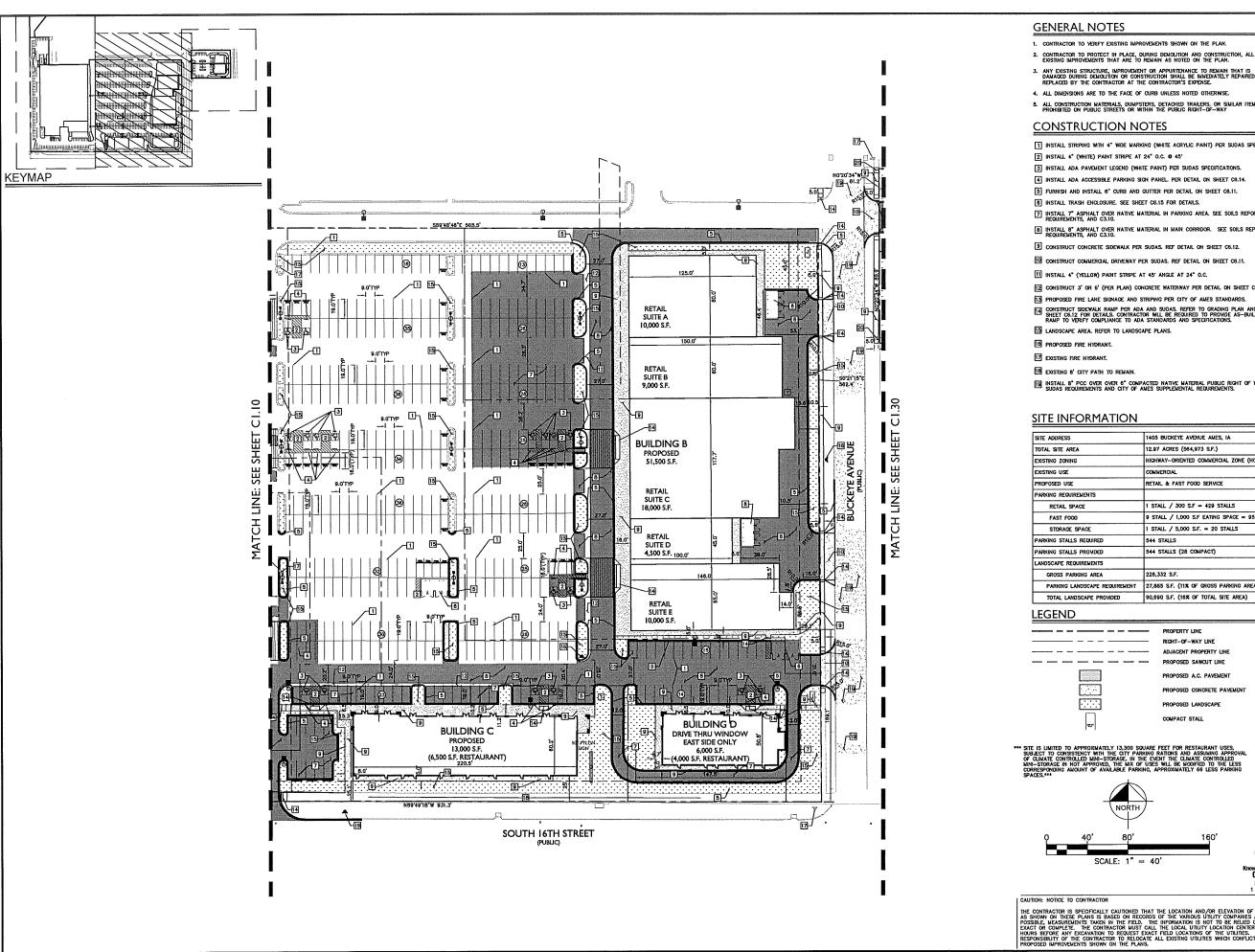
SOUTH

AMES,

CONTROL PLAN

HORIZONTAL

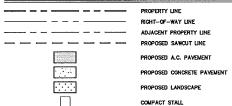
C3.10

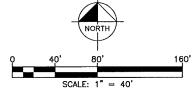


- 3. ANY EXISTING STRUCTURE, IMPROVEMENT OR APPURTENANCE TO REMAIN THAT IS DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- 5. ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS, OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC RIGHT-OF-WAY
- [1] INSTALL STRIPING WITH 4" WIDE MARKING (WHITE ACRYLIC PAINT) PER SUDAS SPECIFICATIONS
- INSTALL ADA ACCESSIBLE PARKING SIGN PANEL. PER DETAIL ON SHEET C8.14.
- 5 FURNISH AND INSTALL 6" CURB AND GUTTER PER DETAIL ON SHEET C8.11.
- $\boxed{7}$  install 7° asphalt over native material in parking area. See soils report , sudas requirements, and c3.10.
- [8] INSTALL 8" ASPHALT OVER NATIVE MATERIAL IN MAIN CORRIDOR. SEE SOILS REPORT, SUDAS RECOUREMENTS. AND C3.10.

- 12 CONSTRUCT 3' OR 6' (PER PLAN) CONCRETE WATERWAY PER DETAIL ON SHEET C6.14.
- 13 PROPOSED FIRE LANE SIGNAGE AND STRIPING PER CITY OF AMES STANDARDS.
- [IS] INSTALL 8" PCC OVER OVER 6" COMPACTED NATIVE NATERIAL PUBLIC RIGHT OF WAY PER SUDAS REQUIREMENTS AND CITY OF ANES SUPPLEMENTAL REQUIREMENTS.

| SITE ADDRESS                  | 1405 BUCKEYE AVENUE AMES, IA                 |
|-------------------------------|--|
| TOTAL SITE AREA               | 12.97 ACRES (564,973 S.F.)                   |
| EXISTING ZONING               | HIGHWAY-ORIENTED COMMERCIAL ZONE (HOC)       |
| EXISTING USE                  | COMMERCIAL                                   |
| PROPOSED USE                  | RETAIL & FAST FOOD SERVICE                   |
| PARKING REQUIREMENTS          |  |
| RETAIL SPACE                  | 1 STALL / 300 S.F = 429 STALLS               |
| FAST FOOD                     | 9 STALL / 1,000 S.F EATING SPACE - 95 STALLS |
| STORAGE SPACE                 | 1 STALL / 5,000 S.F. = 20 STALLS             |
| PARKING STALLS REQUIRED       | 544 STALLS                                   |
| PARKING STALLS PROVIDED       | 544 STALLS (28 COMPACT)                      |
| LANDSCAPE REQUIREMENTS        |  |
| GROSS PARKING AREA            | 228,332 S.F.                                 |
| PARKING LANDSCAPE REQUIREMENT | 27,885 S.F. (11% OF GROSS PARKING AREA)      |
| TOTAL LANDSCAPE PROVIDED      | 90,690 S.F. (16% OF TOTAL SITE AREA)         |
|                               |  |







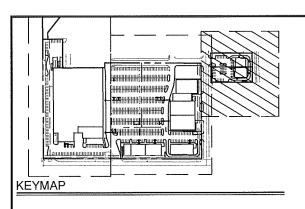
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHICH IS THE POSSIBLE, MEASURGENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST HOURS BEFORE ANY EXCANATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFIDED WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

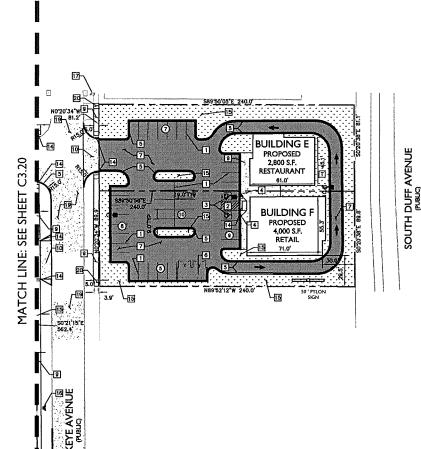
Kimley HORIZONTAL CONTROL PLAN DUFF SOUTH AMES, SHOPPES

> PRELIMINARY FOR REVIEW ONLY NOT FOR CONSTRUCTION

Kimley»Horn

C3.20





#### **GENERAL NOTES**

- 1. CONTRACTOR TO VERIFY EXISTING IMPROVEMENTS SHOWN ON THE PLAN.
- 2. CONTRÁCTOR TO PROTECT IN PLACE, DURING DEMOUTION AND CONSTRUCTION, ALL EXISTING IMPROVEMENTS THAT ARE TO REMAIN AS NOTED ON THE PLAN.
- 3. ANY EXISTING STRUCTURE, IMPROVEMENT OR APPURTENANCE TO REMAIN THAT IS DAMAGED OURNIN DEMOUTION OR CONSTRUCTION SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- 4. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS NOTED OTHERWISE.
- 5. ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS, OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC RICHT-OF-WAY

#### **CONSTRUCTION NOTES**

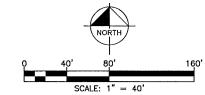
- 1 INSTALL STRIPING WITH 4" WIDE MARKING (WHITE ACRYLIC PAINT) PER SUDAS SPECIFICATIONS.
- [2] INSTALL 4" (WHITE) PAINT STRIPE AT 24" O.C. 0 45"
- [3] INSTALL ADA PAVEMENT LEGEND (WHITE PAINT) PER SUDAS SPECIFICATIONS. 4 INSTALL ADA ACCESSIBLE PARKING SIGN PANEL PER DETAIL ON SHEET C6.14.
- 5 FURNISH AND INSTALL 6" CURB AND GUTTER PER DETAIL ON SHEET CO.11.
- [6] INSTALL TRASH ENGLOSURE, SEE SHEET C6.15 FOR DETAILS.
- $\colone{1.5ex}{\colone{1.5ex}{$7$}}$  install 7° asphalt over native material in parking area. See soils report , sudas requirements, and c3.10.
- 9 CONSTRUCT CONCRETE SIDEWALK PER SUDAS, REF DETAIL ON SHEET C6.12.
- CONSTRUCT CONNERCIAL DRIVEWAY PER SUDAS, REF DETAIL ON SHEET CO.11.
- III INSTALL 4" (YELLOW) PAINT STRIPE AT 45" ANGLE AT 24" O.C.
- [2] CONSTRUCT 3' OR 6' (PER PLAN) CONCRETE WATERWAY PER DETAIL ON SHEET C6.14.
- 13 PROPOSED FIRE LANE SIGNAGE AND STRIPING PER CITY OF AMES STANDARDS.
- CONSTRUCT SIDEWALK RAMP PER ADA AND SUDAS, REFER TO GRADING PLAN AND DETAIL SHEET CS.12 FOR DETAILS, CONTRACTOR WILL BE REQUIRED TO PROVIDE AS-BUILTS FOR EACH RAMP TO VERRY COMPLIANCE TO ADA STANDARDS AND SPECIFICATIONS.
- 15 LANDSCAPE AREA. REFER TO LANDSCAPE PLANS.
- PROPOSED FIRE HYDRANT.
- 17 EXISTING FIRE HYDRANT.
- EXISTING 8' CITY PATH TO REMAIN.
- [19] INSTALL 8" PCC OVER 6" COMPACTED NATIVE MATERIAL PUBLIC RIGHT OF WAY PER SUDAS REQUIREMENTS AND CITY OF AMES SUPPLEMENTAL REQUIREMENTS.
- CONTRACTOR TO TRANSITION SDEWALK FROM APPROXIMATELY 4' TO 5' WITHIN ONE PANEL LENGTH. EXTEND NEW SIDEWALK TOWARDS BUCKEYE AVE.

#### SITE INFORMATION

| SITE ADDRESS                  | 1404 & 1410 BUCKEYE AVENUE AMES, IA          |
|-------------------------------|--|
| TOTAL SITE AREA               | 0.97 ACRES (40,984.4 S.F.)                   |
| existing zoning               | HIGHWAY-ORIENTED COMMERCIAL ZONE (HOC)       |
| existing use                  | OPEN SPACE                                   |
| PROPOSED USE                  | RETAIL & FAST FOOD SERVICE                   |
| PARKING REQUIREMENTS          |  |
| RETAIL SPACE                  | 1 STALL / 300 S.F = 429 STALLS               |
| FAST FOOD                     | 9 STALL / 1,000 S.F EATING SPACE = 95 STALLS |
| STORAGE SPACE                 | 1 STALL / 5,000 S.F. = 20 STALLS             |
| PARKING STALLS REQUIRED       | 39 STALLS                                    |
| PARKING STALLS PROVIDED       | 39 STALLS                                    |
| ANDSCAPE REQUIREMENTS         |  |
| GROSS PARKING AREA            | 16,069 S.F.                                  |
| PARKING LANDSCAPE REQUIREMENT | 5,197 S.F. (32% OF GROSS PARKING AREA)       |
| TOTAL LANDSCAPE PROVIDED      | 13,277 S.F. (34% OF TOTAL SITE AREA)         |

#### **LEGEND**

PROPERTY LINE RIGHT-OF-WAY LINE ADJACENT PROPERTY LINE PROPOSED SAWCUT LINE PROPOSED A.C. PAVEMENT 3.74 PROPOSED CONCRETE PAVENENT •:•:•:





Know what's below.

CAUTION: NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITY AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHIER POSSIBLE, MEASUREMENTS INCERN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFOR ANY EXCANATION TO RECUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE TRESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED MIPROVEMENTS SHOWN ON THE PLANS.

C3.30

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Kimley»Horn

Kimley

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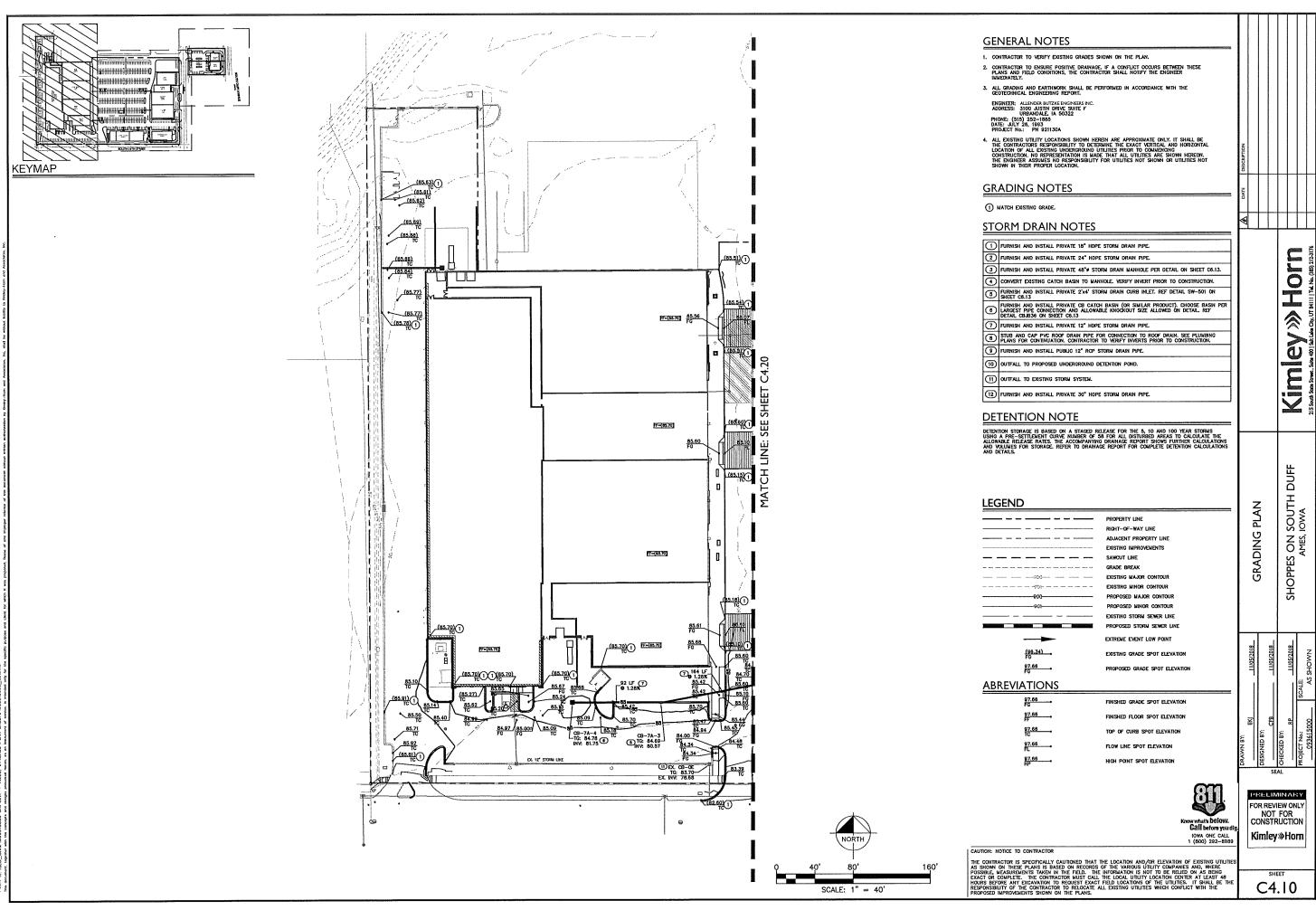
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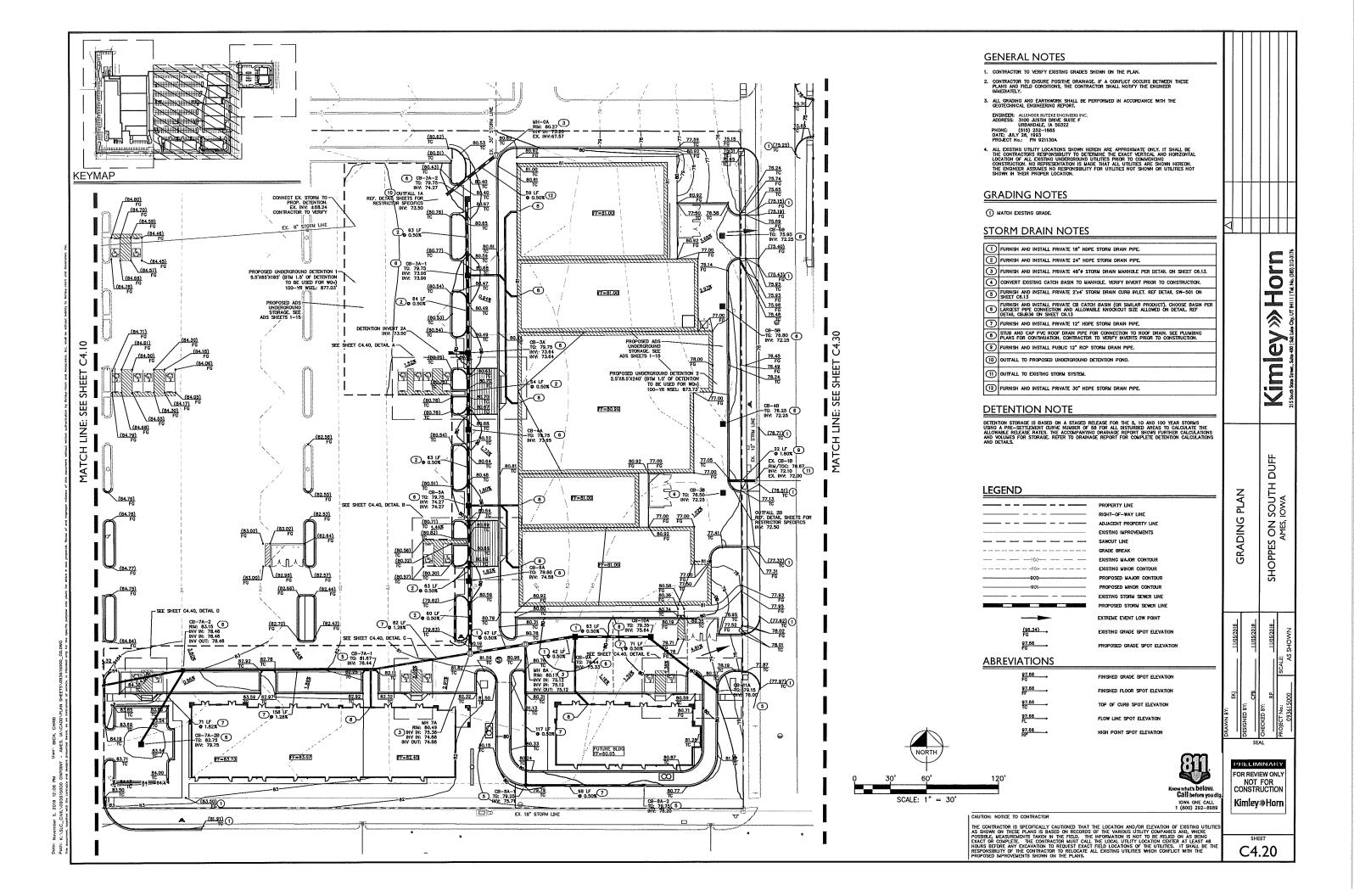
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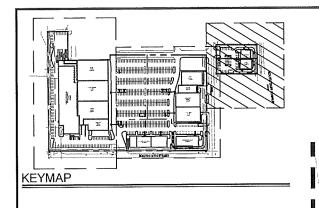
HORIZONTAL CONTROL PLAN

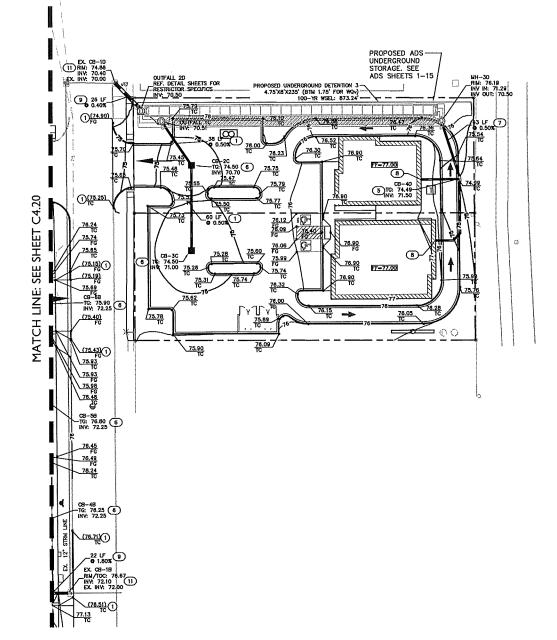
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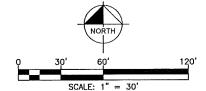


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#### **GENERAL NOTES**

- 1. CONTRACTOR TO VERIFY EXISTING GRADES SHOWN ON THE PLAN.
- CONTRACTOR TO ENSURE POSITIVE DRAINAGE. IF A CONFLICT OCCURS BETWEEN THESE PLANS AND RELD CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- ALL GRADING AND EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERING REPORT.

4. ALL EASTING UTILITY LOCATIONS SHOWN HERBIN ARE APPROPRIATE ONLY. IT SMALL BE THE CONTRACTORS RESPONSEDBLY TO BETEBURE THE EXCH VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGOUND UTILITIES PROR TO COMMENCING CONSTRUCTION. AND REPRESENTATION IS MORE THAT ALL UTILITIES ARE SHOWN HERBORN. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

#### **GRADING NOTES**

(1) MATCH EXISTING GRADE.

#### STORM DRAIN NOTES

- FURNISH AND INSTALL PRIVATE 18" HOPE STORM DRAIN PIPE. 2) FURNISH AND INSTALL PRIVATE 24" HOPE STORM DRAIN PIPE. 3 FURNISH AND INSTALL PRIVATE 48" STORM DRAIN MANHOLE PER DETAIL ON SHEET C8.13. CONVERT EXISTING CATCH BASIN TO MANHOLE. VERIFY INVERT PRIOR TO CONSTRUCTION.
- 6 PURNISH AND INSTALL PRIVATE OB CATCH BASH (OR SIMILAR PRODUCT). CHOOSE BASH PER LARGEST PIPE CONNECTION AND ALLOWABLE KNOCKOUT SIZE ALLOWED ON DETAIL REF DETAIL CB.B36 ON SHEET CS.13
- 7 FURNISH AND INSTALL PRIVATE 12" HOPE STORN DRAIN PIPE.
- TUB AND CAP PVC ROOF DRAIN PIPE FOR CONNECTION TO ROOF DRAIN. SEE PLUMBING PLANS FOR CONTINUATION. CONTRACTOR TO VERIFY INVERTS PRIOR TO CONSTRUCTION.
- FURNISH AND INSTALL PUBLIC 12" RCP STORM DRAIN PIPE.
- 0 OUTFALL TO PROPOSED UNDERGROUND DETENTION POND.
- 11 OUTFALL TO EXISTING STORM SYSTEM.
- [2] FURNISH AND INSTALL PRIVATE 30" HOPE STORM DRAIN PIPE.

#### **DETENTION NOTE**

DETENTION STORAGE IS BASED ON A STAGED RELEASE FOR THE 5, 10 AND 100 YEAR STORMS USING A PRE-SETTLEMENT CURRE VUNDER OF 58 FOR ALL DISTURBED AREAS TO CALCULATE THE ALLDWARDE RELEASE RATES. THE ACCOMPANING DORANGE REPORT SHOWS FURTHER CALCULATIONS AND WOLUMES FOR STORAGE. REPER TO DRAINAGE REPORT FOR COMPLETE DETENTION CALCULATIONS AND EXTAILS.

#### **LEGEND**

|  | PROPERTY LINE                 |
|--|-------------------------------|
|  | RIGHT-OF-WAY LINE             |
|  | ADJACENT PROPERTY LINE        |
|  | EXISTING IMPROVEMENTS         |
|  | SAWCUT LINE                   |
| PRI 1000 VIDEO VIDEO TOTA TOTA 1140-11-00 -0004 -0004 -0004 -0004 -0004 -0004 -0004 -0004 -0004 -0004 -0004 -0004  | GRADE BREAK                   |
|  | EXISTING MAJOR CONTOUR        |
|  | EXISTING MINOR CONTOUR        |
|  | PROPOSED MAJOR CONTOUR        |
| 901  | PROPOSED MINOR CONTOUR        |
|  | EXISTING STORM SEWER LINE     |
| The state of the s | PROPOSED STORM SEWER LINE     |
|  | EXTREME EVENT LOW POINT       |
| (96,34)<br>FG  | EXISTING GRADE SPOT ELEVATION |
| 97.66<br>FG  | PROPOSED GRADE SPOT ELEVATION |

#### **ABREVIATIONS**

| 97.66<br>FG | FINISHED GRADE SPOT ELEVATION |
|-------------|-------------------------------|
| 97.66<br>FF | FINISHED FLOOR SPOT ELEVATION |
| 97.65<br>TC | TOP OF CURB SPOT ELEVATION    |
| 97.66<br>FL | FLOW LINE SPOT ELEVATION      |
| 97.66<br>HP | HIGH POINT SPOT ELEVATION     |



C4.30

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Kimley » Horn

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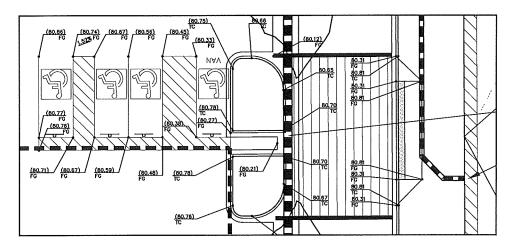
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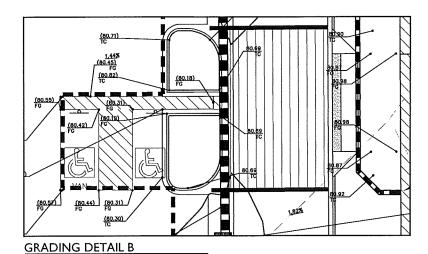
GRADING PLAN

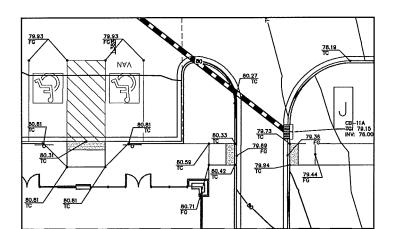
CAUTION: NOTICE TO CONTRACTOR

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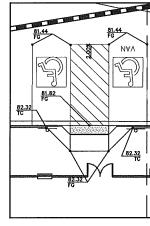


#### GRADING DETAIL A

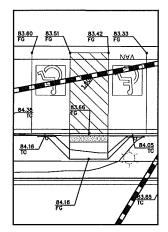




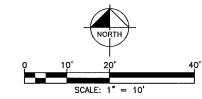
GRADING DETAIL E



GRADING DETAIL C



GRADING DETAIL D





CAUTION: NOTICE TO CONTRACTOR

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C4.40

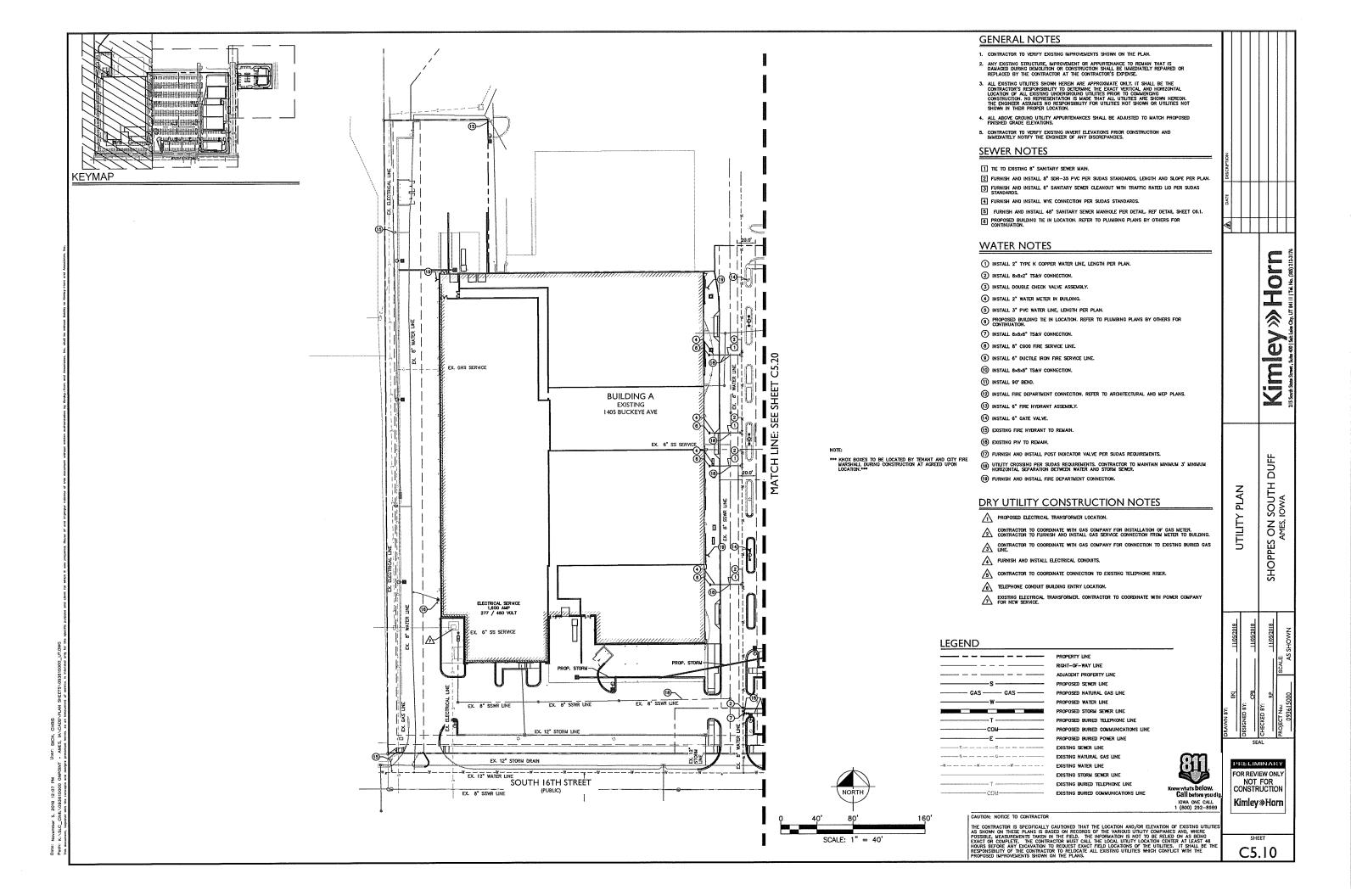
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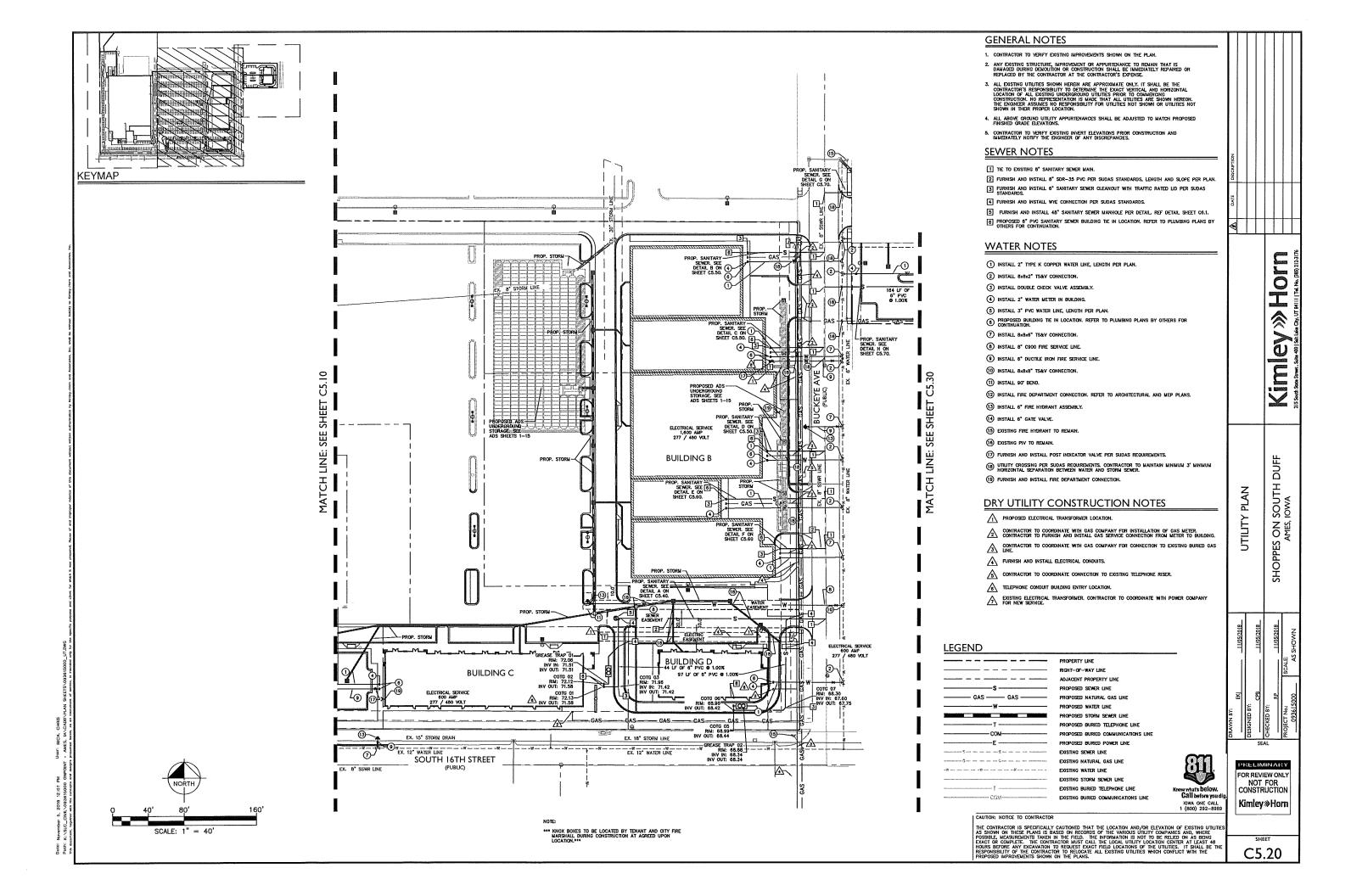
FOR REVIEW ONLY NOT FOR CONSTRUCTION Kimley»Hom

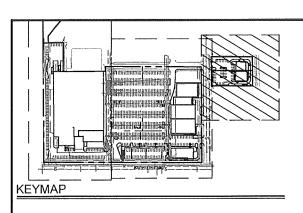
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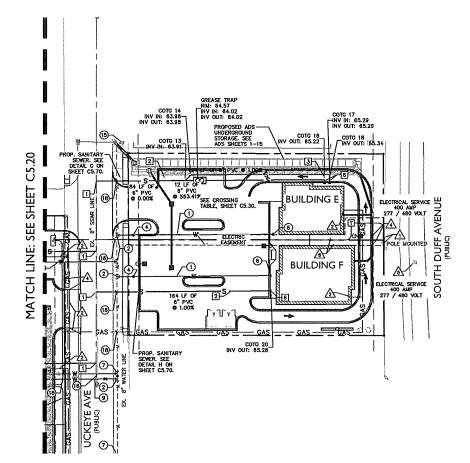
SHOPPES ON SOUTH DUFF AMES, IOWA

GRADING DETAILS









#### **GENERAL NOTES**

- 1. CONTRACTOR TO VERIFY EXISTING IMPROVEMENTS SHOWN ON THE PLAN.
- 2. ANY DOSTING STRUCTURE, IMPROVEMENT OR APPURITEMANCE TO REMAIN THAT IS DAMAGED DURING DEDUCTION OR CONSTRUCTION SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- 3. ALL EXISTING UTILITIES SHOWN HEREIN ARE APPROXIMATE ONLY, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMERCIONS CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSURES NO REPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN FIRE PROPER LOCATION.
- ALL ABOVE GROUND UTILITY APPURTENANCES SHALL BE ADJUSTED TO MATCH PROPOSED FINISHED GRADE ELEVATIONS.
- 5. CONTRACTOR TO VERIFY EXISTING INVERT ELEVATIONS PRIOR CONSTRUCTION AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCES.

#### **SEWER NOTES**

- 1 THE TO EXISTING 8" SANITARY SEWER MAIN.
- [2] FURNISH AND INSTALL 8" SDR-35 PVC PER SUDAS STANDARDS, LENGTH AND SLOPE PER PLAN.
- 3 FURNISH AND INSTALL 6" SANITARY SEWER CLEANOUT WITH TRAFFIC RATED LID PER SUDAS STANDARDS.
- 4 FURNISH AND INSTALL WIFE CONNECTION PER SUDAS STANDARDS.
- 5 FURNISH AND INSTALL 48" SANITARY SEWER MANHOLE PER DETAIL REF DETAIL SHEET CO.1.
- FROPOSED BUILDING TIE IN LOCATION. REFER TO PLUMBING PLANS BY OTHERS FOR CONTINUATION.

#### WATER NOTES

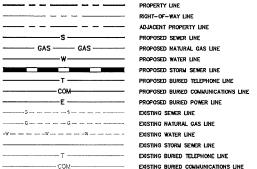
- 1 INSTALL 2" TYPE K COPPER WATER LINE, LENGTH PER PLAN.
- (2) INSTALL 8x8x2" TS&V CONNECTION.
- 3 INSTALL DOUBLE CHECK VALVE ASSEMBLY.
- 4 INSTALL 2" WATER WETER IN BUILDING.
- (5) INSTALL 3° PVC WATER LINE, LENGTH PER PLAN.
- PROPOSED BUILDING TIE IN LOCATION. REFER TO PLUMBING PLANS BY OTHERS FOR CONTINUATION.
- (7) INSTALL 8x8x6" TS&V CONNECTION.
- (8) INSTALL 8° C900 FIRE SERVICE LINE.
- (9) INSTALL 6" DUCTILE IRON FIRE SERVICE LINE.
- (10) INSTALL 8x8x8" TSAV CONNECTION.
- (1) INSTALL 90" BEND.
- (2) INSTALL FIRE DEPARTMENT CONNECTION, REFER TO ARCHITECTURAL AND MEP PLANS.
- (3) INSTALL 6" FIRE HYDRANT ASSENBLY.
- (4) INSTALL 6" GATE VALVE.
- (5) EXISTING FIRE HYDRANT TO REMAIN.
- (B) EXISTING PIV TO REMAIN.
- (7) FURNISH AND INSTALL POST INDICATOR VALVE PER SUDAS REQUIREMENTS.
- (B) UTILITY CROSSING PER SUDAS REQUIREMENTS. CONTRACTOR TO MAINTAIN MINIMUM 3' MINIMUM HORIZONTAL SEPARATION BETWEEN WATER AND STORM SEWER.
- (9) FURNISH AND INSTALL FIRE DEPARTMENT CONNECTION.

#### DRY UTILITY CONSTRUCTION NOTES

- PROPOSED ELECTRICAL TRANSFORMER LOCATION.
- CONTRACTOR TO COORDINATE WITH GAS COMPANY FOR INSTALLATION OF GAS METER. CONTRACTOR TO FURNISH AND INSTALL GAS SERVICE CONNECTION FROM METER TO BUILDING.
- CONTRACTOR TO COORDINATE WITH GAS COMPANY FOR CONNECTION TO EXISTING BURIED GAS LINE.
- FURNISH AND INSTALL ELECTRICAL CONDUITS.
- $\triangle$  contractor to coordinate connection to existing telephone riser.
- TELEPHONE CONDUIT BUILDING ENTRY LOCATION.
- EXISTING ELECTRICAL TRANSFORMER. CONTRACTOR TO COORDINATE WITH POWER COMPANY FOR NEW SERVICE.

#### LEGEND

\*\*\* KNOX BOXES TO BE LOCATED BY TENANT AND CITY FIRE MARSHALL DURING CONSTRUCTION AT AGREED UPON LOCATION.\*\*\*





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Kimley»

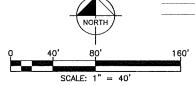
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ON AMES,

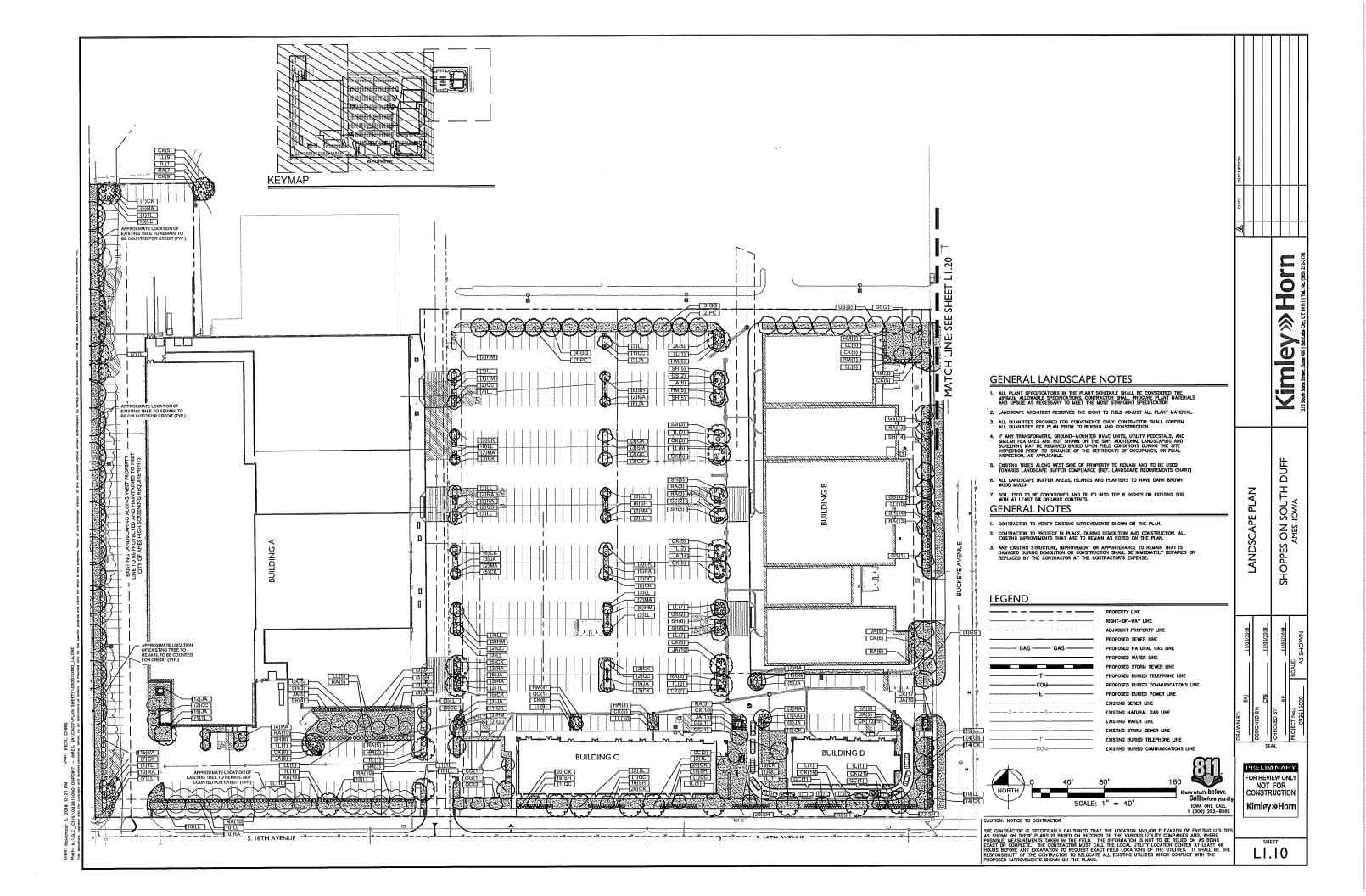
PLAN

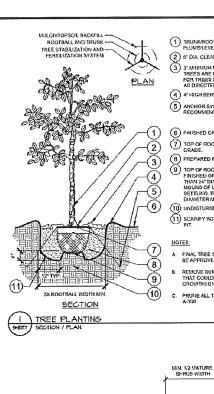
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1 TRUNK/ROOT BALL TO BE CENTERED AND PLUME/LEVEL IN PLANTING PH.

(2) 6' DIA CLEAR OF MULCH AT TRUNK FLARE. 3 JEHEMBINA MULCH AS SPECIFIED, WHERE TREES ARE PLACED IN SOD, MARCH RING

(4) A' HIGH BERM, FIRMLY COMPACTED.

(6) FWISHED GRADE (SEE GRADING PLAN) (7) TOP OF ROOTBALL MIN. 1" ABOVE FINISHED CRADE.

9 TOP OF ROOTBALL SHALL BE 1" ABOVE FINISHED GRADE ROOTBALLS GREATER Finished grade, rootball 5 greater Than 11 diameter shall de placed on Mourio of Undistured Scil to Prevent Settung, rootball 8 sualler than 21" in Diameter may sit on compacted earth.

(1) SCARGEY BOTTOM AND SAKES OF PLANTING

A. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.

REMOVE BURLAP, WIRE AND STRAPS (ANYTHER THAT COULD GROLE TREE OR RESTRICT ROOT GROWTH) ON UPPER 1/3 OF ROOTBALL.

C. PRUVIE ALL TREES IN ACCORDANCE WITH AVISI A 300

1) TOP OF SHAUB ROOTBALLS TO BE PLANTED 1'- Z'HKSHWITH SOIL MOUNDING UP TO THE TOP OF ROOTBALL.

2) FRUNE ALL SHRUBS TO ACHIEVE A UNIFORM MASSINERATE.

3 THULCH LAYER AS

(5) FRISHED GRADE (SEE GRADING PLAN).

BACENATION)
 PREPARED PLANTING SOIL AS SPECTING, (SEE LANDSCAPE NOTES) NOTE: WHEN GROUND-COVERS AND FAME BED TO BE AMENDED WITH PLANTING SOIL MIX AS SPECTINE.

SCARGEY OF PLANTING PTO 8) 4" HIGH BERN FIRMLY COMPACTED.

(9) UNDISTURBED NATIVE SOIL (10) FERTILIZER TABLETS (MAX 3"

SECTION

PLAN

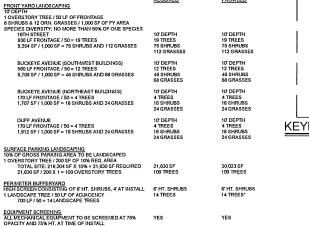
BEST FACE OF SHRUE

REFER TO PLANT SCHEDULE FOR SPACING

MAINTAIN 12" DEAD ZONE

A CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRICR TO INSTALLATION B. WHEN SHRUBS ARE PRUNED IN MASSES, PRUNE ALL SHRUBS TO ACHIEVE LABFORM MASS / HEIGHT.

SHRUB/GROUNDCOVER PLANTING

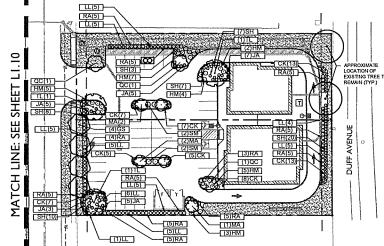


REQUIRED

PROVIDED

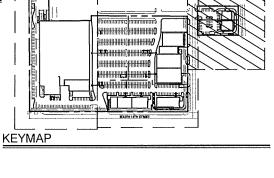
\*16 EXISTING TREES @ >8\* DIA. = 32 EXISTING TREE CREDITS TO APPUED TOWARD PERIMETER BUFFERYARD LAKIOSCAPE REQUREMENT.

LANDSCAPE REQUIREMENTS



# DI ANT SCHEDITE

| PLANT SCH          | EDULE   |       |         |             |         |            |
|--------------------|---|-------|---------|-------------|---------|------------|
| IREES              | BOTANICAL NAME / COMMON NAME                                    | CONT  | CAL     | SZE         |         | DIX        |
| $\odot$            | GNIKGO BILOBA "GOLDEN GLOBE" / GOLDEN GLOBE GNIKGO              | 848   | 2°CH    | 10'-12' HT. |         | 14         |
| $\odot$            | GLEDITS/A TRUACANTHOS "SXYLINE" / SKYLINE HONEY LOCUST          | 848   | 2°C4    | 10'-12" HT. |         | 36         |
| _0                 | QUERCUS ROBUR X ALBA "CRIMISON SPIRE" / Crimison Spire Oak      | 848   | 2°Ca)   | 10'-12' HT. |         | 26         |
| $\mathfrak{I}^{-}$ | TILIA AMERICANA / AMERICAN LINOEN                               | 845   | 2°C#    | 10°-12' HT, |         | 30         |
| EVERGREEN TRE      | BOTANICAL NAME/COMMON NAME                                      | CONT  | CAL     | S:ZE        |         | OTY        |
| $\odot$            | PICEA PUNISENS / COLORADO EL VE SPRUCE                          | 3 & 8 |         | 6" Ht Min   |         | 5          |
| FLOWERING TREE     | 5 BOTANICAL NAME / COMMON NAME                                  | CONT  | CAL     | SIZE        |         | OTY        |
| $\odot$            | CERCIS CANADENSIS / EASTERN REDBUO                              | 946   | 2°Cal   | 10'-12' HT. |         | 14         |
| $\mathfrak{I}$     | MALUS X "ADRIONDACK" / ADRIONDACK CRABAPPLE                     | 845   | 2°Cal   | 10°-12' HT. |         | 19         |
| OTHER              | BOTANICAL NAME / COMMON NAME                                    | CONT  | CAL     | <u>5:7E</u> |         | SIX        |
| $\odot$            | EXISTING TREES  |       |         |             |         | 11         |
| SHRUBS             | BOTANICAL NAME / COMMONNAME                                     | CONT  | SCZE    |             |         | <u>91Y</u> |
| 0                  | HYDRANGEA WACROPHYLLA /LARGELEAF HYDRAGEA                       | 5 gal | 1-2" HT |             |         | 67         |
| 0                  | JUNIPERUS X PFITZERIANA "ARUSTRONG" / ARUSTRONG JUNIPER         | 5 gai | 2-3" HT |             |         | 174        |
| 0                  | LIGUSTRUM VULGARE "LODENSE" /LODENSE PRIVET                     | 5 gal | 1-2" HT |             |         | 275        |
| O                  | RIBES ALPINUM / ALPINE CURRANT                                  | 5 gal | 1-2" HT |             |         | 223        |
| 0                  | SYRNGA MEYERS PAUEN / PALISH LLAC                               | 5 gai | 2-3" HT |             |         | 14         |
| 0                  | VIBURNUM X RHYTIDOPHYLLODES / ALLEGHANY VIBURNUM                | 5 gal | 4" HT.  |             |         | 115        |
| GRASSES            | BOTANICAL NAVE / CONVONNAVE                                     | CONT  | SVZE    |             |         | YTO        |
| 0                  | CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS | 1 gal | 1-2" HT |             |         | 440        |
| 0                  | SPOROBOLUS HETEROLEPIS / PRAIRIE DROPSEED                       | 1 gal | 1-2° HF |             |         | 265        |
| GROUND COVERS      | BOTANICAL NAVE / COMMON NAVE                                    | CONT  |         |             | SPACING | OTY        |



#### GENERAL LANDSCAPE NOTES

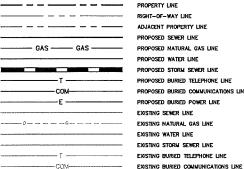
- ALL PLANT SPECIFICATIONS IN THE PLANT SCHEDULE SHALL BE CONSIDERED THE WININUM ALLOWABLE SPECIFICATIONS. CONTRACTOR SHALL PROCURE PLANT MATERIALS AND UPSIZE AS NECESSARY TO MEET THE WOST STRINGENT SPECIFICATION
- 2. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO FIELD ADJUST ALL PLANT MATERIAL
- 3. ALL QUANTITIES PROVIDED FOR CONVENIENCE ONLY, CONTRACTOR SHALL CONFIRM ALL QUANTITIES PER PLAN PRIOR TO BIDDING AND CONSTRUCTION.

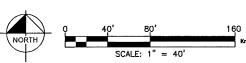
#### **GENERAL NOTES**

- 1. CONTRACTOR TO VERIFY EXISTING IMPROVEMENTS SHOWN ON THE PLAN.
- CONTRACTOR TO PROTECT IN PLACE, DURING DEMOLITION AND CONSTRUCTION, ALL EXISTING IMPROVEMENTS THAT ARE TO REMAIN AS NOTED ON THE PLAN.
- 3. ANY EXISTING STRUCTURE, IMPROVEMENT OR APPURIENANCE TO REMAIN THAT IS DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPERSE.

# LEGEND

CAUTION: NOTICE TO CONTRACTOR





PRELIMINARY FOR REVIEW ONLY NOT FOR CONSTRUCTION

Kimley»Hom THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITY AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSUBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE FRELED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCANATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

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ullet

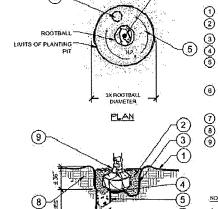
Kimley

SOUTH

A O N

SHOPPES

LANDSCAPE



SECTION

4 POOR DRAINAGE CONDITION

(2) CURB / PARKING LOT EDGE.

3 PARKING SPACE/CURB PLANTING

(1) INSTALL CONTINUOUS MULCH RED ADJACENT TO PARKING SPACES AS SHOWN MULCH SHALL BE MIN, 3" DEEP. NO POPUP REPROATION HEADS SHALL BE LOCATED WITHIN 24" OF A PARKING SPACE ON ANY SIDE.

1 FINISH GRADE (SEE GRADING PLANS) 2 BACKFILL WITH PREPARED PLANTING SOIL MIX AS SPECIFIED.

(3) FILTER CLOTH, MIRAFI 500X OR BETTER. (4) SLOPE BOTTOM TO DRAIN.

(5) AUGURED HOLE 8/18' PENETRATE THROUGH OCCUDING LAYER TO WATER TABLE OR TO A DEPTH OF 7 TO ASSURE PROPER PERCOLATION (6) BACKFILL WITH 10"-34" GRAVEL TO REQUIRED DEPTH THROUGH OCCLUDING LAYER TO ASSURE PROPER PERCOLATION.

(7) WATER TABLE, (DEPTH VARIES

(A) UNITED WATER SOIL

9 SET ROOTBALL ON UNDISTURBED STABLE SUBSOIL SO THAT TOP OF ROOT BALL IS 1" ABOVE FINISHED GRADE.

#### NOTES



#### INSTALLATION NOTES

A. POST SELECTION SHOULD BE BASED ON EXPECTED STRENGTH NEEDS AND THE LENGTH OF TIME FENCE WILL BE IN PLACE, FLEXIBLE FIBERGLASS ROD POSTS ARE RECOMMENDED FOR PARKS, ATHLETIC EVENTS AND CROWD CONTROL, RISTALLATURS. METAL TI POSTS OF TREATED WOOD POSTS ARE TYPICALLY USED FOR CONSTRUCTION AND OTHER APPLICATIONS.

B. POSTS SHOULD BE DRIVEN INTO THE GROUND TO A DEPTH OF 12 OF THE HEIGHT OF THE POST, FOR EXAMPLE, A & POST SHOULD BE SET AT LEAST 2 SITO THE GROUND.

C. SPACE POSTS EVERY & (MIN.) TO B (MAX.).

D. SECURE FENCING TO POST WITH NYLON CABLE TIES (AVAILABLE FROM CONNED PLASTICS), WOOD STRIPS MAY BE ALSO BE USED TO PROVIDE ADDITIONAL SUPPORT AND PROTECTION BETWEEN TIES AND POSTS.

NOTE: If WHE TIES ARE USED, AVOID DIRECT CONTACT WITH FENCE, WIRE MAY DAMAGE FENCE OVER TIME.

ELEVATION

6-800

PLAN

#### GENERAL LANDSCAPE SPECIFICATIONS

- A SCOPE OF WORK
- THE WORK CONSISTS OF: FURINSHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENAYICES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWNIGS AND AS SPECIFIED
- WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER.
- B. PROTECTION OF EXISTING STRUCTURES
- ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLAITING ALREADY COMPLETED OR ESTABLISHED AND DESIGNATED TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTANDING ALL RECESSARY BEST MANAGEMENT PRACTICES (BMP) DEVICES ACCORDING TO ALL REGULATORY AGENCY'S STANDARDS THROUGH THE DURATION OF ALL CONSTRUCTION ACTIVITIES.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MAINTENANCE OF TRAFFIC (MOT) THAT MAY BE REQUIRED FOR THE
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, PRIOR TO EXCAVATION. THE OWNER AND DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR THE ACCURACY AND COMPLETEES OF ANY SUCH INFORMATION OR DATA. THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR; REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA; LOCATING ALL UNDERGROUND FACILITIES DATHING CONSTRUCTION; THE SAFETY AND PROTECTION THEREOF; RESPINING ANY OWNER THERETO RESULTINGS PROVIDED. WORK THE COST OF ALL WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. THE CONTRACT SHALL NOTIFY MY AFFECTED UTILITY COMPANIES OR AGENCIES IN WRITING AT LEAST 48 HOURS PRIOR TO BEGINN CONSTRUCTION.
- PROTECTION OF EXISTING PLANT MATERIALS
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LYAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE, CAUSED BY CARELESS EQUIPMENT OPERATION, IMPTERIAL STOCKPUING, ETC. THIS SHALL INCLUDE COMPACTION BY DEVINING OR PARKING INSIDE THE DEPIPME AND SPLUTION OIL, GASOLING, OR OTHER DELETERIOUS IMPTERIALS WITHIN THE DRIP-LINE. NO IMPTERIALS SHALL BE BURNED ON SITE EXISTING TREES INLED OR DAMAGED SO THAT THEY ARE MISSIAPEN ANDOR USISIONITY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF FOR HANDRED DOLLARS (400) FER CALIFER NICH ON AN IESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (I) INCHES DAMPER AS PIXED AND GREED LUGGATED DAMAGES. CALIFER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR THEES OF TO AND INCLUDIAS FOUR (6) INCHES IN CALIFER AND THELVE (12) MICHES ABOVE GROUND LEVEL FOR THEES OFF TO AND INCLUDIAS FOUR (6) INCHES IN CALIFER AND THELVE (12) MICHES ABOVE GROUND LEVEL FOR THEES OFF TO AND INCLUDIAS FOUR (6) INCHES IN CALIFER AND THELVE (12) MICHES ABOVE GROUND LEVEL FOR THESE OVER FOR (6) INCHES IN CALIFER SHAD
- 2. SEE TREE MITIGATION PLAN AND NOTES, IF APPLICABLE.
- D. MATERIALS

MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON SITE OR AS DETERMINED BY THE OWNER. UPON APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.

TOPSOIL MIX PLANTS

SAMPLE SIZE ONE (1) CUBIC FOOT

ONE (1) CUBIC FOOT ONE (1) OF EACH VARIETY (OR TAGGED IN NURSERY)

- a. FURNISH MURSERY-GROWN PLANTS TRUE TO GENUS, SPECIES, VARIETY, CULTIVAR, STEM FORM, SHEARING, AND OTHER FEATURES INDICATED IN PLANT SCHEDULE SHOWN ON DRAWNISG AND COMPLYING WITH ANIS 220.1 AND THE LOCAL NARSERY ACIT, AND WITH HEALTH ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNKS. PROVIDE WELL SHAPED, PLI, 19 MINDHED, INGLINT, WORKNOW, STOCK, DENSITY COLLETE WHEN ILD AF AND THE CEP DISEASE, PESTIS, EGGS, LARVAE, AND DEFECTS SUCH AS INVITS, SUR SCALID, RUARNES, ARRASONS, AND DISTRIBUTION.
- b. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE.
- c. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY WITH APPROVAL FROM PROJECT LANDSCAPE ARCHITECT.
- d. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE PROJECT LANDSCAPE ARCHITECT.
- e. PROVIDE PLANTS OF SIZES, GRADES, AND BALL OR CONTAINER SIZES COMPLYING WITH ANSIZED, I AND LOCAL MARSER STANDARDS FOR TYPES AND FORM OF PLANTS REQUIRED. PLANTS OF A LARGER SIZE MAY BE USED IF ACCEPTABLE TO PROJECT LANGSCAPE ARCHITECT WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BALL.
- f. PLATS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR GUALITY, SIZE, AND UNBERTY, SUCH APPROVAL SHALL, NOTIMENTA THE RIGHT OF CONDITION OF ROOT BALLSTONE, SIZE AND UNBERTY SUCH APPROVAL SHALL, NOTIMENTAL THE RIGHT OF CONDITION OF ROOT BALLSTONE DEFEOTS OR NUMBER S. RESCREDE A.WARS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PROPER TO AUTHORISED DATE.
- 9. TREES WITH DAMAGED, CROCKED, OR MULTIPLE LEADERS; TIGHT VERTICAL BRANCHES WHERE BARK IS SQUEEZED BETWEEN TWO BRANCHES OR BETWEEN BRANCH AND TRUNK (INCLUDED BARK); CROSSING TRUNKS; CUT-OFF UMBS MORE THAN HINCH (19 MM) IN DIAMETER; OR WITH STEM GIRDLING ROOTS WILL BE REJECTED.
- IN. FURNISH TREES AND SHRUBS WITH ROOTS BALLS MEASURED FROM TOP OF ROOT BALL, WHICH SHALL BEGIN AT ROOT FLARE ACCORDING TO ANSI 260.1 AND COLORADO NURSERY ACT, ROOT FLARE SHALL BE VISIBLE BEFORE PLANTING.
- I. LABEL AT LEAST ONE PLANT OF EACH VARIETY, SIZE, AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF COMMON NAME AND FULL SCIENTIFIC NAME, INCLIDING GENUS AND SPECIES. INCLIDE NOMERICATURE FOR HYBRID, VARIETY, OR CLITHVAR, IF APPLICABLE FOR THE PLANT AS SHOWN ON DRAWNINGS.
- J. IFFORMAL ARRANGEMENTS OR CONSECUTIVE ORDER OF PLANTS IS SHOWN ON DRAWINGS, SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD, AND NUMBER THE LABELS TO ASSURE SYMMETRY IN PLANTING.
- E. SOIL MIXTURE
- SOIL IN REQUIRED LANDSCAPED AREAS MUST BE SOIL CONDITIONED AND TITLED INTO THE TOP 6 INCHES WITH AT LEAST 5% ORGANICS CONTENTS, LANDSCAPE PLAN MUST SPECIFY WHICH REQUIREMENT THE SITE WILL MEET.
- a. TOPSOIL FOR USE IN PREPARING SOIL MXTURE FOR BACKFILLING PLANT OPENINGS SHALL BE FERTILE, FRABLE, AND OF A LOAWY CHARACTER, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER; FREE OF ROOTS, STUMPS, STOWNS LARGER THAN 2'IN ANY DIRECTION, AND OTHER EXTRANELUS OR TOXIC MATTER THANKFUL TO PLANT GROWTH, IT SHALL CONTAIN THEE (3) TO FIVE OI) PERCENT DECOMPOSED ORGANIC MATTER, HAVE A PHERITEEN S AND GO, AND SOLUBLE GALTS LESS THAN 3 DO MADOSCO. SUBMIT STOLL SAMPE AND PHESTING RESULTS FOR APPROVAL.
- b. SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND.
- TREES SHALL BE PLANTED IN THE EXISTING NATIVE SOIL ON SITE, UNLESS DETERMINED TO BE UNSUITABLE AT WHICH POINT THE CONTRACTOR SHALL CONTACT THE PROJECT LANDSCAPE ARCHITECT TO DISCUSS ALTERNATE RECOMMENDATION PROPER TO PLANTING.
- F. WATER
- WATER NECESSARY FOR PLAYING AND IMINITERVANCE SHALL BE OF SATISFACTORY CULLITY TO BUSTAIN ADEQUATE PLANT GROWTH AND SHALL NOT CONTRAIN HARMALL, NATURAL OR IMAHAMDE ELEMENTS DETERMENTAL TO PLAYINS. WATER CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGASHEMTS FOR ITS USE BY HIS TANKS, MOSES, SPRINKERS, ETC... IF SUCH WATER IS NOT AWALABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.
- \* WATERING/IRRIGATION RESTRICTIONS MAY APPLY REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.
- CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY DEBRYED.
- \* FERTILIZER RESTRICTIONS MAY APPLY REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY

- H MICH
- MALCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF THREE (3) INCHES CLEAR MULCH FROM EACH PLANTS CROWN (BASE), OR AS SHOWN IN FLANTING DETAILS. MIACH SHALL BE DOUBLE SHREDGED HARDYNOOD MIACH. DE YOU FOULD HIS INCOCEPTABLE. SUBMIT SAMPLES TO PROJECT LANDSCAPE ARCHITECT FOR APPROVAL, MALCH SHALL BE PROVIDED OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, THE BED, AND TREE RING (6) MAIN DIE, MIACH SHALL BE PROVIDED WHEN THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, THE BED, AND TREE RING (6) MAIN DIE, MIACH SHALL BE PROVIDED WHEN THE CONTRACT, AS WELL AS FOR ANY EXISTING LANDSCAPE AREAS AS SHOWN ON PLANS.
- DIGGING AND HANDLING
- ALL TREES SPECIFIED SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE APPROVED BY PROJECT LANDSCAPE ARCHITECT.
- PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT CANAGE DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN LIQ MEETS OR WHICH ARE NOT PLANTED WITHIN THREE () DAYS OF DELIVERY TO THE SITE SHALL BE SPRAYED WITH AN ANTITRANSPIRANT PRODUCT ("MUTPRUP" OR EQUAL) TO MINIMZE TRANSPIRANT PRODUCT ("MUTPRUP" OR EQUAL) TO MINIMZE
- B&B, AND FIELD GROWN (FG) PLANTS SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE PIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN, PLANTS SHALL NOT BE HANDLED BY STEWS.

#### CONTAINER GROWN STOCK

- ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLAYTS ESTABUSHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLAYTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
- AN ESTABLISHED CONTAINER GROWN RANT SHALL BE TRANSPLANTED HITO A CONTAINER AND GROWN IT THAT CONTAINER SHETCHERTY COND EXPLOSED ON THE RENOVERSION ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL BETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THER STEAD.
- 3. ROOT BOUND PLANTS ARE NOT ACCEPTABLE AND WILL BE REJECTED.
- MATERIALS LIST
- QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATE HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES INO LIBBILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCEPANCY OCCUR BETWEEN THE FLANS AND THE PLAYINT US TQUANTITY, THE PLAYIS SHALL GOVERN AILL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BETHE MINMUM ACCEPTABLE SIZE.
- FINE GRADING
- FIXE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN DISTURBED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH.
- ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS, AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS, REFER TO CIVIL ENGINEERS PLANS FOR HALL GRADES, IF APPLICABLE.
- PLANTING PROCEDURES
- THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER DALLY, ALL MORTAR, CEMENT, BUILDING METABLAS, AND TOXIC MATERIAL SHALL BE COMPLETELY REMOVED FROM PLANTING AREAS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FINIS MAY HOLD CONTROL OF A PROMISSION PLANTING AREAS WHICH MILL ADVERSELY AFFECT THE PLANT GROWNH, THE CONTRACTOR SHALL MAKED METALLY CALL IT TO THE ATTENTION OF THE OWNERS REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.
- VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TAMAS), WATER, SAMFARY SEWER, STORMMATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY WAINTAIN AND PROTECT ENTITIES THAT LIFE CALL COLORADO (811) TO LOCATE UTILITIES AT LIEAST 48 HOURS PRIOR TO
- CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL PLANTING AREAS TO A MIMIMUM DEPTH OF 50 OR TO NATIVE SOIL. CONTRACTOR IS RESPONSIBLE TO BLOCKFILL THESE PLANTING AREAS TO A MIMIMUM DEPTH OF 50 OR TO NATIVE SOIL. CONTRACTOR SIZE SOURCE OR ANIMPORTED SOURCE. ANIMPORT OF THE SOURCE AND ANY TO THE SOURCE OR ANIMPORTED SOURCE. CONTRACTOR, AND POSTIVE DRAINAGE CAN NOT BE ACHEVED, CONTRACTOR SHALL UTILIZE POOR DRAINAGE CONDITION PLANTING OFFILE.
- FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS SPECIFIED HEREIN. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.
- COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE IMTERIALS AND WORK UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERTY MAINTAINED UNIT PLANTED, PLANTS TORDED ONLINE SHALL NOT REMAIN UNPAUNITED ON A PROPROMETALY HEALIGH INFOR A PERIOD EXCEEDING TWENTY FOUR (24) HOURS AT ALL TIMES WORKMANINE METHODS CUSTOMARY IN ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRUE SHALL BE REPOSED.
- WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS, COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.
- ALL PLANTING OPENINGS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH ANSI Z60.1-2014 AMERICAN STANDARD FOR HIJ BEERLY STOCK
- TEST ALL TREE OPENINGS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, UTILIZE TOOR DRAINAGE CONDITION PLANTING DETAIL.
- TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FILL HOSE STREAM ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERMISHOR OF A QUALIFIED LANDSCAPE FOREMEN.
- PRIOR TO EXCAVATION OF TREE OPENINGS, AN AREA EQUAL TO TWO TIMES THE DIAMETER OF THE ROOT BALL SHALL BE ROTO-TILLED TO A DEPTH EQUAL TO THE DEPTH OF THE ROOT BALL.
- EXCAVATION OF TREE OPENINGS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS. FOOTERS AND PREPARED SUB-BASES.
- IN CONTINUOUS SHRUB AND GROUND COVER BEDS, THE ROTO-TILLED PERIMETER SHOULD EXTEND TO A DISTANCE OF ONE FOOT BEYOND THE DIAMETER OF A SINGLE ROOT BALL THE BED SHALL BE TILLED TO A DEPTHEQUAL TO THE ROOT BALL DEPTH PLUS 6".
- 13. TREE OPENINGS FOR WELL DRAINED SOILS SHALL BE DUG SO THAT THE BOTTOM OF THE ROOT BALL WILL REST ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL WILL BE FLUSH WITH FINSH GRADE. IN POORLY DRAINED SOILS THE TREE OPENING SHALL BE DUG SO THAT THE ROOT BALL RISTS ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL IS 1'ABOVE FINSH GRADE. PLANT INT WALLS SHALL BE SCARIFIED PRIOR TO PLANT INSTALLATION.
- 14. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.
- 15. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION 'E'.
- TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (3) NICHES ABOVE GRADE, EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT, SOIL MIXTURE SHALL BE BACK FILLED, THOROGOURLY TAMPED AROUND THE BALL, AND SETTLE DBY WARER GAFTER TAMPHING.
- AWEND PINE AND OAK PLAVIT OPENINSS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURERS RECOMMENDATION, ALL OTHER RANTO PERMASS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION MANUFACTURERS RECOMMENDATION, PROMOTE PRODUCT INFORMATION SUBMITTAL PRIOR TO INOCCLATION.
- FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINITIES, STRENNO IF NECESSARY TO GET SOIL THOROUGHLY WET, PACK LIGHTLY WITH FEET, ADD MORE WET SOIL MIXTURE. DO NOT COVER TO'D OF BALL WITH SOIL MIXTURE.
- ALL BURLAP, ROPE, WIRES, BASKETS, ETC..., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.
- TREES SHALL BE PRUNED, IN ACCORDANCE WITH ANSI A-300, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT, ALL SOFT WOOD OR SUCKER GROWNH AND ALL BROKEN OR BROXY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY CERTIFED ARBORIST.

- 21. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT UST. MATERIALS INSTALLED SHALL MEET MINIOUM SPECIMEN REQUIREMENTS OR QUANTITIES SHOWN ON PLANS, WHICHEVER IS GREATER. CULTIVATE ALL PLANTINS MERS TO A MINIOUM DEPTH OF G. REMOVE AND DESPOSE ALL DEBRIS. MIX TOP 4" THE PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTIS AFTER INSTALLATION.
- 22. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TIRE GUYING AND BRACING, THE OWNER SHALL NOTEY THE FROGECT LANDSCAPE ARCHITECT IN WRITING AND ARREE TO INDEMNITY AND HOLD HARMLESS THE PROJECT LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FLAIL AND DAMAGE PERSON OR PROPERTY.
- 23. ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK IF DIRECTED BY THE ALL PLANT BELES SMELE BE APPI FREE OF FOOLOGS WEEDS ONLITHING, ROCKPHARE, OF MOKE, IT DIRECTED BY THE OWNER, "ROUNDUP" SHALL BE APPIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPILCATIONS PER MANUFACTURERS RECOMMENDATIONS, PRIOR TO PINAL INSPICTION, TREAT ALL PLANTING BEOS WIT AND APPROVED PICE-BURRECHIF LERBEQUE AT AN APPILCATION RATE RECOMMENDED BY THE MANUFACTURER. (AS ALLOWED BY JURISDICTIONAL AUTHORITY)
- LAWN SODDING
- THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWNINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE
- ALL AREAS THAT ARE TO BE SOODED SHALL BE CLEARED OF AIM ROUGH GRASS, WEEDS, AND DEBRIS BY MEANS OF A SOO CUTTER TO A DEPTH OF THREE (3) INCHES, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAI ONE-HANDED (100) POUNDS FER POOT OF WORTH DURING THE ROLLINS, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRAZED ON AIM ROLLED WITH, PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED FRAME.
- PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED, WET PREPARED AREA THOROUGHLY.
- 4 SODDING
- a. THE CONTRACTOR SHALL SOO ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE
- b. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SCODED LAVIN AREA, SOD SHALL BE LAID UNFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER NATIOSCAPE ELEMENTS, PAVED AND PLANTED AREAS. ADJACENT TO BUILDINGS, A 24 INCH STONE MULCH STRIP SHALL BE PROVIDED. IMMEDIATELY FOLLOWING SOO LAYING, THE LAWA MARAS SHALL BE ROLLED WITH A LAWA ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY LAWM AREAS SHALL BE ROLLED WITH A LAWM ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGH, Y IRROATED, IF, IN THE OPINION OF THE OWNER, TO PORESISING IS RECESSARY AFTER ROLLING TO RILL THE VIOUS BETWEEN THE SOO PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOO, CLEAN SANO, AS APPROVED BY THE OWNERS REPRESENTATIVE, SHALL BE UNFORMLY SPERS OVER THE ENTIRES SURFACE OF THE SOD AND THOROUGHLY WATERED IN FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S APRISOCITIONAL AUTHORITY.
- DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE ORYTING AND UNINECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.
- a. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SOODING OF ALL EROCED, SUNKEN OR BARE SPOTS (LARGER THAN 127X12) LIVITIL CERTIFICATION OF ACCEPTANCE BY THE OWNERS REPRESENTATIVE. REPAIRED SODOING SHALL BE ACCOMPUSHED AS IN THE ORIGINAL WORK, INCLUDING REGIRACING IF NECESSAY.
- b. CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SODIAWALUMTIL ACCEPTANCE BY THE OWNERS REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERINGARROATION SCHEDULE TO OWNER, OSSERVE ALLA PPULGABLE WATERING RESTRICTIONS AS SET FORTHS THE PROPERTYS
- CLEANUP
  - UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DERINS RESULTING FROM CONTRACTORS WORK, ALL PAVED AREAS SHALL BE CLEINED AND THE SITE LET! IN A REAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNERS REPRESENTATIVE.

FINAL INSPECTION AND ACCEPTANCE OF WORK

- ALL PLANTS AND PLANTING INCLUDED INCIDENTES CONTRACT SHALL BE INJURIABLE BY WATERING, CLATIVATIVE, SPRANTING, PRANTING, AND ALL OTHER OPERATIONS (SUCH AS RE-STANING OR REPAIRING GUT SUPPORTS) NECESSARY TO INSURE A REALTHY PLANT CONDITION BY THE CONTRACTOR VIMIL CERTIFICATION OF ACCEPTANCE BY THE OWNERS.
- FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT, ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFICD BY THE JUNGSAUPE ARCHITECT OR OWNER IN WRITHING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE FREIGH DESCRIBED.
- THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED (INCLUDING SOO) BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTANCE BY THE OWNERS REPRESENTATIVE.
- ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SCOWAS WEATHER CONDITIONS PERMIT, ALL REPLACEMENTS SHALL BE FLANTS OF THE SAME KIND AND SEZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MALCHED AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.
- IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE AND IRRIGATION MAINTENANCE THE CONTRACTOR SHOULD WISH THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER ONTRACTOR SHALL NOTIFY THE OWNER IN

0 2 Ճ SOUTH PLAN LANDSCAPE ON AMES, SHOPP

Know what's below. Call before you:

CAUTION: NOTICE TO CONTRACTOR THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSBEEL, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFOR ANY EXCAMINON TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

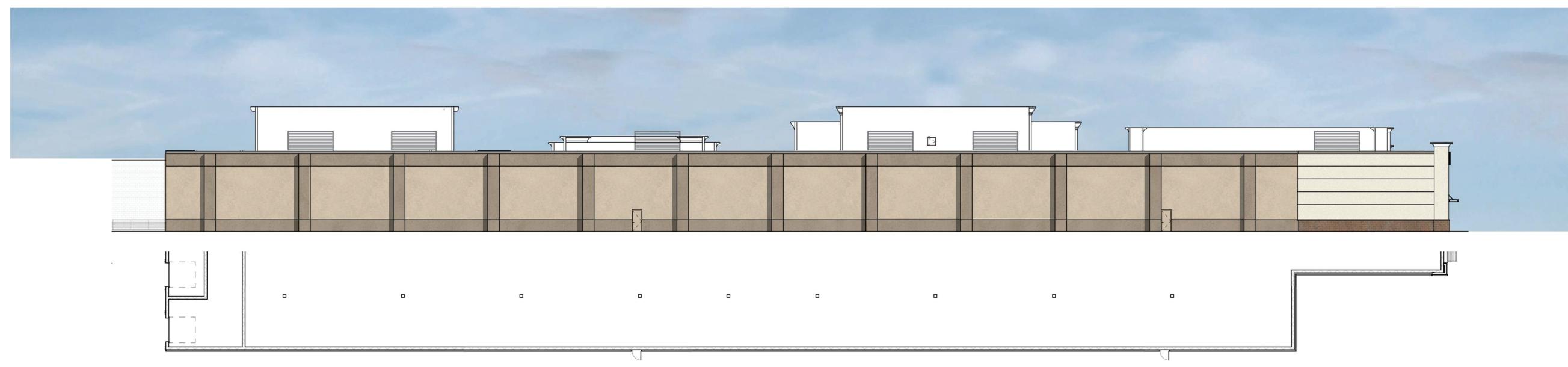
PRELIMINARY FOR REVIEW ONLY NOT FOR CONSTRUCTION Kimley » Horn

L1.30



# Building A | East Elevation





Building A | West Elevation















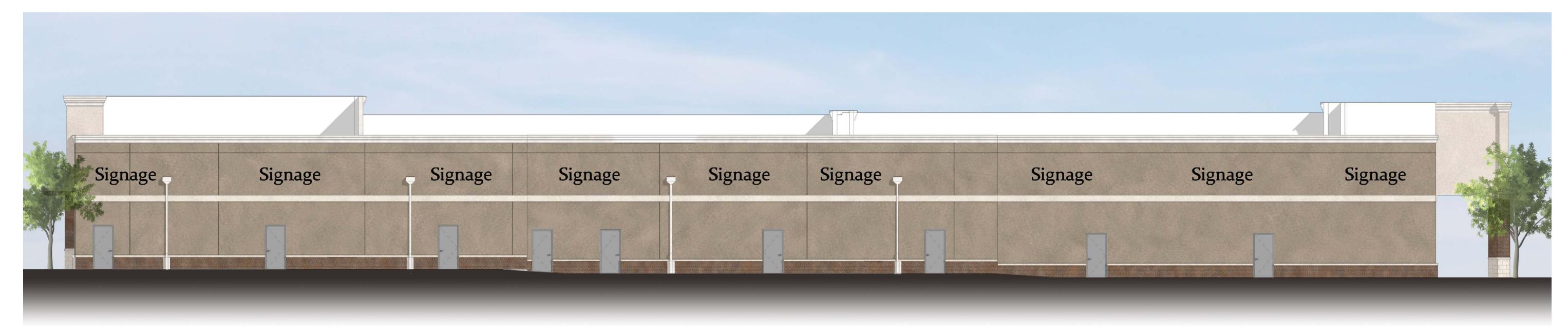
Building C | North Elevation



Building C | West Elevation



Building C | East Elevation



Building C | South Elevation



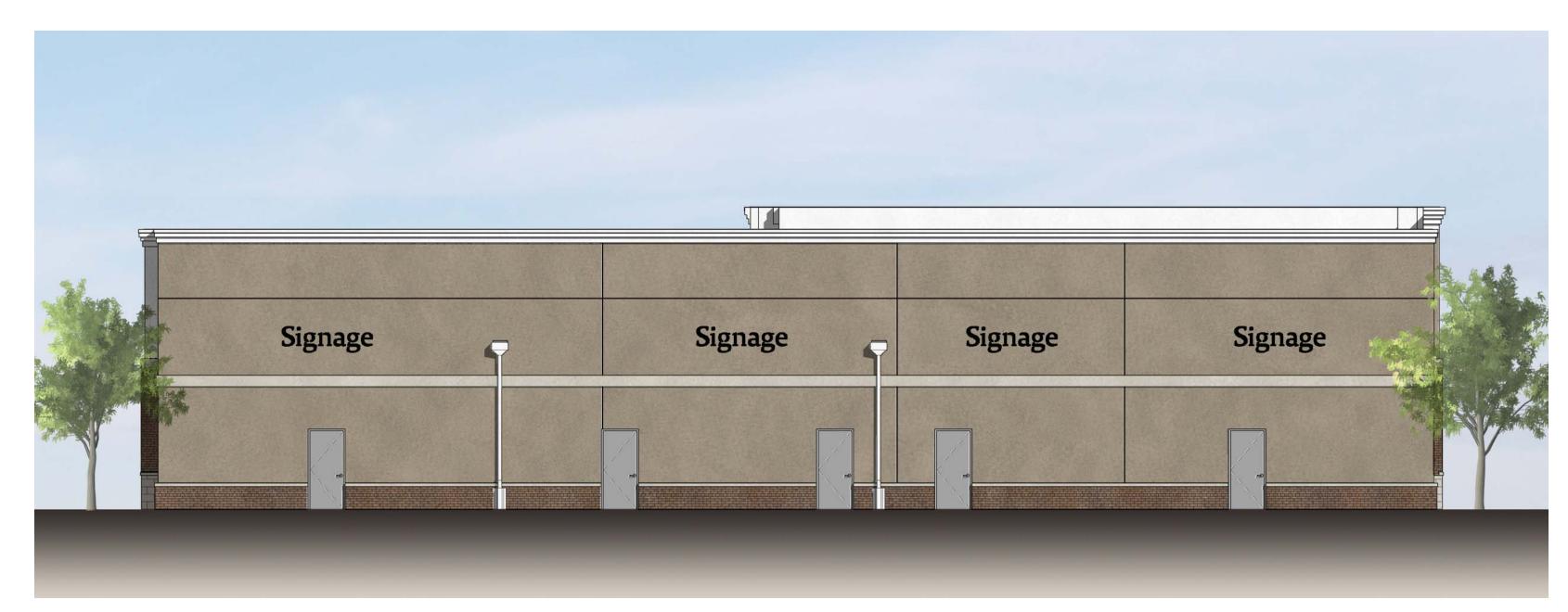




Building D | North Elevation



Building D | West Elevation



Building D | South Elevation



Building D | East Elevation









Building E | North Elevation



Building E | West Elevation



Building E | South Elevation



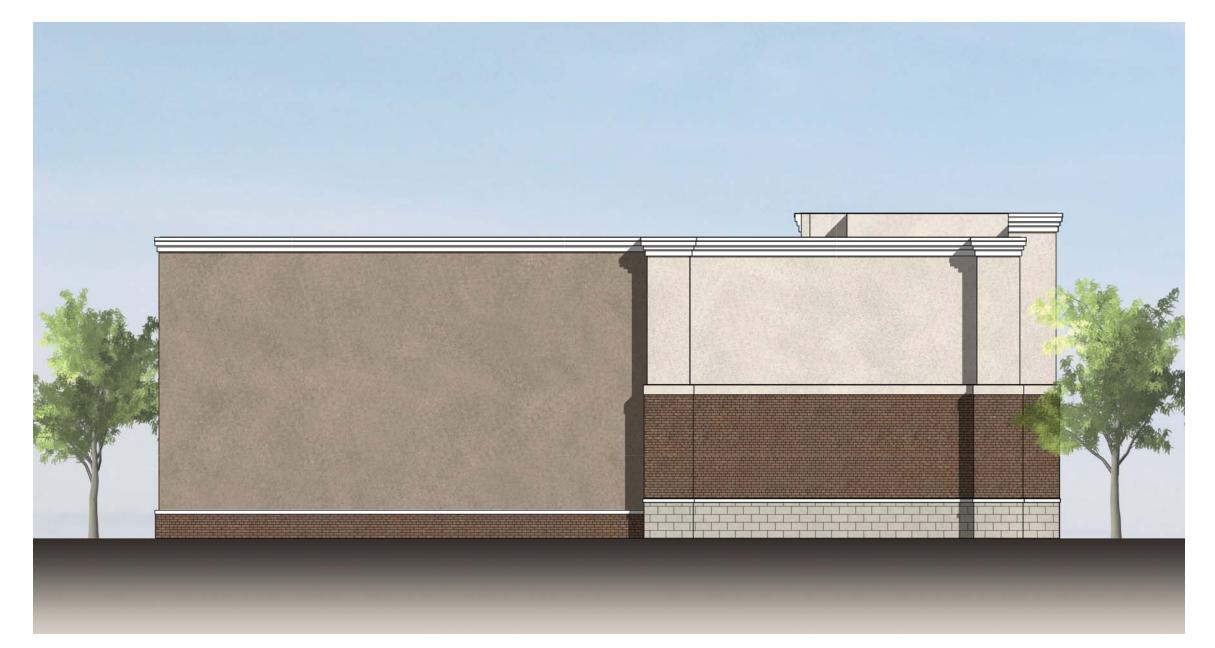
Building E | East Elevation











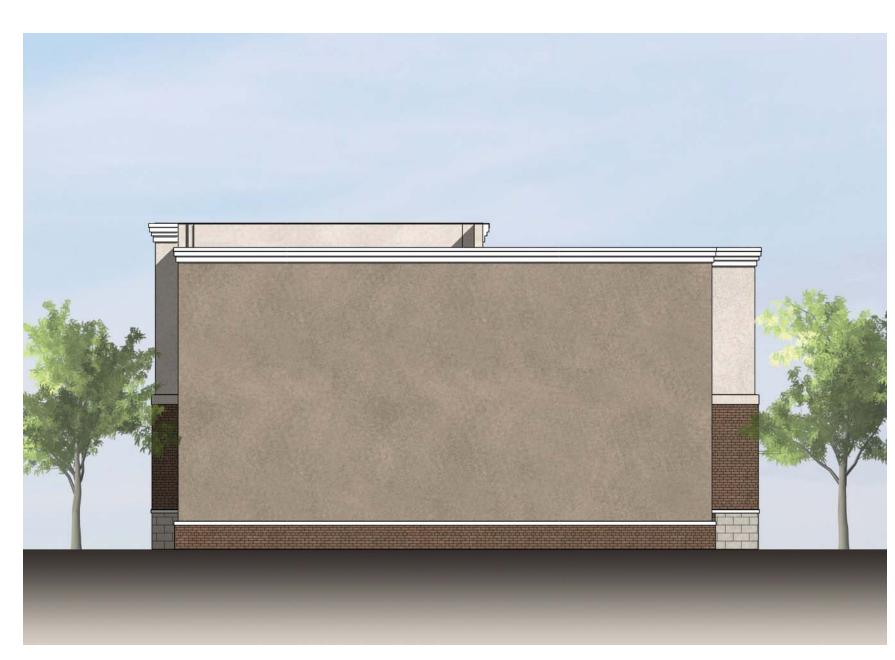
Building F | North Elevation



Building F | West Elevation



Building F | South Elevation



Building F | East Elevation







