

ITEM #: 27a  
DATE: 11-15-16

### COUNCIL ACTION FORM

**REQUEST: MAJOR SITE DEVELOPMENT PLAN FOR 2041 COTTONWOOD ROAD**

**BACKGROUND:**

Hunziker Development Company, LLC is requesting approval of a Major Site Development Plan for 12 apartments on the property located at 2041 Cottonwood Road (Attachment A) for Lot 1 within the recently platted Village Park Subdivision. The lot is 29,906.94 square feet (.69 acres) and currently zoned FS-RM Suburban Residential Zone Residential Medium Density (See Attachment A, Location and Current Zoning Map & Attachment B Major Site Development Plan.) The site is located on Cottonwood Road in the Village Park Subdivision. The land to the east of the Village Park subdivision, east of University Boulevard is included in the Iowa State University Research Park and south of the Wessex apartment complex. The land to the east, west, and south of the Village Park subdivision is outside the Ames corporate limits in rural Story County. Attachment F shows the overall layout of the Village Park Subdivision with the open space landscaping.

The developer of the site proposes a residential apartment development configured as a 3-story building with a total of 12 units. The 3-story apartment building includes four (1-bedroom units), and eight (2-bedroom) units for a total of 20 bedrooms with an average of 1.67 bedrooms per unit (See Attachment B, Major Site Development Plan- Hard copy included in packet material). Development of the property is required to be consistent with the rezoning master plan agreement for the property. The Master Plan that accompanied the rezoning to FS-RM identified three areas of the subdivision for development with FS-RM zoning. Approximately 100 to 120 units, and an approximate density of thirteen to seventeen units per acre is shown on the approved Master Plan. The Final Plat for Village Park Subdivision includes eleven lots for development in the "FS-RM portion of the subdivision, and one lot for development in the "RH" (Residential High Density) portion of the subdivision.

The FS-RM lots are planned for a single 12-unit, three-story, apartment building on Lots 1, 2, 3 and 4, and a 12-unit, two-story apartment building on Lot 5. Apartment buildings planned for the RH portion of the subdivision will be located south of Cottonwood Road and east of Aurora Avenue and are planned to include four 36-unit buildings, 3 stories in height. These buildings in the RH zone require city staff approval of minor site development plans for development of the entire 5.52 acre site (lot 12).

The proposed development follows a pattern and orientation that features the building

constructed in the western portion of the property facing Cottonwood Road with parking and drive aisle areas located to the east and north of the apartment building. The project includes a single row of garage parking among two separate garage structures with 6 stalls per structure in combination with surface parking. Access to the site is from Cottonwood Road at a location near the southeast corner of the property. The front door of the apartment building faces the street. Stormwater treatment occurs off site on nearby outlots. The site slopes downward gradually from the west to the east.

The building is designed as a 3-story 12-unit building consistent with the maximum allowed height of four stories, or 50 feet. Each apartment has access to either a small patio or deck. The apartment building design incorporates a pitched gabled roof design. Materials on the buildings are proposed as gray lap vinyl siding across the upper two floors of elevation and modular brick across the lower floor. The modular brick treatment also surrounds the primary entry to each building. Each façade includes a modular brick element to provide design continuity and interest on all facades. Modular brick pillars support the decks attached to the building. Each deck will be constructed with treated lumber decking and aluminum guard rails. The windows are vinyl with a terratone finish. Sliding glass doors will provide access to the decks and patios outside the apartment units. (See elevations Attachment B)

FS-RM zoning includes requirements for common open space equaling 10% of the area of the FS-RM zoning. The Open Space standard is meant to meet the needs of the overall development area. The common open space is located immediately to the east and southeast as outlots to serve all of the Village Park Subdivision and is essentially used for stormwater detention. It also includes an extension of a 10-foot trail to the south. Exhibit F includes the landscape plan for Outlots A and D associated with development of this area of Village Park. The details of the Outlot plan is a separate item on the same agenda.

Landscaping is provided to meet front yard apartment foundation and parking lot screening requirements. Due to the one drive aisle configuration of the parking lot no internal plantings are required. The applicant has proposed as alternative parking lot landscaping plan with decorative grasses compared to standard parking perimeter shrubs. Decorative grasses are part of the front yard landscaping as well, but additional foundation landscaping unit plantings with shrubs are still required. No additional landscaping is proposed or required along the rear of the garages. (*See Landscape plan on pg 12*).

Off-street parking has been provided to meet the minimum parking requirements for apartment dwellings in the FS-RM zone. Further detail is found in the Addendum of this report.

At its meeting on November 2, 2016, the Planning and Zoning Commission reviewed the proposed Major Site Development Plan, and discussed site layout, open space access, landscaping configurations, and design of the project. There were no comments from the applicant, or the public. By a vote of 5-0, the Commission recommended

approval of the Site Plan with the following conditions, as recommended by staff:

- A. That the landscaping, and site improvements, as shown on the Landscape Plan for Outlots A & D, be installed, prior to occupancy of the first FS-RM apartment building in the Village Park Subdivision;
- B. Prior to approval of the Major Site Development Plan by the City Council, a Minor Amendment to the Planned Residence District Plan for the Wessex Apartment Development, to include the temporary emergency vehicle access, must be approved by City staff;
- C. Prior to occupancy of the first FS-RM apartment building in the Village Park Subdivision, construction of a temporary emergency vehicle access to the Village Park Subdivision must be constructed to the specification of the Fire Department with a minimum capability of accommodating vehicles with a gross vehicle weight of up to 80,000 pounds;
- D. Prior to occupancy of the apartment building at 2041 Cottonwood Road, shrubs used as screening for mechanical units must be installed to meet zoning standards at a minimum height that is six inches higher (at the time of planting) than the mechanical equipment the shrubs are screening.
- E. Prior to City Council major site development plan approval front yard foundation planting landscaping must include the required landscape units to comply with requirements of Section 29.403(6) of the *Municipal Code*.
- F. Compliance of all exterior lighting, with the Outdoor Lighting Code, Section 29.411 of the *Municipal Code*, and approval by the Planning & Housing Department, is required prior to occupancy.
- G. Modify the landscape plan to include eight additional foundation planting shrubs.

**Since the Planning and Zoning Commission meeting, staff has approved the Minor Amendment to the Planned Residence District Plan for the Wessex apartment development (Condition “B”), and the applicant has made revisions to the plan to address outdoor lighting code compliance. The recommended conditions have been updated to reflect recent work with staff. The Developer is in agreement with the overall set of conditions and will finalize their plan sets upon approval by City Council.**

**ALTERNATIVES:**

1. The City Council can approve the Major Site Development Plan for the proposed apartment building as shown in the attachments with the following conditions:
  - A. That the landscaping, and site improvements, as shown on the Landscape Plan for Outlots A & D, be installed, prior to occupancy of the first apartment building in the Village Park Subdivision;
  - B. Prior to occupancy of the first apartment building in the Village Park Subdivision, construction of a temporary emergency vehicle access to the Village Park Subdivision must be constructed to the specification of the Fire Department with a minimum capability of accommodating vehicles with a gross vehicle weight of up

to 80,000 pounds.

- C. The landscape plan shall include revisions necessary to specify plantings appropriate in size equal to the height of the mechanical equipment to ensure the compliance with the zoning ordinance screening requirements.
  - D. The landscape plan shall be revised to include front yard foundation planting landscaping units compliant with the zoning ordinance standards of Section 29.403(6) of the Municipal Code, this include revisions to the tree configuration of the landscape unit and for eight additional foundation planting shrubs.
2. The City Council can approve the Major Site Development Plan for the proposed apartment building with modifications.
  3. The City Council can deny the Major Site Development Plan for the proposed apartment building if it finds the project does not meet the Major site Development Plan criteria.
  4. Action on this request can be postponed and referred back to City staff and/or the applicant for additional information.

**CITY MANAGER’S RECOMMENDED ACTION:**

The Major Site Development Plan review is to determine conformance with development standards, and appropriate arrangement and design of the use of the site. FS-RM zoning is intended to implement the LUPP vision of landscaped suburban style development that provides for desirable apartment housing choices. The proposed development project is consistent with the Master Plan for use limitations and meets a community interest for providing apartment types of various floor plans from one to two bedrooms that will have wide appeal. The specific criteria for the site development plan approval are discussed in greater detail in the addendum.

The proposed building design is consistent with the common expectations of apartment homes marketed above an entry level product in that it includes some covered parking and private spaces for individual and the units are sized for smaller living situations. As a small site, there is not unique amenities or characteristics to the project as have been included with recent FS-RM approvals on Mortenson or commitments for amenities on larger RH sites on South Duff.

The architectural appearance is similar to other designs that have been developed in Ames and Ankeny. The building design has a traditional apartment aesthetic in terms of exterior materials and architectural features. The overall massing of the proposed apartment buildings in this location is significantly smaller than the 36-unit apartment buildings proposed across the street in the RH zone portion of Village Park, and also smaller in scale than the 24-unit and 36-unit apartment buildings, close to this site, in

the Wessex development to the north. Additionally, all of the lots along the north side of Cottonwood are being developed independently and the slight variation in design and materials is desirable for interest along the street.

The arrangement of the site has a residential appearance and with the required street trees and apartment foundation plantings the development of all the sites along Cottonwood will create a substantially landscaped corridor. Staff has worked with the applicant to provide landscaping on-site to meet front yard, and perimeter parking lot landscaping requirements. The requested alternative design for grasses in lieu of shrubs for parking lot screening can be supported as providing for a general level of screening and interest. There are no sensitive uses nearby that would require the more substantial screening provided by the standard inclusion of shrubs.

**Therefore, it is the recommendation of the City Manager that the City Council act in accordance with Alternative #1 thereby approving the Major Site Development Plan with the conditions listed above.**

## **ADDENDUM**

### **PROJECT DESCRIPTION:**

The project site is .69 acres (29,906.94 square feet), which allows 12 dwelling units. The zoning district allows a maximum apartment size of 12 dwelling units. The owner has configured the proposed building as 12 units. The density of this project is 17 dwelling units per acre, meeting the required minimum of 13 and maximum of 17 dwelling units per acre. The units vary in size from 1 bedrooms to 3 bedrooms. Within the proposed building, there are 20 bedrooms.

### **Parking.**

The project requires one parking space per bedroom for units of 2 bedrooms or more and one and one half parking spaces for 1 bedroom units. The parking is configured as two single aisle parking areas across the north and east portions of the site. There is access for vehicles and emergency vehicles through these aisles. There are 22 parking spaces required based on the number of proposed bedrooms proposed. The project includes 24 parking spaces. Of those proposed spaces 12 are proposed to be enclosed garage stall spaces. The enclosed garage stall spaces are located across the drive aisle from the surface parking spaces in the rear yard approximately 5 feet from the north property line and running parallel to the north perimeter of the site.

Site access is from a driveway off of Cottonwood Road. The frontage of the site along Cottonwood Road will also have a shared use path constructed. Pedestrian connections are provided to the south and southeast, providing access to the shared use path along Cottonwood Road.

### **Landscaping.**

The project creates a 7,358 square foot building footprint, added to 11,184 square feet of additional impervious surface (parking, sidewalks) for a total impervious area of 18,542 square feet. The impervious surface coverage is approximately 61%. Landscaped open space accounts for the remainder of the lot area. There is no specified maximum coverage for apartments as it is to be as approved during the site plan process consistent with the design principles of the zoning district. The proposed 61% is consistent with the standard for lower density developments in FS zoning districts and allows for the open landscaped character intended by the zoning district design principles.

In addition, the required 10% of common open space is accounted for in Outlot A and Outlot D to the immediate east and southeast of the proposed building. FS development standards require 10% open space that meets the intent of accessible and useable by residents. Open space is a subset of the overall landscape area. The Outlot landscaping is approximately 17% of the overall area. The plan for the outlot includes a trail, but is essentially for stormwater management functions. A site plan for Outlot A and D is required to be submitted and approved in conjunction with consideration of this site development plan and is a separate item on the same agenda.

Landscape standards require the installation of building foundation screening along the street frontage of an apartment building as well as screening located between the parking area and property lines. As currently configured, the developer seeks approval of alternative parking lot landscaping (29.403(4)(d)) for two issues. The first is to allow substitution of ornamental grasses in lieu of shrubs. The second is to not require screening along the edge parking area on the west side of the site. The developer would be required to plant additional trees and shrubs along the west edge of the site to comply with standard requirements.

The developer believes that the grasses provide a desirable aesthetic to the project and provide for a suitable level of screening. Grasses during the summer months provide effective screening, but in the winter months there is likely no screening as the grasses are cut to allow them to regrow in the spring. In this situation staff believes they are acceptable due to the low sensitivity of other uses abutting the site. The developer believes the 2<sup>nd</sup> issue of edge landscaping is also unnecessary along the west property line due to the abutting use of parking at the property line. The screening is likely not a substantial issue of compatibility, but an additional tree could be included to meet the intent of the shading over parking areas. This is a similar request that is part of all four proposed project along Cottonwood.

The street frontage foundation landscaping must be a combination of plantings as described in Section 29.403(6)(b). The groupings of foundation plants are referred to as Landscape Units and their quantities specified to meet this requirement. Specifically, there must be trees and 6 deciduous and evergreen shrubs planted for every 60 feet of street frontage. The total frontage at this site is 186 feet. The developer has included appropriate trees, but has not included shrubs as they desired to use grasses. In this instance, the foundation planting must meet the specified planting quantity and substituting grasses is not permitted. A condition is included to revise the landscaping with 8 additional deciduous or evergreen shrubs to be planted along the street frontage side of the building. The proposed grasses can stay in place but shrubs must be added to meet the required plantings for street frontage foundation landscaping.

Refuse receptacles and mechanical units are screened according to the ordinance. The screening must be planted to meet requirements at the time of planting. The configuration of the trash enclosure is proposed without a gate but to have the dumpster located behind the internal wall configurations.

### **Building Design.**

The proposed building is identical in shape and size to neighboring buildings to the east and west, being about 66 feet by 65 feet. Entrances are oriented on the north and south sides of the building according to its location to the parking areas on the property as well as pedestrian access to Cottonwood Road. The building is about 37 feet tall. The height limit of the district is 4 stories or 50 feet. The building setbacks measure 26 feet on the front setback and 78 feet in the rear yard setback with side yard setbacks measuring 11 feet on the west side and 79 feet on the east side. All required setbacks

have been found to meet standards.

The façades of the building utilize the same materials, with modular brick applied on the bottom portion of the building and vinyl lap siding on the upper portion. The vinyl lap siding is a dark gray color. Each façade has some degree of bump out to provide some relief of the vertical sides. Each unit has access to either a deck or patio. Each deck features modular brick pillars with treated lumber decking. Aluminum guardrails extend around the perimeter of the decks. Windows on the apartment buildings are identified as vinyl with a terratone finish. The building has a wing wall feature that extends outward on each corner of the building comprised of modular brick.

***When acting upon an application for a Major Site Development Plan approval, the Planning and Zoning Commission and the City Council shall rely upon generally accepted site planning criteria and design standards. These criteria and standards are necessary to fulfill the intent of the Zoning Ordinance, the Land Use Policy Plan, and are the minimum necessary to safeguard the public health, safety, aesthetics, and general welfare.***

- 1. The design of the proposed development shall make adequate provisions for surface and subsurface drainage to limit the rate of increased runoff of surface water to adjacent and downstream property.***

The Public Works Department has reviewed the storm water management plan and finds that the proposed development has met the required storm water quantity and quality measures by use of the proposed regional detention facilities on the southeast and northeast areas of the site.

- 2. The design of the proposed development shall make adequate provision for connection to water, sanitary sewer, electrical, and other utility lines within the capacity limits of those utility lines.***

The existing utilities were reviewed and found adequate to support the anticipated load of 12 dwelling units on this lot, comprising 20 bedrooms, consistent with prior determination at the time of rezoning and subdivision approval.

- 3. The design of the proposed development shall make adequate provision for fire protection through building placement, acceptable location of flammable materials, and other measures to ensure fire safety.***



The fire inspector has reviewed access and fire truck circulation, sprinkler, and hydrant requirements and found that the requirements of the Fire Department are met. A condition is in place for completion of a second emergency vehicle access way to the north.

**4. *The design of the proposed development shall not increase the danger of erosion, flooding, landslide, or other endangerment to adjoining and surrounding property.***

It is not anticipated that this proposed development will be a danger due to its site location and proximity to other uses.

**5. *Natural topographic and landscape features of the site shall be incorporated into the development design.***

The site is currently devoid of any significant vegetation. Minimal grading will occur for the construction of the buildings. The site is relatively flat and grading will occur mostly to direct storm water where required.

**6. *The design of the interior vehicle and pedestrian circulation shall provide for convenient flow of vehicles and movement of pedestrians and shall prevent hazards to adjacent streets or property.***

Access to this site from Cottonwood Road is through one access point at the southeast corner of the property. Vehicular and pedestrian access is accommodated between the subject property, and other properties (buildings) within the Village Park subdivision. The on-site sidewalks, sidewalks in the public street right-of-ways, and shared use paths provide pathways throughout the site, and to external connections to allow for circulation throughout the community, and eventually within the Central Iowa region.

**7. *The design of outdoor parking areas, storage yards, trash and dumpster areas, and other exterior features shall be adequately landscaped or screened to minimize potential nuisance and impairment to the use of adjoining property.***

The developer believes that the intent of the general development standards of the zoning ordinance have been met for the screening of parking areas with a substitute of grasses being proposed as an acceptable alternative to standard perimeter

landscaping. The apartment building provides a high degree of separation and screening of the parking and garages in the rear yard from adjoining views, and as viewed from Cottonwood Road. Additional landscaping and landscaping information is being required and conditioned with City Council consideration to guarantee compliance with the mechanical screening requirements as well as compliance with the front yard foundation planting requirements.

- 8. *The proposed development shall limit entrances and exits upon adjacent streets in order to prevent congestion on adjacent and surrounding streets and in order to provide for safe and orderly vehicle movement.***

Access to the property is from a single access point near the southeast corner of the property. This access provides for a single point of which vehicular traffic can move in and out of the site. This is projected to satisfactorily accommodate the traffic needs of the proposed apartment building.

- 9. *Exterior lighting shall relate to the scale and location of the development in order to maintain adequate security, while preventing a nuisance or hardship to adjacent property or streets.***

Information has been provided on the proposed exterior lighting, to determine compliance. The proposed lighting has been found to meet the lighting standards, found in Sec 29.411 of the *Municipal Code*.

- 10. *The proposed development shall ensure that dust and other forms of air pollution, noise disturbances, odor, glare, and other nuisances will be limited to acceptable levels as prescribed in other applicable State and City regulations.***

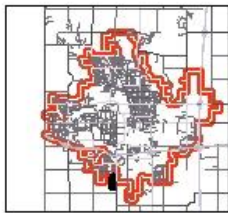
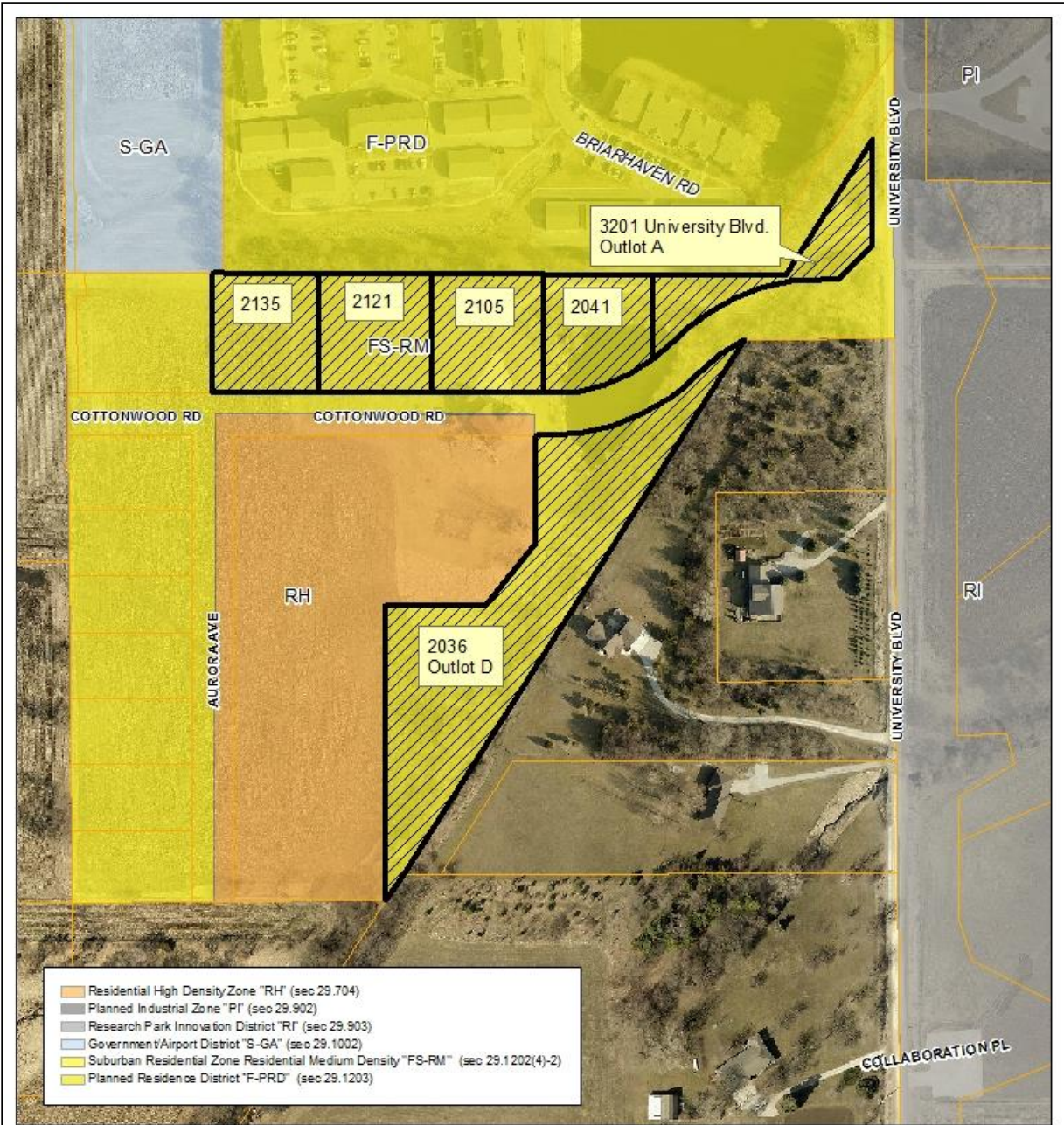
The proposed residential uses are not expected to exceed the level of nuisances, typical of this type of development, beyond acceptable levels, as prescribed in other applicable State and City regulations.

- 11. *Site coverage, building scale, setbacks, and open spaces shall be in proportion with the development property and with existing and planned development and structures, in adjacent and surrounding property.***

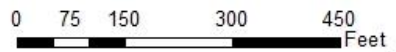
The scale of the proposed apartment building, in relation to the lot size, is appropriate, given minimum building setback requirements, landscaping requirements, and areas of the site planned for parking. The developer has proposed the maximum number of units (12) in a multiple family structure within the FS-RM zoning district. The density of development is well within the approximate densities found on the approved Master Plan for this subdivision, and the apartment appearance is compatible with the character and scale of the general surroundings with the proposed 36-unit apartment dwellings on the other side of Cottonwood Road, and the 24-unit and 36-unit buildings in the Wessex development adjacent to the north. Open areas and landscaped areas meet the quantitative standards of the Zoning Ordinance in the common areas. There are no flat open space areas on site or within the common area. The open space definition is met with the provision of the 10-foot trail extension in the common lot area.

The Development Review Committee has reviewed the Major Site Development Plan and found that it complies with all other requirements of the Ames Municipal Code.

# Attachment A- Location and Zoning




## Location & Zoning Map 2036, 2041, 2105, 2121, 2135 Oakwood Rd. & 3201 University Blvd.





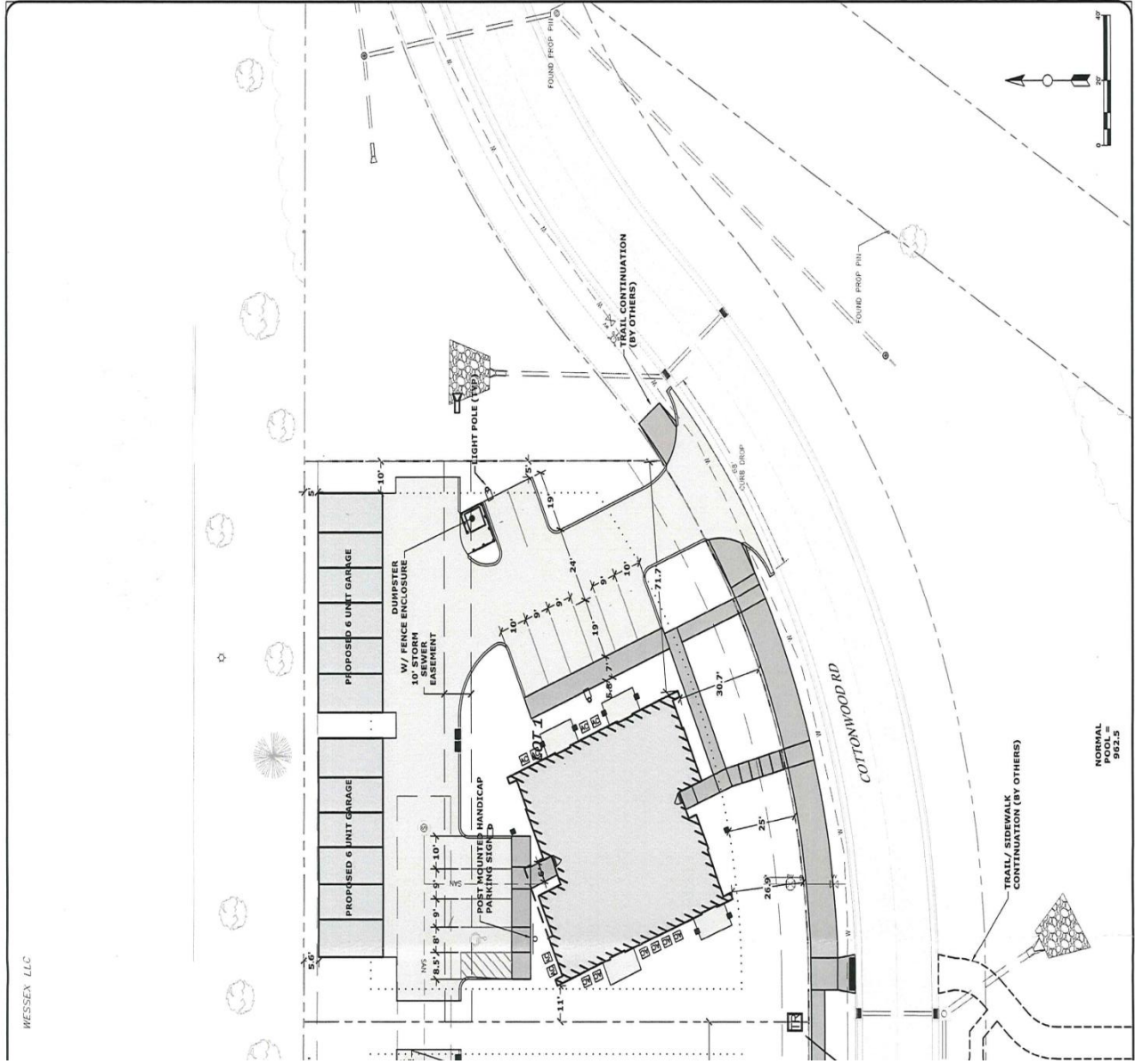
# Attachment A- Site Overview and Parking

DATE	BY	REVISION	DATE	BY	REVISION
10/25/16	SAW	10/16	10/25/16	SAW	10/16
10/25/16	SMS	10/16	10/25/16	SMS	10/16
10/25/16	CAMN	10/16	10/25/16	CAMN	10/16
10/25/16	CHECKED	10/16	10/25/16	CHECKED	10/16
LAST UPDATE: 10/25/16					


  
**FOX Engineering**  
 FOX Engineering Associates, Inc.  
 414 South 17th Street, Suite 107  
 Ames, Iowa 50010  
 Phone: (515) 233-0000  
 Fax: (515) 233-0103

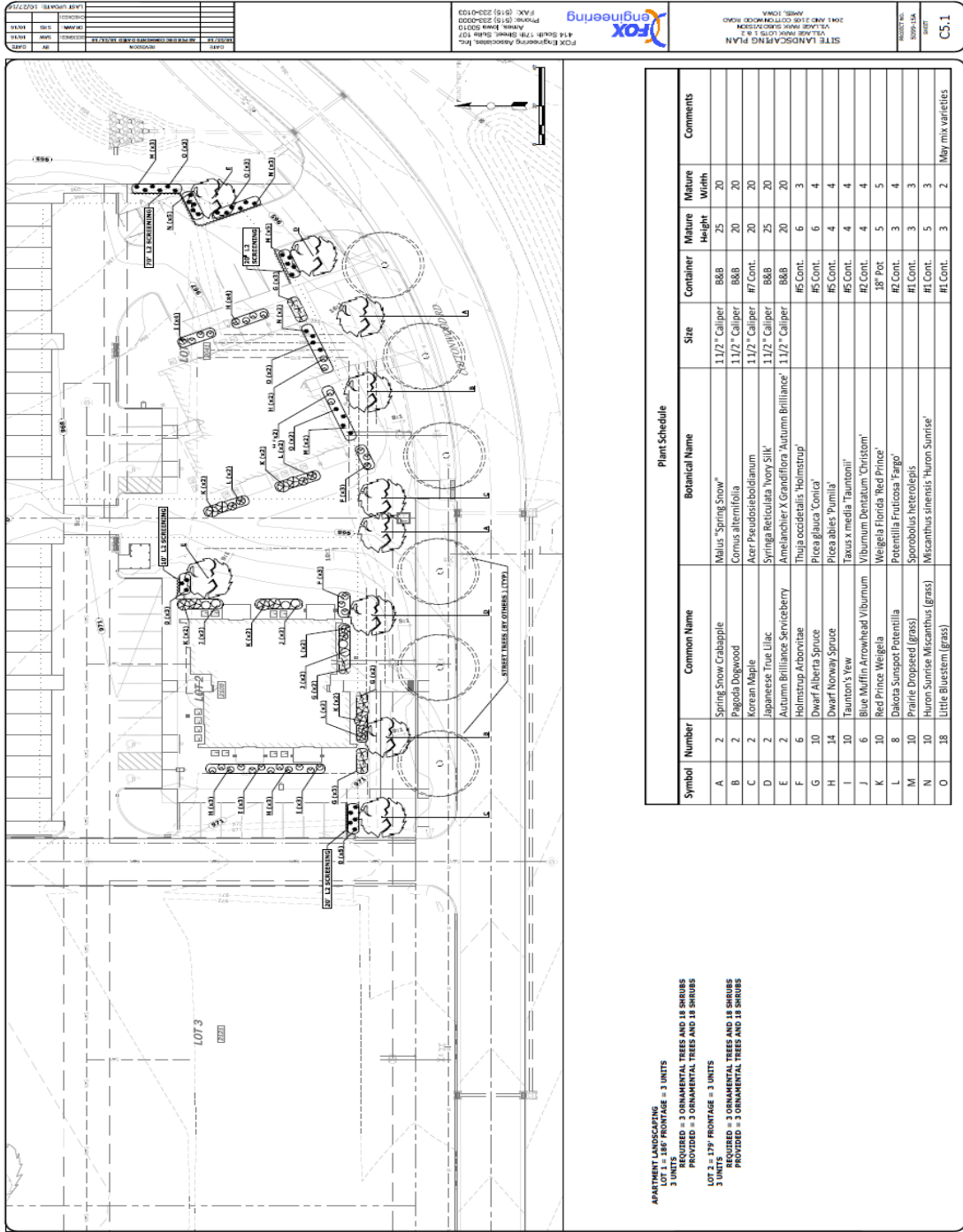
**SITE LAYOUT & DIMENSION PLAN**  
 VILLAGE PARK LOTS 1 & 2  
 VILLAGE PARK SUBDIVISION  
 2041 AND 2105 COTTONWOOD ROAD  
 AMES, IOWA

PROJECT NO.  
 5055P-15A  
 SHEET  
**C2.1**



WESSEX LLC

# Attachment A- Landscape Plan



APARTMENT LANDSCAPING  
 REQUIRED = 3 ORNAMENTAL TREES AND 18 SHRUBS  
 PROVIDED = 3 ORNAMENTAL TREES AND 18 SHRUBS  
 3 UNITS

LOT 2 = 179' FRONTAGE = 3 UNITS  
 REQUIRED = 3 ORNAMENTAL TREES AND 18 SHRUBS  
 PROVIDED = 3 ORNAMENTAL TREES AND 18 SHRUBS  
 3 UNITS

NO.	DATE	BY	DESCRIPTION
1	01/15/2019	FOX	ISSUED FOR PERMITS
2	01/15/2019	FOX	ISSUED FOR PERMITS
3	01/15/2019	FOX	ISSUED FOR PERMITS

**PLANT SCHEDULE**

Symbol	Number	Common Name	Botanical Name	Site	Container	Mature Height	Mature Width	Comments
A	2	Spring Snow Crabapple	Malus 'Spring Snow'	1 1/2" Caliper	B88	25	20	
B	2	Pagoda Dogwood	Cornus alternifolia	1 1/2" Caliper	B88	20	20	
C	2	Korean Maple	Acer Pseudosibiricum	1 1/2" Caliper	#7 Cont.	20	20	
D	2	Japanese True Lilac	Syringa Reticulata 'Ivory Silk'	1 1/2" Caliper	B88	25	20	
E	2	Autumn Brilliance Serviceberry	Amelanchier X Grandiflora 'Autumn Brilliance'	1 1/2" Caliper	B88	20	20	
F	6	Holmstrup Arborvitae	Thuja occidentalis 'Holmstrup'	#5 Cont.	#5 Cont.	6	3	
G	10	Dwarf Alberta Spruce	Picea glauca 'Conica'	#5 Cont.	#5 Cont.	6	4	
H	14	Dwarf Norway Spruce	Picea abies 'Pumila'	#5 Cont.	#5 Cont.	4	4	
I	10	Taunton's Yew	Taxus x media 'Tauntonii'	#5 Cont.	#5 Cont.	4	4	
J	6	Blue Muffin Arrowhead Viburnum	Viburnum Dentatum 'Christom'	#2 Cont.	#2 Cont.	4	4	
K	10	Red Prince Weigela	Weigela Florida 'Red Prince'	#8" Pot	#8" Pot	5	5	
L	8	Dakota Sunspot Potentilla	Potentilla Fruticosa 'Fargo'	#1 Cont.	#1 Cont.	3	4	
M	10	Prairie Dropseed (grass)	Sporobolus heterolepis	#1 Cont.	#1 Cont.	3	3	
N	10	Huron Sunrise Miscanthus (grass)	Miscanthus sinensis 'Huron Sunrise'	#1 Cont.	#1 Cont.	5	3	
O	18	Little Bluestem (grass)	Little Bluestem (grass)	#1 Cont.	#1 Cont.	3	2	May mix varieties

DATE	BY	DESCRIPTION
01/15/2019	FOX	ISSUED FOR PERMITS
01/15/2019	FOX	ISSUED FOR PERMITS
01/15/2019	FOX	ISSUED FOR PERMITS

**FOX Engineering**

FOX Engineering Associates, Inc.  
 414 South 77th Street, Suite 100  
 Lincoln, NE 68509  
 PHONE: (402) 441-2200  
 FAX: (402) 441-2200  
 WWW.FOXENGINEERING.COM

**SITE LANDSCAPING PLAN**

DATE: 01/15/2019  
 DRAWN BY: FOX  
 CHECKED BY: FOX  
 PROJECT NO.: 1909-104  
 SHEET NO.: C5.1

# Attachment B- Building Elevations



123 Main St  
Boston, MA 02111  
Tel: (617) 555-1234  
www.designfirm.com

**Village Park**  
Lobs 1 & 2  
Amos, IA

**A500**

DATE: 10/25/15  
PROJECT: 15-0044  
DRAWING: EXTERIOR  
SCALE: 1/8" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION



**1 EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**2 WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**3 SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**4 NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

DATE:	10/25/15
PROJECT:	15-0044
DRAWING:	EXTERIOR
SCALE:	1/8" = 1'-0"



# Attachment B- Garage Elevations



J

P.O. Box 18  
 Ames, IA 50010  
 Phone: 515-281-1111  
 Fax: 515-281-1111  
 www.jacobs.com

PRELIMINARY - NOT FOR CONSTRUCTION

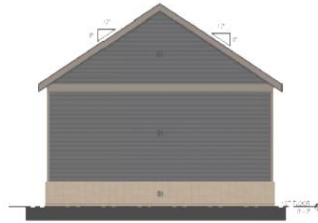
Village Park Garages  
 Lots 1 & 2  
 Ames, IA

10/25/16  
 15-044  
 Garages

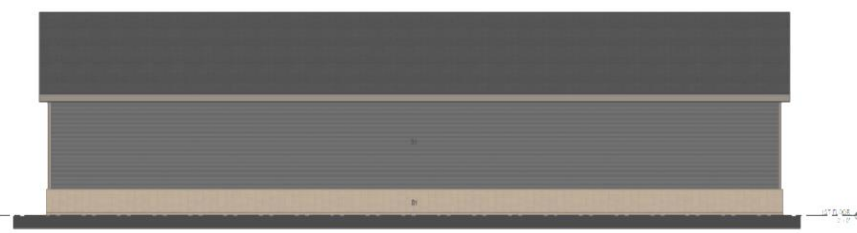
**A500**



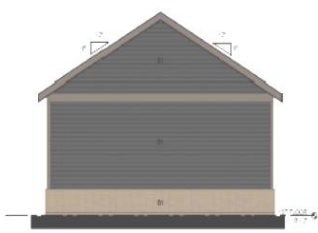
4 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



3 EAST ELEVATION  
SCALE: 1/4" = 1'-0"



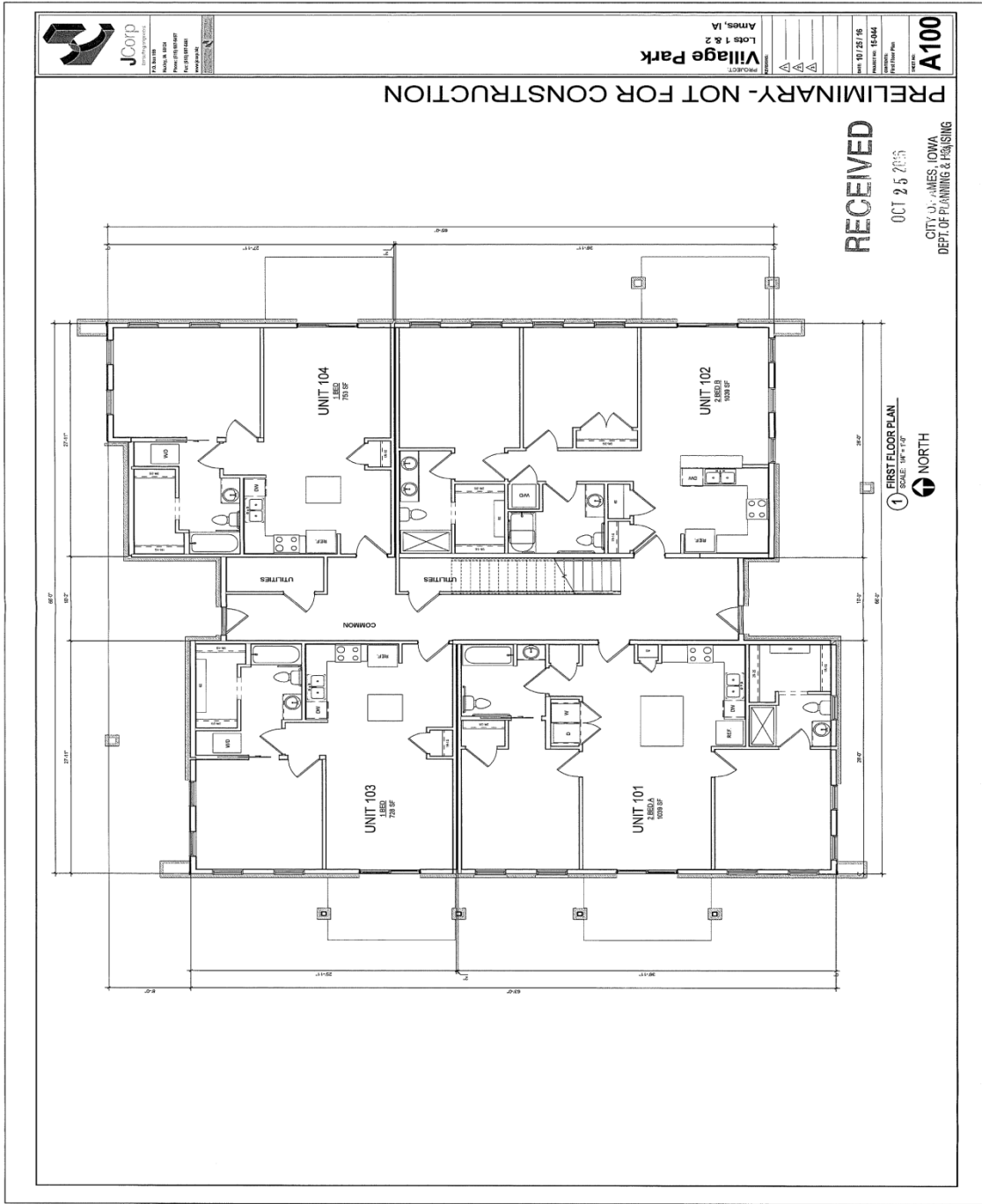
2 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



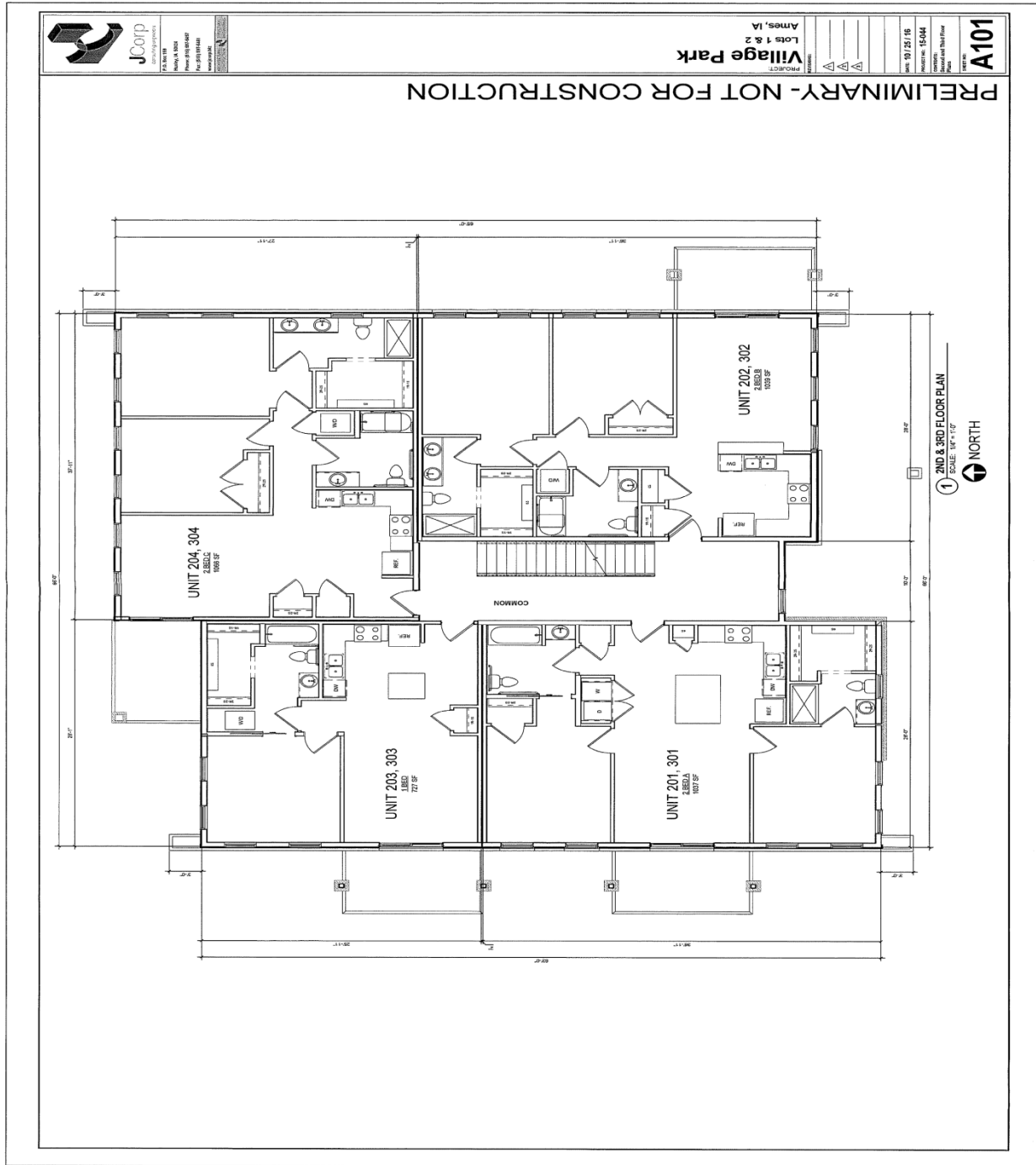
1 WEST ELEVATION  
SCALE: 1/4" = 1'-0"

MATERIAL SCHEDULE	
Code	Description
S1	Structural Steel
S2	Structural Steel

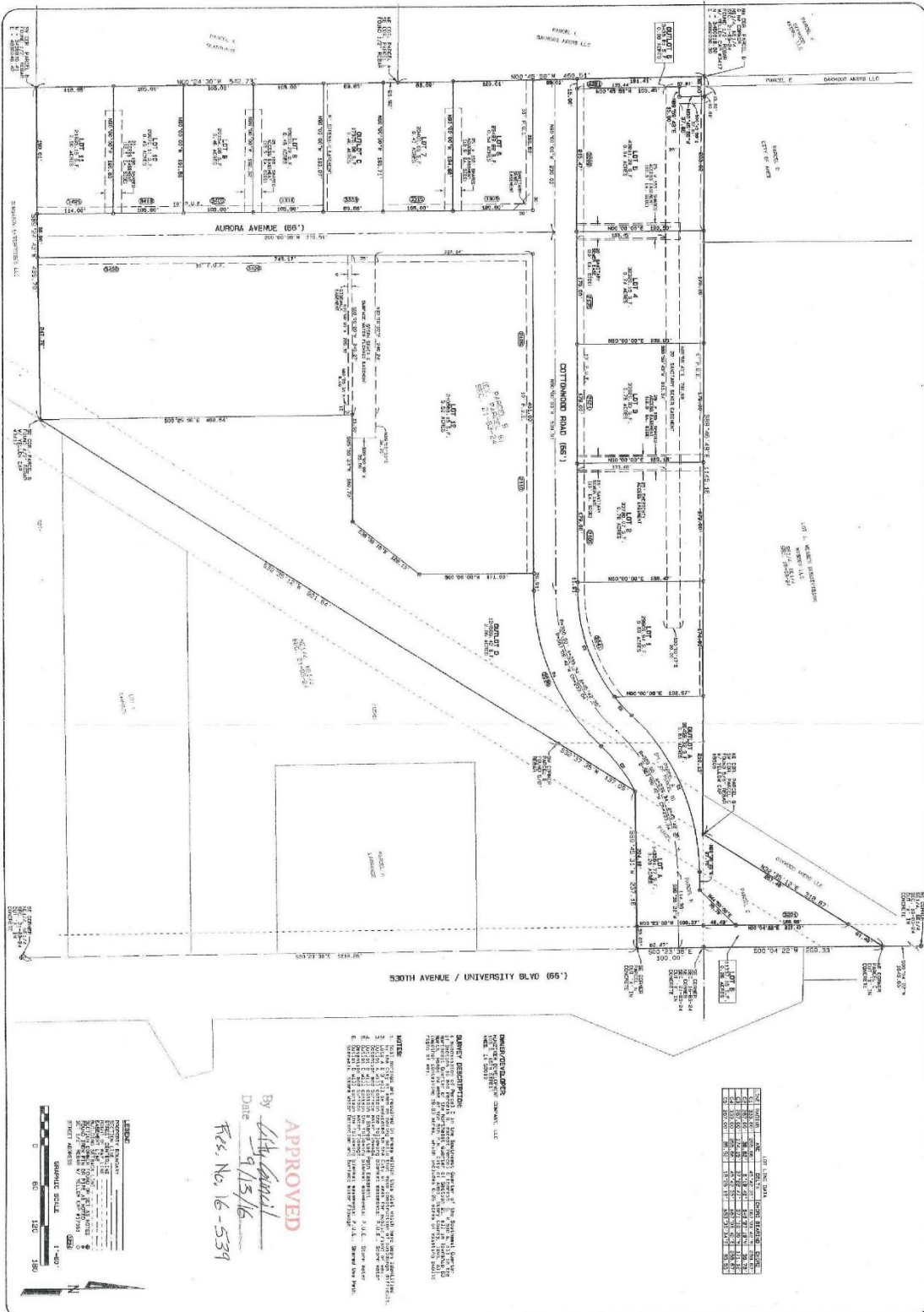
Attachment C- 1st Floor Plans



# Attachment C- 2nd Floor Plans

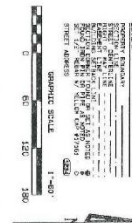


# Attachment D- Village Park Subdivision Final Plat



530TH AVENUE / UNIVERSITY BLVD (66')

**APPROVED**  
 By: *Andy Arnold*  
 Date: *8/15/16*  
 File No. 16-539



**NOTES:**  
 1. THIS PLAT IS SUBJECT TO THE RECORDS OF THE COUNTY CLERK OF STORY COUNTY, IOWA.  
 2. THE PLAT IS SUBJECT TO THE RECORDS OF THE COUNTY CLERK OF STORY COUNTY, IOWA.  
 3. THE PLAT IS SUBJECT TO THE RECORDS OF THE COUNTY CLERK OF STORY COUNTY, IOWA.  
 4. THE PLAT IS SUBJECT TO THE RECORDS OF THE COUNTY CLERK OF STORY COUNTY, IOWA.  
 5. THE PLAT IS SUBJECT TO THE RECORDS OF THE COUNTY CLERK OF STORY COUNTY, IOWA.

LOT	AREA (SQ. FT.)	AREA (AC.)
1	1,234,567	28.2
2	123,456	2.8
3	123,456	2.8
4	123,456	2.8
5	123,456	2.8
6	123,456	2.8
7	123,456	2.8
8	123,456	2.8
9	123,456	2.8
10	123,456	2.8

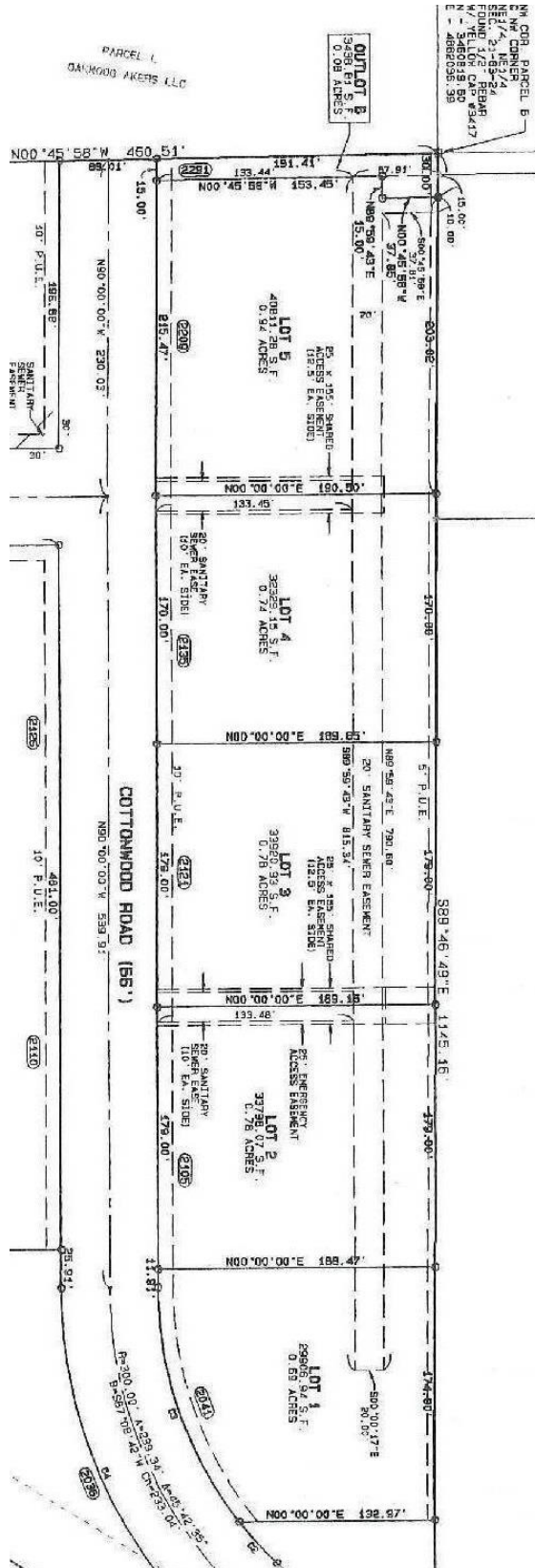
**STUMBO & ASSOCIATES**  
 LAND SURVEYING  
 510 S. 17th STREET, SUITE 102 AMES, IOWA 50001  
 PHONE 515-233-3684 FAX 515-233-4403

**FINAL PLAT**  
**VILLAGE PARK SUBDIVISION**  
 PARCEL C IN THE SE1/4, SE1/4 OF SEC. 16-03-24  
 OF TOWNSHIP 3, R. 10, N. 45 IN THE NE1/4, NE1/4 OF  
 SEC. 01-03-24, CITY OF AMES, STORY COUNTY, IOWA  
 JOB #16504FP DATE: 8/15/16 PAGE: 1 of 1

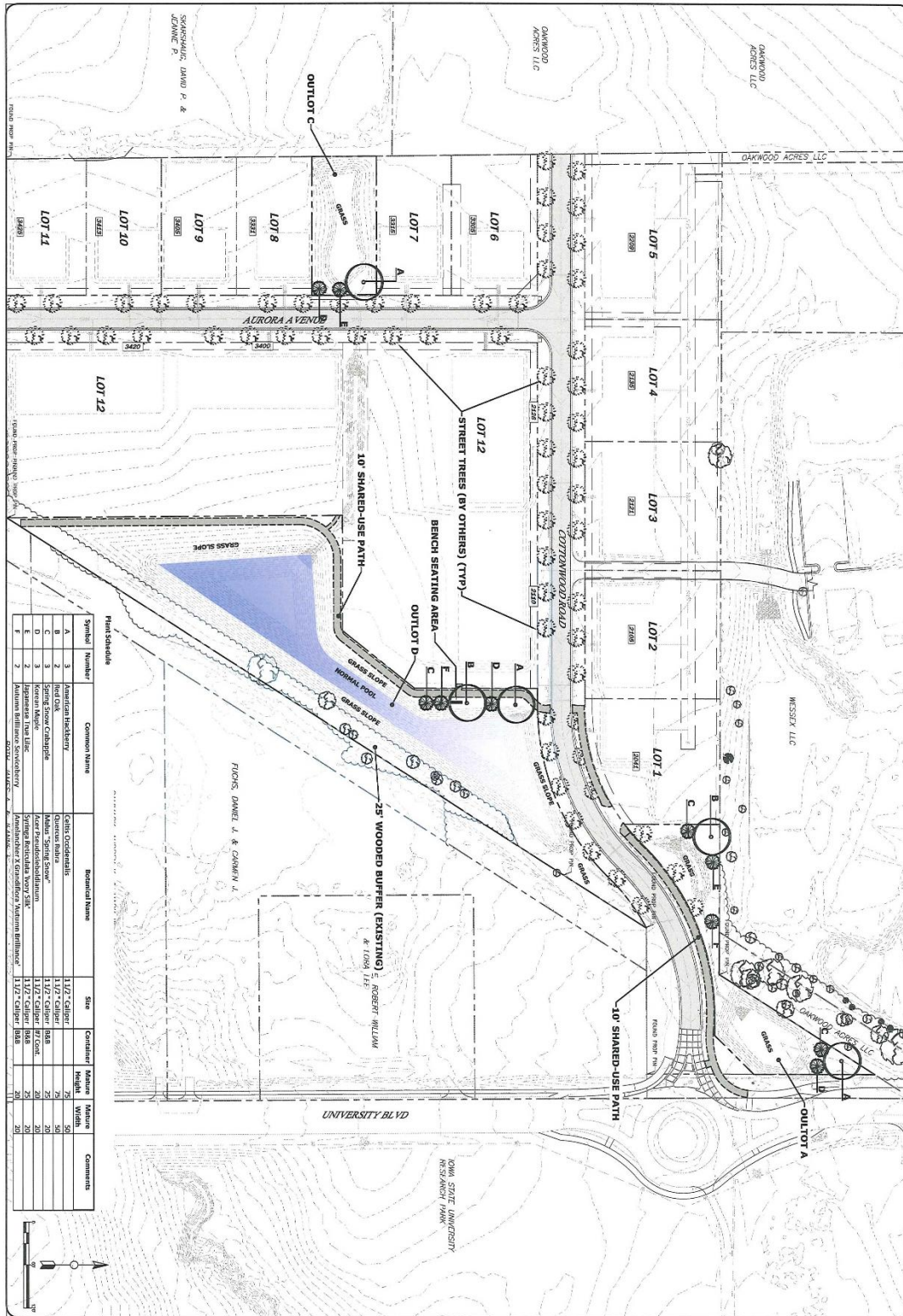
Certification: I hereby certify that this land surveying document was prepared and the Plat and survey work was done in accordance with the laws of the State of Iowa and that I am a duly Licensed Professional Surveyor in the State of Iowa.  
*A. R. R. Ste* Date: *8/15/16*  
 By Licensed Professional Surveyor to December 31, 2017



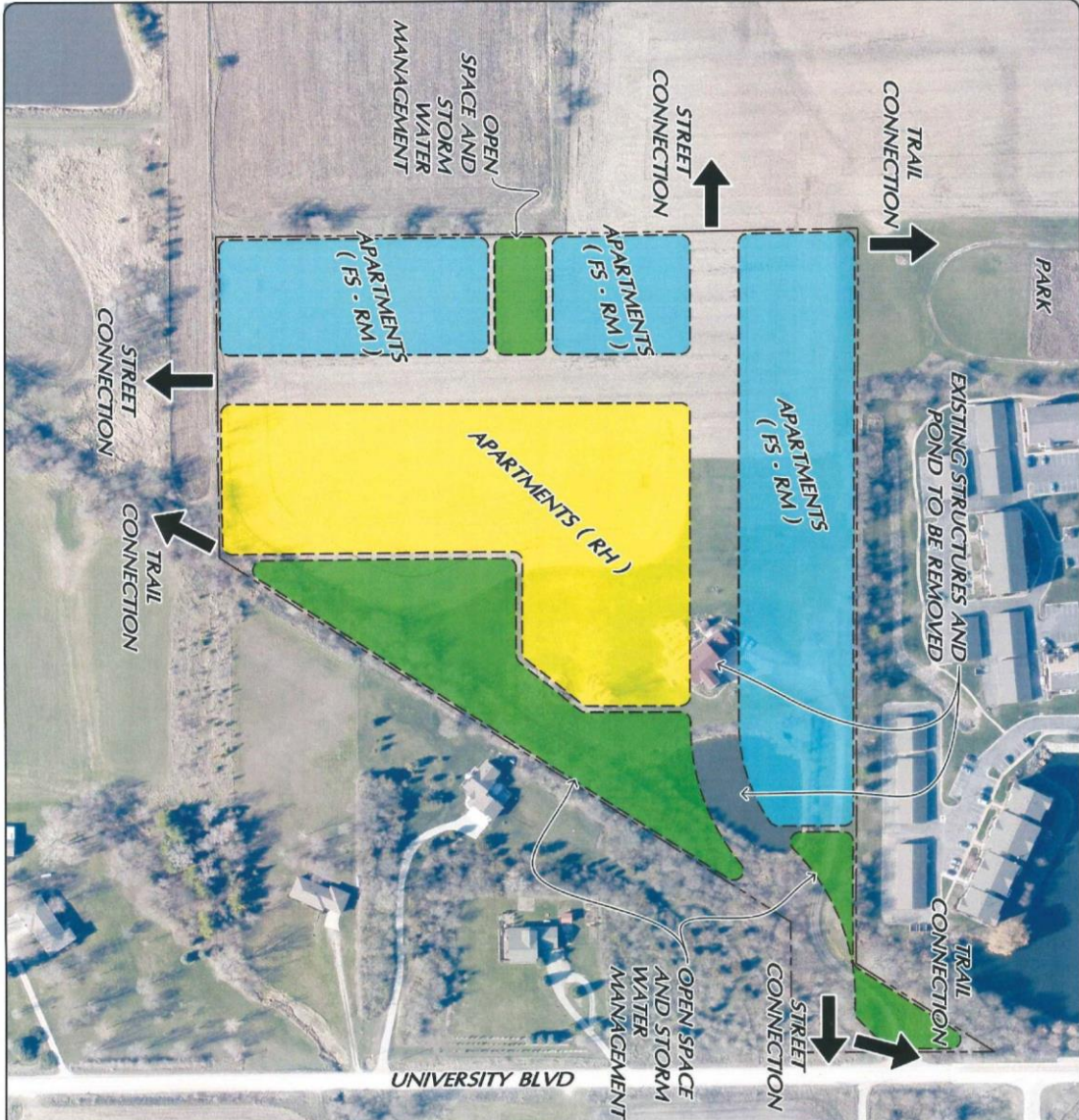
# Attachment E: Village Park Subdivision (Lot 1, 2, 3, 4 & 5)



# Attachment F: Landscape Plan for Outlots A & D, Village Park Subdivision



# Attachment G: Master Plan for Village Park Subdivision



## VILLAGE PARK SUBDIVISION MASTER PLAN

OWNER / APPLICANT  
 HUNZIKER DEVELOPMENT CO. LLC  
 100 S. 140TH STREET  
 SUITE A  
 AMES, IA 50010

PREPARED BY  
 FOX ENGINEERING  
 414 S. 14TH STREET  
 SUITE 107  
 AMES, IA 50010

ZONING  
 EXISTING - AGRICULTURAL (A1)  
 PROPOSED - RESIDENTIAL MEDIUM DENSITY (FS-RM)  
 AND  
 RESIDENTIAL HIGH DENSITY (RH)  
 AS SHOWN

LEGAL DESCRIPTION  
 PARCEL C IN SECTION 16, T83N, R24W; AND PARCELS B, G, M,  
 AND N IN SECTION 21, T83N, R24W; ALL IN THE CITY OF AMES,  
 STORY COUNTY, IOWA

### RESIDENTIAL USE SUMMARY

	APPROX NET AREA (AC)	APPROX # OF UNITS	APPROX DENSITY
APARTMENTS (FS-RM)	7.2	100 - 120	13 - 17
APARTMENTS (RH)*	5.5	135 - 155	25 - 28

\* NOTE: BUILDINGS IN RH WILL BE LIMITED TO 3 STORIES AND 36 UNITS PER BUILDING



NO.	DATE	REVISION

MASTER PLAN  
 VILLAGE PARK SUBDIVISION  
 HUNZIKER DEVELOPMENT CO  
 AMES, IOWA

FOX Engineering Associates, Inc.  
 414 South 17th Street, Suite 107  
 Ames, Iowa 50010  
 Phone: (515) 233-0900  
 FAX: (515) 233-0103

ITEM #: 27b  
DATE: 11-15-16

**COUNCIL ACTION FORM**

**REQUEST: MAJOR SITE DEVELOPMENT PLAN FOR 2105 COTTONWOOD ROAD**

**BACKGROUND:**

Hunziker Development Company, LLC is requesting approval of a Major Site Development Plan for 12 apartments on the property located at 2105 Cottonwood Road (Attachment A) for Lot 2 within the recently platted Village Park Subdivision. The lot is 33,798 square feet (.78 acres) and currently zoned FS-RM Suburban Residential Zone Residential Medium Density (See Attachment A, Location and Current Zoning Map.) The site is located on Cottonwood Road in the Village Park Subdivision. The land to the east of the Village Park subdivision, east of University Boulevard is included in the Iowa State University Research Park and south of the Wessex apartment complex. The land to the west and south of the Village Park subdivision is outside the Ames corporate limits in rural Story County. Attachment F shows the overall layout of the Village Park Subdivision with the open space landscaping.

The developer of the site proposes a residential apartment development configured as a 3-story building with a total of 12 units. The 3-story apartment building includes four (1-bedroom units), and eight (2-bedroom) units for a total of 20 bedrooms with an average of 1.67 bedrooms per unit (See Attachment B, Major Site Development Plan- Hard copy included in packet material). Development of the property is required to be consistent with the rezoning master plan agreement for the property. The Master Plan that accompanied the rezoning to FS-RM identified three areas of the subdivision for development with FS-RM zoning. Approximately 100 to 120 units, and an approximate density of thirteen to seventeen units per acre is shown on the approved Master Plan.

The Final Plat for Village Park Subdivision includes eleven lots for development in the "FS-RM portion of the subdivision, and one lot for development in the "RH" (Residential High Density) portion of the subdivision. The FS-RM lots are planned for a single 12-unit, three-story, apartment building on Lots 1, 2, 3 and 4, and a 12-unit, two-story apartment building on Lot 5. Apartment buildings planned for the RH portion of the subdivision will be located south of Cottonwood Road and east of Aurora Avenue and are planned to include four 36-unit buildings, 3 stories in height. These buildings in the RH zone require city staff approval of minor site development plans for development of the entire 5.52 acre site (lot 12). (See following addendum for full analysis.)

The proposed development follows a pattern and orientation that features the building constructed in the middle portion of the property with parking and drive aisle areas



located along the west and north portions of the site. The project includes a single row of garage parking among two separate garage structures in combination with surface parking. Access to the site is from Cottonwood Road at a location near the southwest corner of the property and shared with Lot 3. The front door of the apartment building faces the street. Stormwater treatment occurs off site on nearby outlots. The site slopes downward gradually from the west to the east.

The building is designed as a 12-unit building to be consistent with the maximum building size of the FS-RM zoning district. The building is three stories in height. Four stories, or 50 feet, whichever is lower, is the maximum allowed height of multiple-family dwellings in the FS-RM zone. Each apartment has access to either a small patio or deck. The apartment building design incorporates a pitched gabled roof design. Materials on the buildings are proposed as gray lap vinyl siding across the upper two floors of elevation and modular brick across the lower floor. The modular brick treatment also surrounds the primary entry to each building. Each façade includes a modular brick element to provide design continuity and interest on all facades. Modular brick pillars support the decks attached to the building. Each deck will be constructed with treated lumber decking and aluminum guard rails. The windows are vinyl with a terratone finish. Sliding glass doors will provide access to the decks and patios outside the apartment units. (See elevations Attachment B)

FS-RM zoning includes requirements for common open space equaling 10% of the area of the FS-RM zoning. The Open Space standard is meant to meet the needs of the overall development area. The common open space is located immediately to the east and southeast as outlots to serve all of the Village Park Subdivision and is essentially used for stormwater detention. It also includes an extension of a 10-foot trail to the south. Exhibit F includes the landscape plan for Outlots A and D associated with development of this area of Village Park. The details of the Outlot plan is a separate item on the same agenda.

Landscaping is provided to meet front yard apartment foundation and parking lot screening requirements. Due to the one drive aisle configuration of the parking lot no internal plantings are required. The applicant has proposed as alternative parking lot landscaping plan with decorative grasses compared to standard parking perimeter shrubs. Decorative grasses are part of the front yard landscaping as well, but additional foundation landscaping unit plantings with shrubs are still required. No additional landscaping is proposed or required along the rear of the garages. (See *Landscape plan on pg 12*).

Off-street parking has been provided to meet the minimum parking requirements for apartment dwellings in the FS-RM zone. Further detail is found in the Addendum of this report.

At its meeting on November 2, 2016, the Planning and Zoning Commission reviewed the proposed Major Site Development Plan, and discussed site layout, open space access, landscaping configurations, and design of the project. There were no comments

from the applicant, or the public. By a vote of 5-0, the Commission recommended approval of the Site Plan with the following conditions, as recommended by staff:

- A. That the landscaping, and site improvements, as shown on the Landscape Plan for Outlots A & D, be installed, prior to occupancy of the first FS-RM apartment building in the Village Park Subdivision;
- B. Prior to approval of the Major Site Development Plan by the City Council, a Minor Amendment to the Planned Residence District Plan for the Wessex Apartment Development, to include the temporary emergency vehicle access, must be approved by City staff (Plan has been submitted and reviewed by staff);
- C. Prior to occupancy of the first FS-RM apartment building in the Village Park Subdivision, construction of a temporary emergency vehicle access to the Village Park Subdivision must be constructed to the specification of the Fire Department with a minimum capability of accommodating vehicles with a gross vehicle weight of up to 80,000 pounds;
- D. Prior to occupancy of the apartment building at 2105 Cottonwood Road, shrubs used as screening for mechanical units must be installed to meet zoning standards at a minimum height that is six inches higher (at the time of planting) than the mechanical equipment the shrubs are screening.
- E. Compliance of all exterior lighting, with the Outdoor Lighting Code, Section 29.411 of the Municipal Code, and approval by the Planning & Housing Department, is required prior to occupancy.

**Since the Planning and Zoning Commission meeting, staff has approved the Minor Amendment to the Planned Residence District Plan for the Wessex apartment development (Condition “B”), and the applicant has made revisions to the plan to address outdoor lighting code compliance. The recommended conditions have been updated to reflect recent work with staff. The Developer is in agreement with the overall set of conditions and will finalize their plan sets upon approval by City Council.**

#### **ALTERNATIVES:**

1. The City Council can approve the Major Site Development Plan for the proposed apartment building as shown in the attachments with the following conditions:
  - A. That the landscaping, and site improvements, as shown on the Landscape Plan for Outlots A & D, be installed, prior to occupancy of the first apartment building in the Village Park Subdivision;
  - B. Prior to occupancy of the first apartment building in the Village Park Subdivision, construction of a temporary emergency vehicle access to the Village Park Subdivision must be constructed, capable of accommodating vehicles with a gross vehicle weight of up to 80,000 pounds;
  - C. The landscape plan shall include revisions necessary to specify plantings appropriate in size equal to the height of the mechanical equipment to ensure the compliance with the zoning ordinance screening requirements.

- D. The landscape plan shall be revised to include front yard foundation planting landscaping units compliant with the zoning ordinance standards of Section 29.403(6) of the Municipal Code, this include revisions to the tree configuration of the landscape units.
2. The City Council can approve the Major Site Development Plan for the proposed apartment building with modifications.
  3. The City Council can deny the Major Site Development Plan for the proposed apartment building if it finds the project does not meet the Major site Development Plan criteria.
  4. Action on this request can be postponed and referred back to City staff and/or the applicant for additional information.

**CITY MANAGER’S RECOMMENDED ACTION:**

The Major Site Development Plan review is to determine conformance with development standards, and appropriate arrangement and design of the use of the site. FS-RM zoning is intended to implement the LUPP vision of landscaped suburban style development that provides for desirable apartment housing choices. The proposed development project is consistent with the Master Plan for use limitations and meets a community interest for providing apartment types of various floor plans from one to two bedrooms that will have wide appeal. The specific criteria for the site development plan approval are discussed in greater detail in the addendum.

The proposed building design is consistent with the common expectations of apartment homes marketed above an entry level product in that it includes some covered parking and private spaces for individual and the units are sized for smaller living situations. As a small site there are not unique amenities or characteristics to the project as have been included with recent FS-RM approvals on Mortenson or commitments for amenities on larger RH sites on South Duff Brick Towne project.

The architectural appearance is similar to other designs that have been developed in Ames and Ankeny. The building design has a traditional apartment aesthetic in terms of exterior materials and architectural features. The overall massing of the proposed apartment buildings in this location is significantly smaller than the 36-unit apartment buildings proposed across the street in the RH zone portion of Village Park, and also smaller in scale than the 24-unit and 36-unit apartment buildings in the Wessex development to the north. Additionally, all of the lots along the north side of Cottonwood are being developed independently and the slight variation in design and materials is desirable for interest along the street.

The arrangement of the site has a residential appearance and with the required street trees and apartment foundation plantings the development of all the sites along

Cottonwood will create a substantially landscaped corridor. Staff has worked with the applicant to provide landscaping on-site to meet front yard, and perimeter parking lot landscaping requirements. The requested alternative design for grasses in lieu of shrubs for parking lot screening can be supported as providing for a general level of screening and interest. There are no sensitive uses nearby that would require the more substantial screening provided by the standard inclusion of shrubs.

**Therefore, it is the recommendation of the City Manager that the City Council act in accordance with Alternative #1, approving the Major Site Development Plan with the conditions listed above.**

## ADDENDUM

### **PROJECT DESCRIPTION:**

The project site is .78 acres (33,798 square feet), containing 12 dwelling units. The zoning district allows a maximum apartment size of 12 dwelling units. The owner has configured the proposed building into 12 units. The density of this project is 15.3 dwelling units per acre, meeting the required minimum of 13 and maximum of 17 dwelling units per acre. The units vary in size from 1 bedrooms to 2 bedrooms. Within the proposed building, there are 20 bedrooms.

### **Parking.**

The project requires one parking space per bedroom for units of 2 bedrooms or more and one and one half parking spaces for 1 bedroom units. The parking is configured as two areas of single drive aisle parking across the north and east portions of the site with a row of garage stall parking amongst two 6 stall garage structures along the northern edge of the property. There are 22 parking spaces required based on the number of bedrooms being proposed. The developer is proposing 31 parking spaces. 12 of the parking spaces are enclosed garage stall spaces located across the drive aisle from the surface parking spaces in the rear yard approximately 5 feet from the north property line and running parallel to the north perimeter of the site.

Site access is from a shared driveway with Lot 3. The driveway also acts as a second emergency access road that connects through to Wessex. The frontage of the site along Cottonwood Road will also have a sidewalk constructed. Pedestrian connections are provided at two locations along Cottonwood Road providing access to sidewalk in front of the building and shared use path to the immediate east of the site.

### **Landscaping.**

The project creates 7,358 square feet of building footprint, added to 13,165 square feet of additional impervious surface (parking, sidewalks) for a total impervious area of 20,523 square feet. The total impervious surface coverage is approximately 60.4%. Landscaped open space accounts for the remainder of the site. There is no specified maximum coverage for apartments as it is to be as approved during the site plan process consistent with the design principles of the zoning district. The proposed 60% is consistent with the standard for lower density developments in FS zoning districts and allows for the open landscaped character intended by the zoning district design principles.

In addition, the required 10% of common open space is accounted for in Outlot A and D immediately to the south and east of the proposed apartment building with Outlot C providing additional open space further to the southwest along Aurora Avenue. FS development standards require 10% open space that meets the intent of accessible and useable by residents. Open space is a subset of the overall landscape area. The Outlot landscaping is approximately 17% of the overall area. The plan for the outlot includes a

trail, but is essentially for stormwater management functions. A site plan for Outlot A and D is required to be submitted and approved in conjunction with consideration of this site development plan and is a separate item on the same agenda.

Landscape standards require the installation of building foundation screening along street frontage of an apartment building as well as screening located between the parking area and property lines. As currently configured, the developer seeks approval of alternative parking lot landscaping (29.403(4)(d)) for two issues. The first is to allow substitution of ornamental grasses in lieu of shrubs. The second is to not require screening along the edge parking area on the west side of the site. The developer believes that the grasses provide a desirable aesthetic to the project and provide for a suitable level of screening. Grasses during the summer months provide effective screening, but in the winter months there is likely no screening as the grasses are cut to allow them to regrow in the spring. In this situation staff believes they are acceptable due to the low sensitivity of other uses abutting the site. The developer believes the 2<sup>nd</sup> issue of edge landscaping is also unnecessary along the west property line due to the abutting use of parking at the property line. The screening is likely not a substantial issue of compatibility, but an additional tree could be included to meet the intent of the shading over parking areas.

Due to the shared driveway between this lot (Lot 2) and the neighboring lot to the west (Lot 3) no perimeter parking landscaping is provided along the west side of the property between the parking to the west of the building and lot 3. The developer would otherwise be required to plant additional trees and shrubs along the west edge of the site to comply with standard requirements. This is a similar request that is part of all four proposed project along Cottonwood.

The street frontage foundation landscaping must be a combination of plantings as described in Section 29.403(6)(b). The groupings of foundation plants are referred to as Landscape Units and their quantities specified to meet this requirement. Specifically, there must be trees and 6 deciduous and evergreen shrubs planted for every 60 feet of street frontage. The total frontage at this site is 186 feet. The developer has included appropriate tree and shrub quantities to meet the standard.

Refuse receptacles and mechanical units are screened according to the ordinance. The screening must be planted to meet requirements at the time of planting. The configuration of the trash enclosure is proposed without a gate but to have the dumpster located behind the internal wall configurations.

### **Building Design.**

The proposed building is identical in shape and size to neighboring buildings to the east and west, being about 66 feet by 65 feet. Entrances are oriented on the north and south sides of the building according to its location to the parking areas on the property as well as pedestrian access to Cottonwood Road. The building is about 37 feet tall. The height limit of the district is 4 stories or 50 feet. The building setbacks measure 25 feet

on the front setback and 83 feet in the rear yard setback with side yard setbacks measuring 57 feet on the west side and 56 feet on the east side.

All required setbacks have been found to meet standards.

The façades of the building utilize the same materials, with modular brick applied on the bottom portion of the building and vinyl lap siding on the upper portion. The vinyl lap siding is a dark gray color. Each façade has some degree of bump out to provide some relief of the vertical sides. Each unit has access to either a deck or patio. Each deck features modular brick pillars with treated lumber decking. Aluminum guardrails extend around the perimeter of the decks. Windows on the apartment buildings are identified as vinyl with a terratone finish. The building has a wing wall feature that extends outward on each corner of the building comprised of modular brick.

***When acting upon an application for a Major Site Development Plan approval, the Planning and Zoning Commission and the City Council shall rely upon generally accepted site planning criteria and design standards. These criteria and standards are necessary to fulfill the intent of the Zoning Ordinance, the Land Use Policy Plan, and are the minimum necessary to safeguard the public health, safety, aesthetics, and general welfare.***

- 1. The design of the proposed development shall make adequate provisions for surface and subsurface drainage to limit the rate of increased runoff of surface water to adjacent and downstream property.***

The Public Works Department has reviewed the storm water management plan and finds that the proposed development has met the required storm water quantity and quality measures by use of the proposed regional detention facilities on the southeast and northeast areas of the site.

- 2. The design of the proposed development shall make adequate provision for connection to water, sanitary sewer, electrical, and other utility lines within the capacity limits of those utility lines.***

The existing utilities were reviewed and found adequate to support the anticipated load of 12 dwelling units on this lot, comprising 20 bedrooms, consistent with prior determination at the time of rezoning and subdivision approval.

- 3. The design of the proposed development shall make adequate provision for fire protection through building placement, acceptable location of flammable materials, and other measures to ensure fire safety.***

The fire inspector has reviewed access and fire truck circulation, sprinkler, and hydrant requirements and found that the requirements of the Fire Department are met. A condition is in place for completion of a second emergency vehicle access way to the north.

**4. *The design of the proposed development shall not increase the danger of erosion, flooding, landslide, or other endangerment to adjoining and surrounding property.***

It is not anticipated that this proposed development will be a danger due to its site location and proximity to other uses.

**5. *Natural topographic and landscape features of the site shall be incorporated into the development design.***

The site is currently devoid of any significant vegetation. Minimal grading will occur for the construction of the buildings. The site is relatively flat and grading will occur mostly to direct storm water where required.

**6. *The design of the interior vehicle and pedestrian circulation shall provide for convenient flow of vehicles and movement of pedestrians and shall prevent hazards to adjacent streets or property.***

Access to this site from Cottonwood Road is through one access point at the southwest corner of the property. Vehicular and pedestrian access is accommodated between the subject property, and other properties (buildings) within the Village Park subdivision. The on-site sidewalks, sidewalks in the public street right-of-ways, and shared use paths provide pathways throughout the site, and to external connections to allow for circulation throughout the community, and eventually within the Central Iowa region.

**7. *The design of outdoor parking areas, storage yards, trash and dumpster areas, and other exterior features shall be adequately landscaped or screened to minimize potential nuisance and impairment to the use of adjoining property.***

The developer believes that the intent of the general development standards of the zoning ordinance have been met for the screening of parking areas with a substitute



of grasses being proposed as an acceptable alternative to standard perimeter landscaping. The apartment building provides a high degree of separation and screening of the parking and garages in the rear yard from adjoining views, and as viewed from Cottonwood Road. Additional landscaping and landscaping information is being required and conditioned with City Council consideration to guarantee compliance with the mechanical screening requirements as well as compliance with the front yard foundation planting requirements.

- 8. *The proposed development shall limit entrances and exits upon adjacent streets in order to prevent congestion on adjacent and surrounding streets and in order to provide for safe and orderly vehicle movement.***

A shared access is planned for the subject property (Lot 2), and the adjacent property to the west (Lot 3), to minimize the number of curb cuts onto Cottonwood Road.

- 9. *Exterior lighting shall relate to the scale and location of the development in order to maintain adequate security, while preventing a nuisance or hardship to adjacent property or streets.***

Information has been provided on the proposed exterior lighting, to determine compliance. The proposed lighting has been found to meet the lighting standards, found in Sec 29.411 of the *Municipal Code*.

- 10. *The proposed development shall ensure that dust and other forms of air pollution, noise disturbances, odor, glare, and other nuisances will be limited to acceptable levels as prescribed in other applicable State and City regulations.***

The proposed residential uses are not expected to exceed the level of nuisances, typical of this type of development, beyond acceptable levels, as prescribed in other applicable State and City regulations.

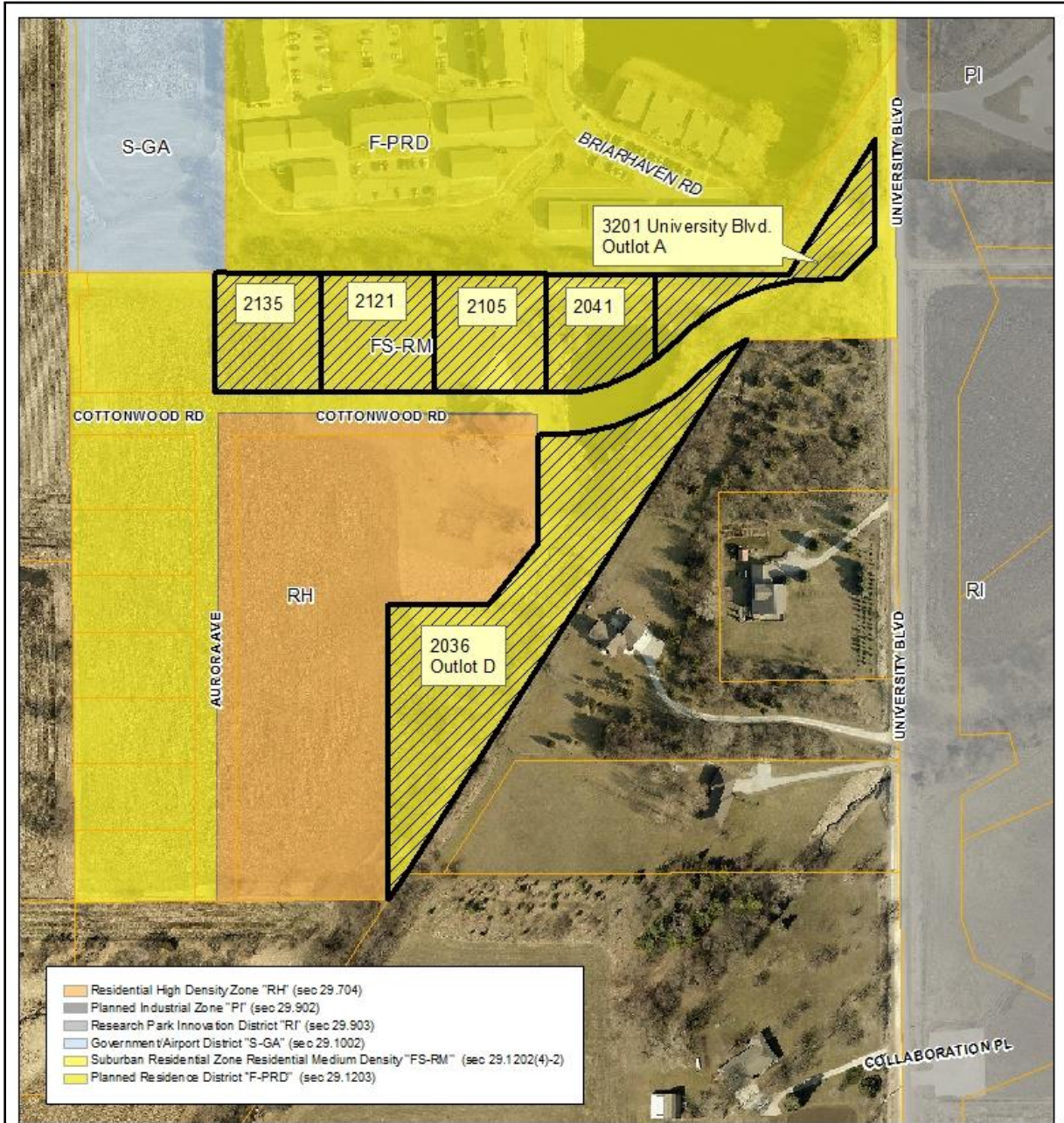
- 11. *Site coverage, building scale, setbacks, and open spaces shall be in proportion with the development property and with existing and planned development and structures, in adjacent and surrounding property.***

The scale of the proposed apartment building, in relation to the lot size, is appropriate, given minimum building setback requirements, landscaping requirements, and areas of

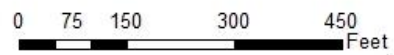
the site planned for parking. The developer has proposed the maximum number of units (12) in a multiple family structure within the FS-RM zoning district. The density of development is well within the approximate densities found on the approved Master Plan for this subdivision, and the apartment appearance is compatible with the character and scale of the general surroundings with the proposed 36-unit apartment dwellings on the other side of Cottonwood Road, and the 24-unit and 36-unit buildings in the Wessex development adjacent to the north. The Wessex apartments are approximately 200 feet north of the site. Open areas and landscaped areas meet the quantitative standards of the Zoning Ordinance in the common areas. There are no flat open space areas on site or within the common area. The open space definition is met with the provision of the 10-foot trail extension in the common lot area

The Development Review Committee has reviewed the Major Site Development Plan and found that it complies with all other requirements of the Ames Municipal Code.

## Attachment A- Location and Zoning

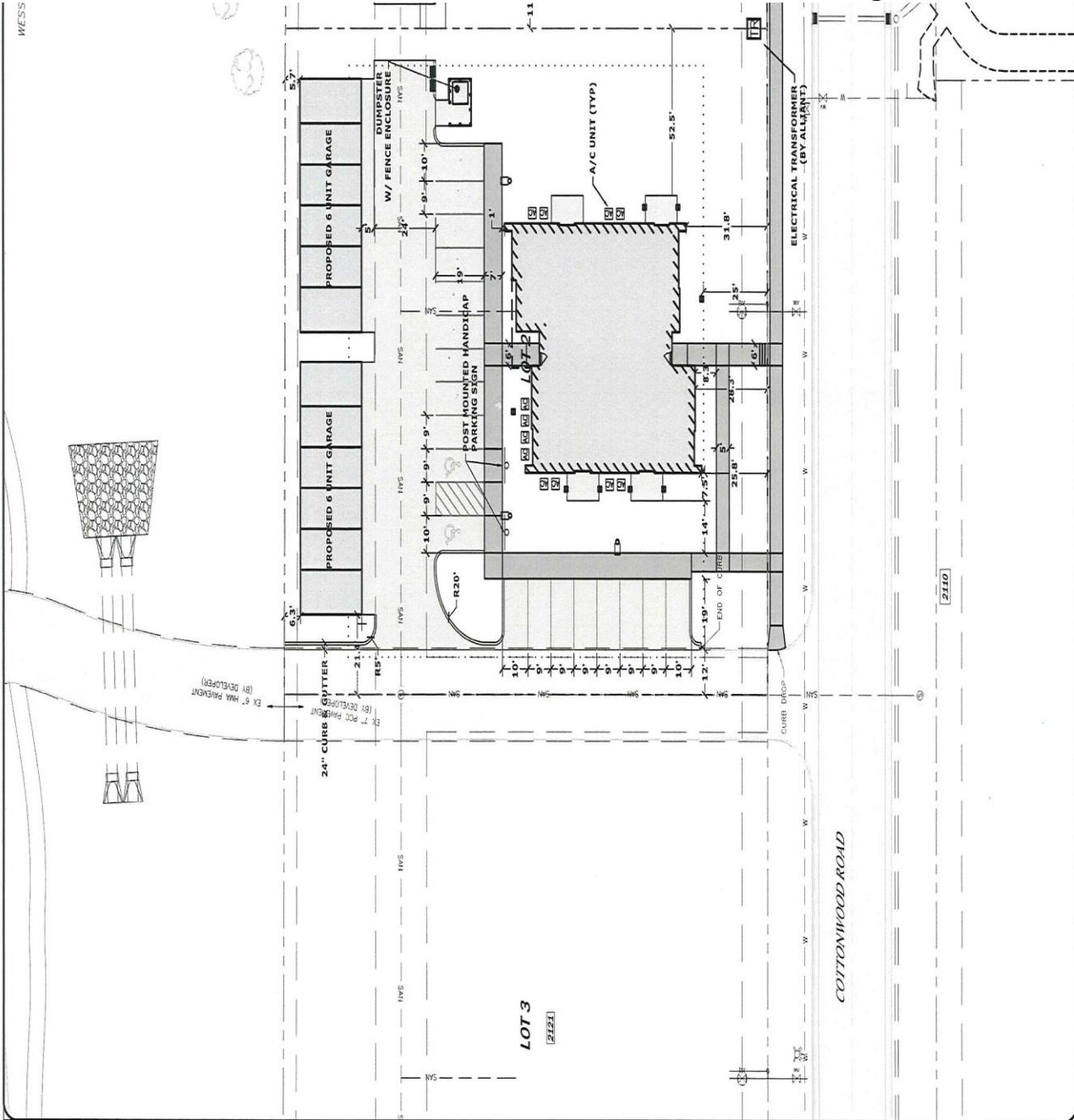


### Location & Zoning Map 2036, 2041, 2105, 2121, 2135 Oakwood Rd. & 3201 University Blvd.





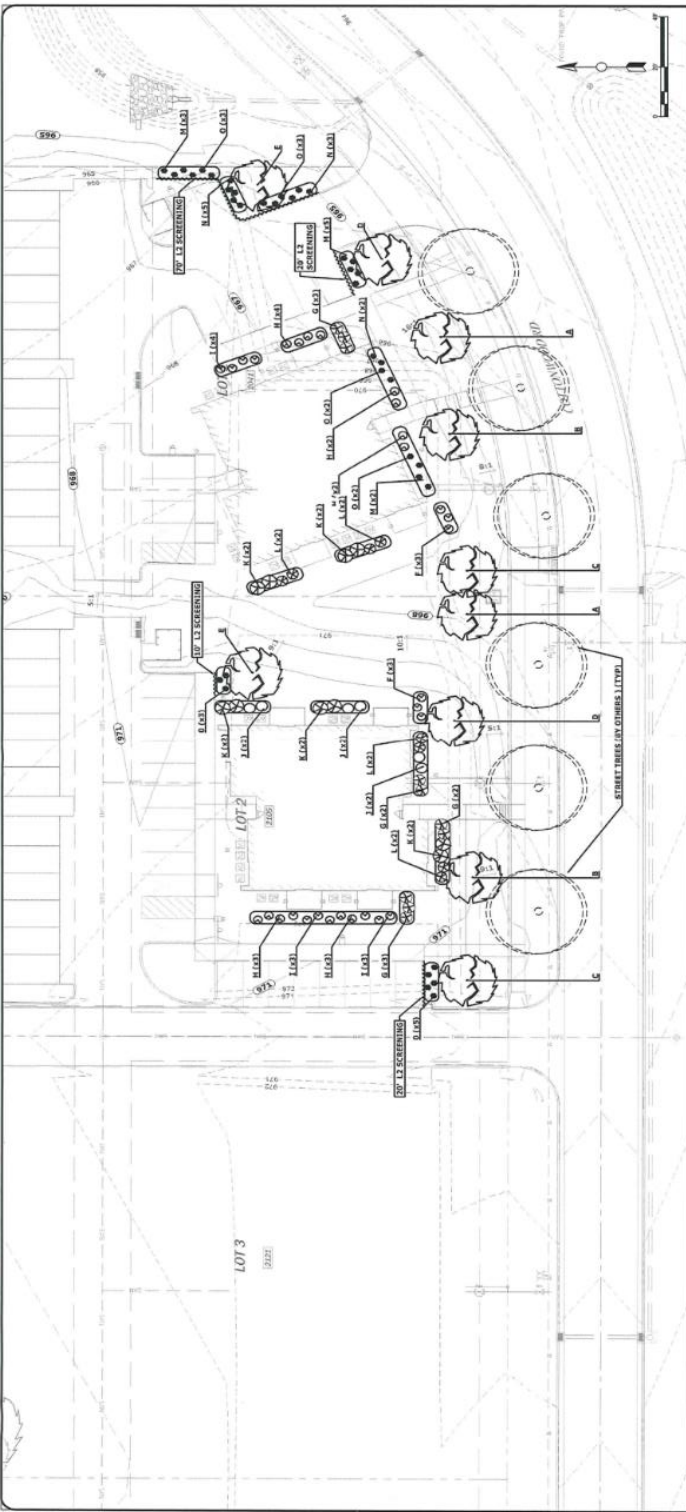
# Attachment A- Site Overview and Parking



DRAWING FILENAME	R:\D\01500015099-15A VILAGE PARK\Drawings\Civil\0599-15A LOT 1-2 SITE PLAN.dwg
PLOT STYLE TABLE	LAYER.NGNR.NAME
FOKGR/SCHL.RID	
LAYOUT NAME	CS1

# Attachment A- Landscape Plan (cont.)

DATE	REVISION		FOX Engineering Associates, Inc. 414 South 17th Street, Suite 101 Ames, Iowa 50010 Phone: (515) 233-0000 Fax: (515) 233-0103	DATE	REVISION
BY	DESIGNED				
CHKD	CHECKED				
APP'D	APPROVED				
DATE	DATE				



Plant Schedule							
Symbol	Number	Common Name	Botanical Name	Size	Container	Mature Height / Width	Comments
A	2	Spring Snow Crabapple	Malus "Spring Snow"	1 1/2" Caliper	88B	25 20	
B	2	Pagoda Dogwood	Cornus alternifolia	1 1/2" Caliper	88B	20 20	
C	2	Korean Maple	Acer Pseudoboleidanium	1 1/2" Caliper	#7 Cont.	20 20	
D	2	Japanese True Lilac	Syringa Reticulata 'Ivory Silk'	1 1/2" Caliper	88B	25 20	
E	2	Autumn Brilliance Serviceberry	Amelanchier X Grandiflora 'Autumn Brilliance'	1 1/2" Caliper	88B	20 20	
F	6	Holmstrup Arborvitae	Thuja occidentalis 'Holmstrup'		#5 Cont.	6 3	
G	10	Dwarf Alberta Spruce	Picea glauca 'Conica'		#5 Cont.	6 4	
H	14	Dwarf Norway Spruce	Picea abies 'Pumila'		#5 Cont.	4 4	
I	10	Taunton's Yew	Taxus x media 'Tauntonii'		#5 Cont.	4 4	
J	6	Blue Muffin Arrowhead Viburnum	Viburnum Dentatum 'Christom'		#2 Cont.	4 4	
K	10	Red Prince Weigela	Weigela Florida 'Red Prince'		18" Pot	5 5	
L	8	Dakota Sunspot Potentilla	Potentilla Fruticosa 'Fargo'		#2 Cont.	3 4	
M	10	Prairie Droopseed (grass)	Sporobolus heterolepis		#1 Cont.	3 3	
N	10	Huron Sunrise Miscanthus (grass)	Miscanthus sinensis 'Huron Sunrise'		#1 Cont.	5 3	
O	18	Little Bluestem (grass)	Little Bluestem (grass)		#1 Cont.	3 2	May mix varieties

APARTMENT LANDSCAPING  
 LOT 1 = 186' FRONTAGE = 3 UNITS  
 3 UNITS  
 PROVIDED = 3 ORNAMENTAL TREES AND 18 SHRUBS  
 PROVIDED = 3 ORNAMENTAL TREES AND 18 SHRUBS  
 LOT 2 = 179' FRONTAGE = 3 UNITS  
 3 UNITS  
 PROVIDED = 3 ORNAMENTAL TREES AND 18 SHRUBS  
 PROVIDED = 3 ORNAMENTAL TREES AND 18 SHRUBS

# Attachment B: Building Elevations

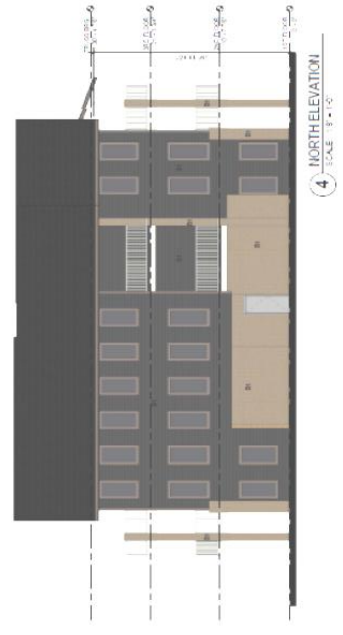
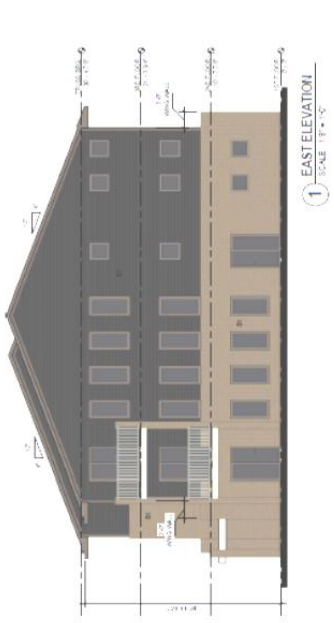


ARCHITECT  
 NAME: [Redacted]  
 PROJECT: [Redacted]  
 ADDRESS: [Redacted]

Village Park  
 Lots 1 & 2  
 Ames, IA  
 DATE: 10/25/16  
 DRAWING NO: 16-044  
 SHEET: 16-044-01  
 SCALE: 1/8" = 1'-0"

**A500**

PRELIMINARY - NOT FOR CONSTRUCTION



DATE	10/25/16
BY	[Redacted]
CHECKED	[Redacted]
DATE	10/25/16

# Attachment B- Garage Elevations

④ SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

③ EAST ELEVATION  
SCALE: 1/4" = 1'-0"

② NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

① WEST ELEVATION  
SCALE: 1/4" = 1'-0"

MATERIAL SCHEDULE	
1	Dark Gray Siding
2	White Garage Doors
3	Dark Gray Garage Doors

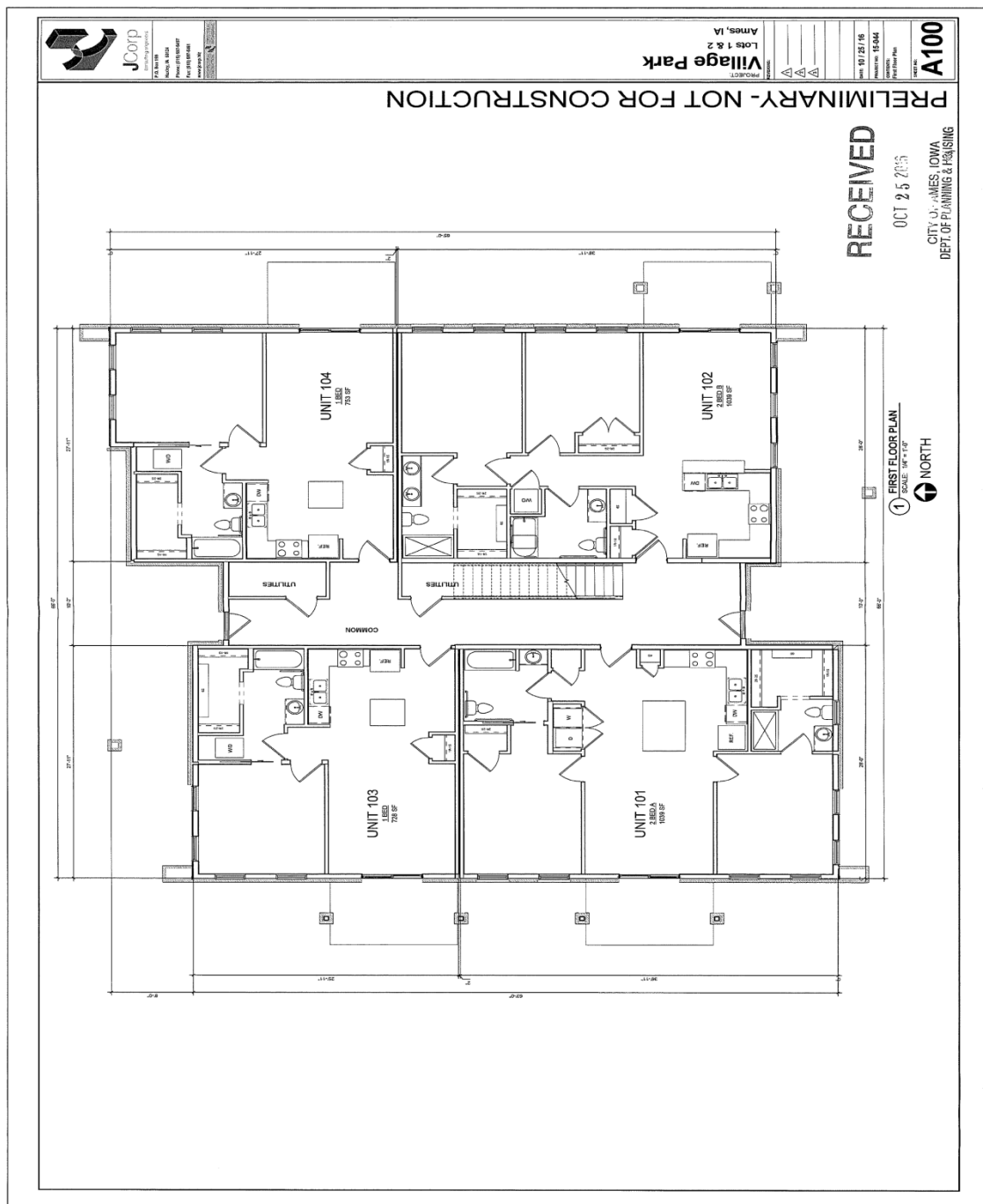
PRELIMINARY - NOT FOR CONSTRUCTION

Village Park Garages  
 Lots 1 & 2  
 Ames, IA

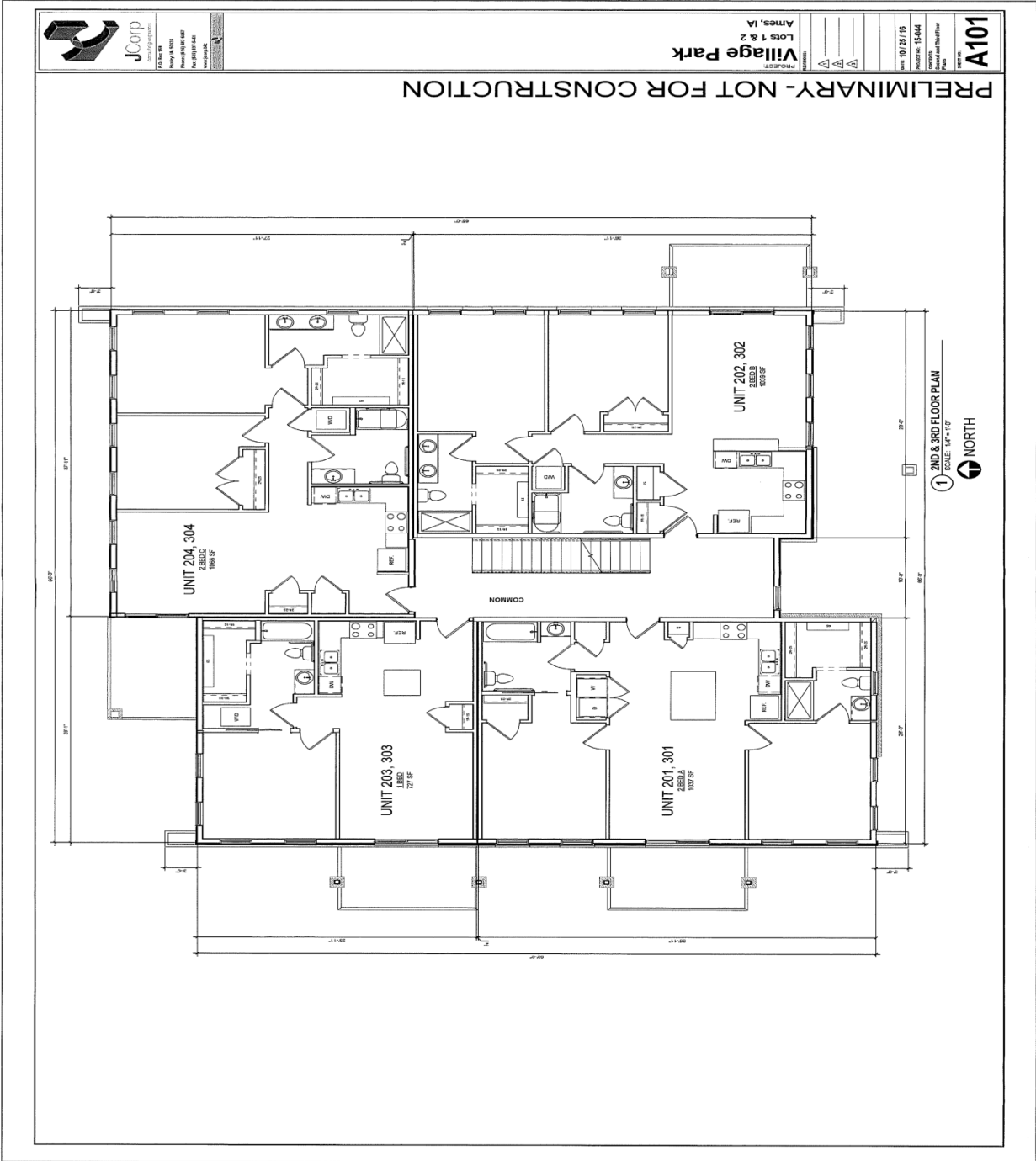
A500



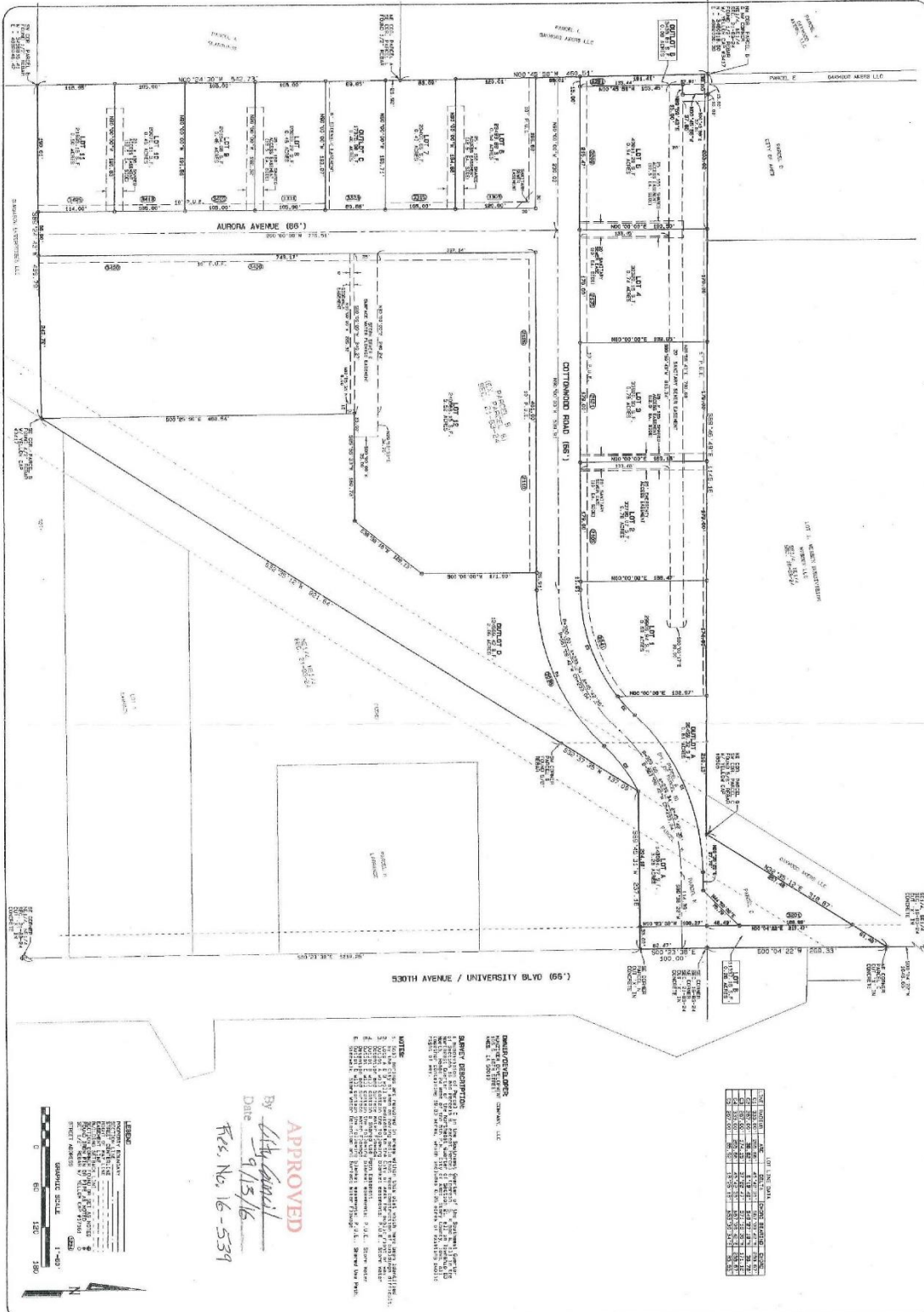
## Attachment C- 1st Floor Plans



# Attachment C- 2nd Floor Plans



# Attachment D- Village Park Subdivision Final Plat



APPROVED  
 By: *[Signature]*  
 Date: 9/15/16  
 F&S No. 16-539

**NOTES:**

1. THIS PLAT IS SUBJECT TO ALL RECORDS, EASEMENTS, AND ENCUMBRANCES OF RECORD AFFECTING THE LAND HEREIN.
2. THE SURVEY IS BASED ON THE DATA PROVIDED BY THE CLIENT AND THE SURVEYOR HAS NOT CONDUCTED A FIELD CHECK OF THE DATA.
3. THE SURVEYOR HAS CONDUCTED A VISUAL CHECK OF THE DATA AND HAS FOUND IT TO BE REASONABLY ACCURATE.
4. THE SURVEYOR HAS CONDUCTED A VISUAL CHECK OF THE DATA AND HAS FOUND IT TO BE REASONABLY ACCURATE.
5. THE SURVEYOR HAS CONDUCTED A VISUAL CHECK OF THE DATA AND HAS FOUND IT TO BE REASONABLY ACCURATE.
6. THE SURVEYOR HAS CONDUCTED A VISUAL CHECK OF THE DATA AND HAS FOUND IT TO BE REASONABLY ACCURATE.

**SAFETY DESCRIPTION:**

THIS PLAT IS SUBJECT TO ALL RECORDS, EASEMENTS, AND ENCUMBRANCES OF RECORD AFFECTING THE LAND HEREIN. THE SURVEYOR HAS CONDUCTED A VISUAL CHECK OF THE DATA AND HAS FOUND IT TO BE REASONABLY ACCURATE.

LOT	AREA (SQ. FT.)	AREA (AC.)
1	10,000	0.23
2	10,000	0.23
3	10,000	0.23
4	10,000	0.23
5	10,000	0.23
6	10,000	0.23
7	10,000	0.23
8	10,000	0.23
9	10,000	0.23
10	10,000	0.23
11	10,000	0.23
12	10,000	0.23
13	10,000	0.23
14	10,000	0.23
15	10,000	0.23
16	10,000	0.23
17	10,000	0.23
18	10,000	0.23

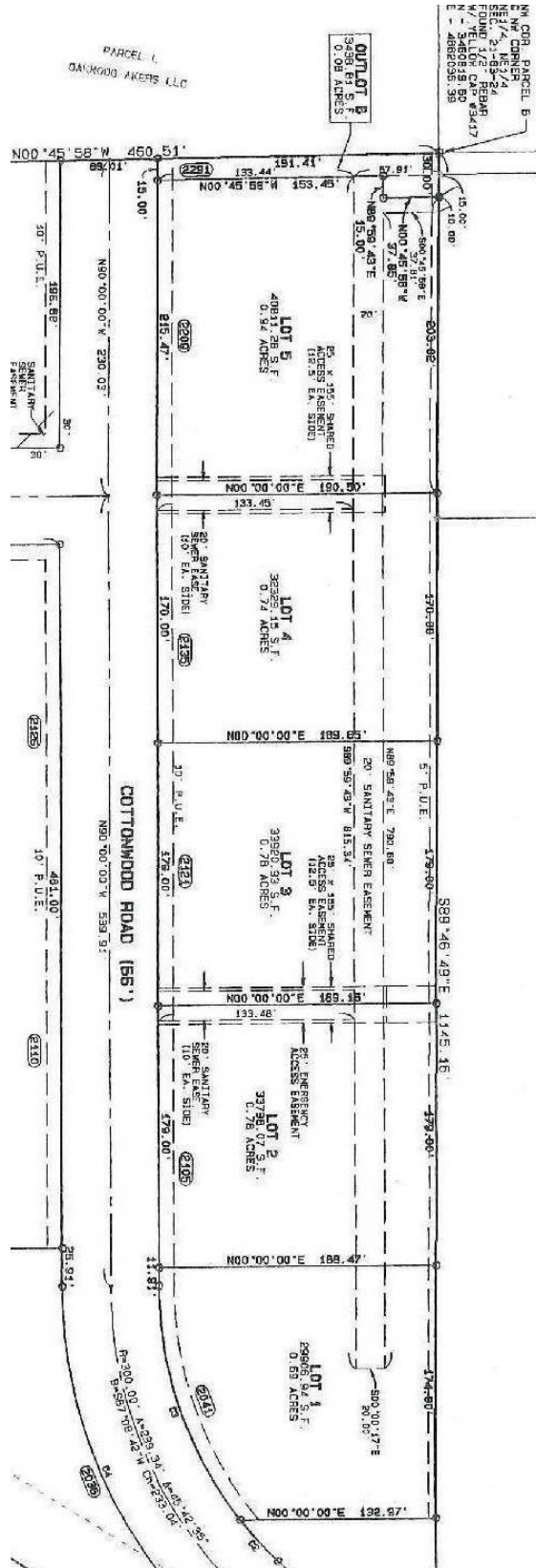
**STUMBO & ASSOCIATES**  
 LAND SURVEYING  
 500 S. 17th STREET, SUITE 102, AMES, IOWA 50010  
 PHONE 515-233-3609 FAX 515-233-4403

**FINAL PLAT**  
**VILLAGE PARK SUBDIVISION**  
 PARCEL C IN THE SE1/4, SE1/4 OF SEC. 16-03-24  
 OF PARCEL 2, Q. 16 S 4 W IN THE NE1/4, NE1/4 OF  
 SEC. 21-03-24, CITY OF AMES, STORY COUNTY, IOWA  
 JOB #16504FP DATE: 8/15/16 PAGE: 1 of 1

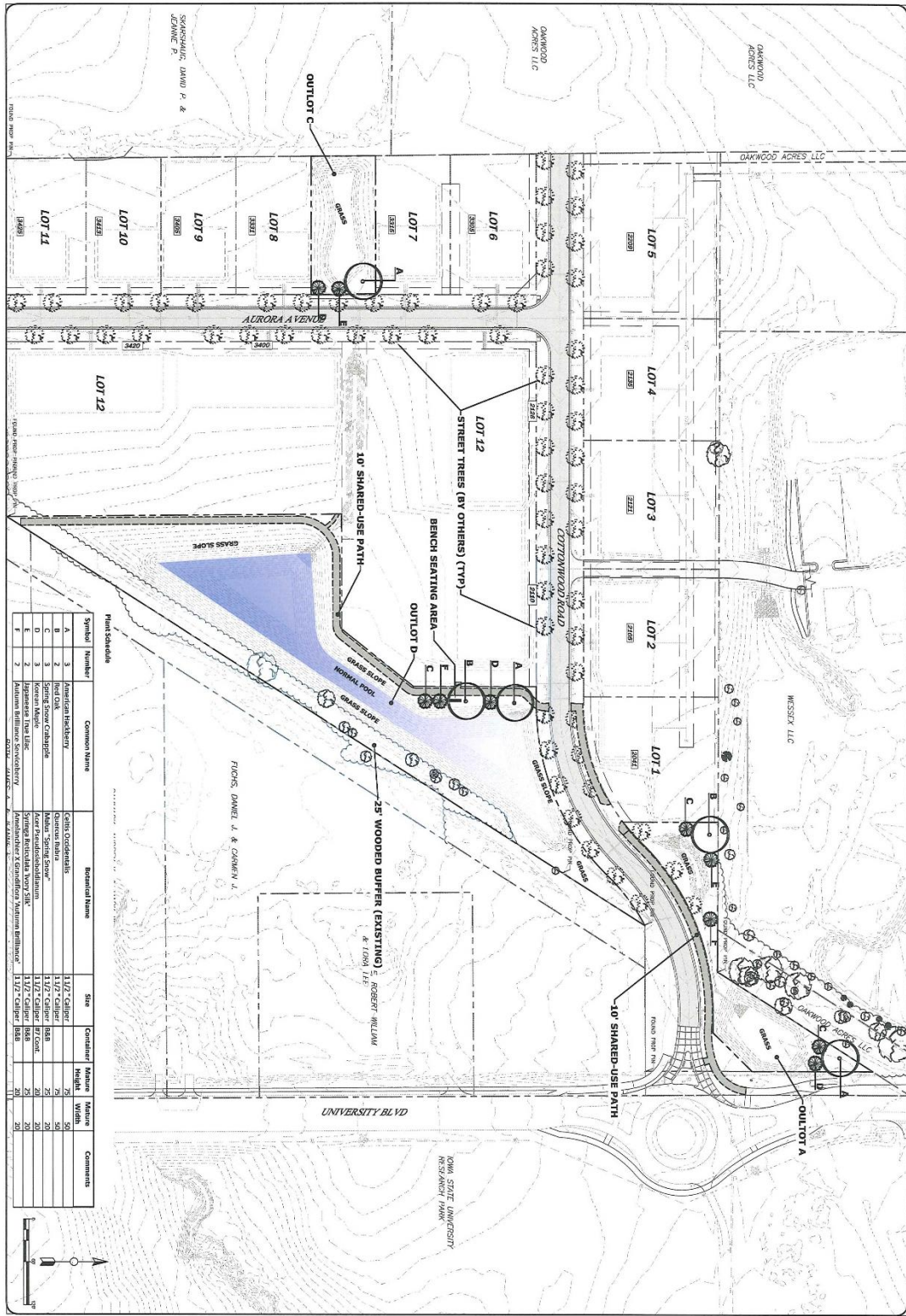
Certification: I hereby certify that this land surveying document was prepared in accordance with the laws of the State of Iowa and that I am a duly licensed and bonded land surveyor in the State of Iowa.  
*R. R. [Signature]* Date: 8/15/16  
 My license expires on December 31, 2017

**17461**  
 IOWA PROFESSIONAL LAND SURVEYOR

# Attachment E: Village Park Subdivision (Lot 1, 2, 3, 4 & 5)



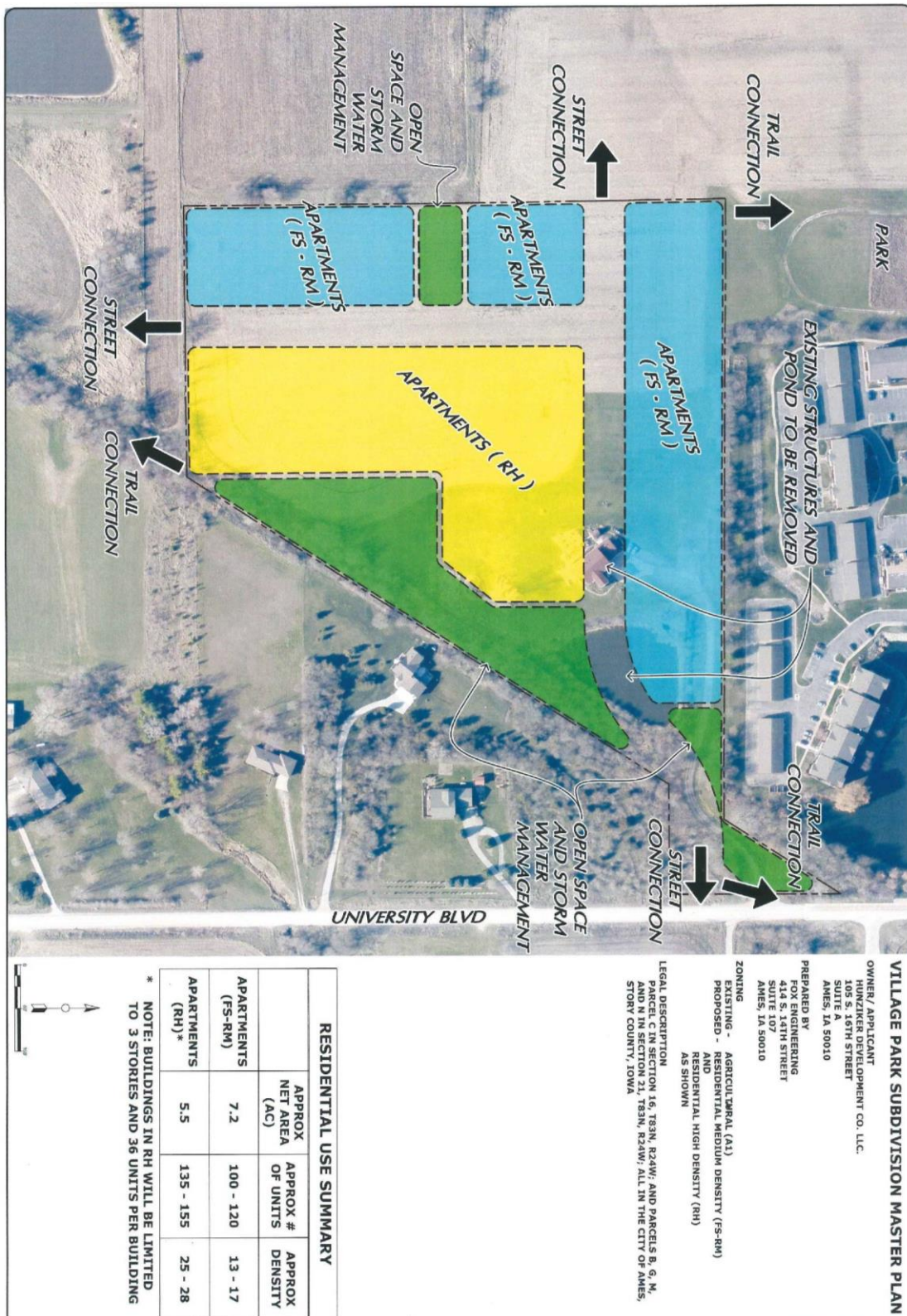
# Attachment F: Landscape Plan for Outlots A & D, Village Park Subdivision



Plant Schedule

Symbol Number	Common Name	Botanical Name	Size	Container	Mature Height	Mature Spread	Comments
A	American Hackberry	Celtis occidentalis	1 1/2' Caliper	18" x 18"	50'	50'	
B	Red Oak	Quercus rubra	1 1/2' Caliper	18" x 18"	50'	50'	
C	Spring Snow Crabapple	Malus 'Spring Snow'	1 1/2' Caliper	18" x 18"	20'	20'	
D	Japanese Flowering Quince	Eubankia japonica	1 1/2' Caliper	18" x 18"	20'	20'	
E	Japanese Flowering Quince	Eubankia japonica	1 1/2' Caliper	18" x 18"	20'	20'	
F	Autumn Brilliance Spirea	Spiraea 'Autumn Brilliance'	1 1/2' Caliper	18" x 18"	20'	20'	

## Attachment G: Master Plan for Village Park Subdivision



**VILLAGE PARK SUBDIVISION MASTER PLAN**

OWNER / APPLICANT  
 HUNZIKER DEVELOPMENT CO. LLC.  
 105 S. 16TH STREET  
 SUITE A  
 AMES, IA 50010

PREPARED BY  
 FOX ENGINEERING  
 414 S. 14TH STREET  
 SUITE 107  
 AMES, IA 50010

ZONING  
 EXISTING - AGRICULTURAL (A1)  
 PROPOSED - RESIDENTIAL MEDIUM DENSITY (FS-RM)  
 AND  
 RESIDENTIAL HIGH DENSITY (RH)  
 AS SHOWN

LEGAL DESCRIPTION  
 PARCEL C IN SECTION 16, T83N, R24W, AND PARCELS B, G, M,  
 AND N IN SECTION 21, T83N, R24W; ALL IN THE CITY OF AMES,  
 STORY COUNTY, IOWA

**RESIDENTIAL USE SUMMARY**

	APPROX NET AREA (AC)	APPROX # OF UNITS	APPROX DENSITY
APARTMENTS (FS-RM)	7.2	100 - 120	13 - 17
APARTMENTS (RH)*	5.5	135 - 155	25 - 28

\* NOTE: BUILDINGS IN RH WILL BE LIMITED TO 3 STORIES AND 36 UNITS PER BUILDING

ITEM #: 27c  
DATE: 10-15-16

**COUNCIL ACTION FORM**

**REQUEST:** MAJOR SITE DEVELOPMENT PLAN FOR 2121 COTTONWOOD ROAD

**BACKGROUND:**

Hunziker Development Company, LLC is requesting approval of a Major Site Development Plan for a 12-unit apartment building on the property located at 2121 Cottonwood Road, (Lot 3 of Village Park Subdivision). Lot 3 includes 33,920.93 square feet (0.78 acres), and is zoned as “FS-RM” (Suburban Residential Medium Density), (See *Attachment A: Location & Zoning Map & Attachment B: Major Site Development Plan.*) The site is located west of University Boulevard, across from the Iowa State University Research Park, and south of the Wessex apartment complex. Land to the west and south of the Village Park Subdivision is outside the Ames corporate limits, in rural Story County. The overall layout of Village Park Subdivision, including open space landscaping in the Outlots, is shown on *Attachment G*.

A three-story, 12-unit, apartment building is proposed, including four (1-bedroom units), and eight (2-bedroom) units for a total of twenty bedrooms, with an average of 1.67 bedrooms per unit (See *Attachment E: Floor Plans*). Development of the property is required to be consistent with the rezoning Master Plan agreement for the property. The Master Plan for this property, originally identified as 3535 S. 530<sup>th</sup> Avenue (Village Park Subdivision), includes FS-RM and RH (Residential High Density). The Final Plat for Village Park Subdivision includes eleven lots for development in the FS-RM zone, and one lot for development in the “RH” (Residential High Density) zone (See *Attachment F: Village Park Subdivision Final Plat*). Approximately 100 to 120 units, and an approximate density of thirteen to seventeen units per acre is shown on the approved Master Plan (See *Attachment H: Master Plan for Village Park Subdivision*) for the FS-RM areas of the Master Plan.

The FS-RM lots are planned for a single 12-unit, three-story, apartment building on Lots 1, 2, 3 and 4, and a 12-unit, two-story apartment building on Lot 5. One 8-unit, two-story building is planned for each lot along the west perimeter of the subdivision, on Lots 6 through 11. Apartment buildings in the RH portion of the subdivision, will be located south of Cottonwood Road and east of Aurora Avenue, and are planned to include four, 36-unit buildings, three stories in height. The RH apartment buildings require City staff approval of Minor Site Development Plans for development of the entire 5.52-acre site (Lot 12).

The proposed development of 12-unit apartment buildings, along the north side of Cottonwood Road, follow a pattern and orientation that features the buildings facing the street, with surface parking along one side of the building, and behind the building in the rear yard, and garages along the north property line of each lot. The front door of the

building faces Cottonwood. The proposed development on this particular lot, includes two garage buildings along the north property line, with six parking stalls in each garage building. Surface parking spaces are located along the east property line, and behind the apartment building. The parking spaces behind the building share an access aisle with the garage parking stalls. Access to the site for parking is a shared access easement centered on the property line between Lot 3 (2121 Cottonwood Road), and Lot 2 (2105 Cottonwood Road). The shared access between Lots 2 and 3, also serves as a temporary emergency vehicle access that extends through the Wessex Apartment development adjacent to the north, and out to Oakwood Road, until such time that Cottonwood Road is extended to the west to connect with the existing Cottonwood Road in the Suncrest Subdivision (See *Attachment B: Major Site Development Plan, Parking Layout*).

The proposed design is for 3-story buildings with gabled roofs. The individual units are accessed from an internal corridor with an exit to the front and rear of the building. Exterior building materials include primarily vinyl lap siding on the second and third stories, and in the gables facing east and west. Cultured stone veneer is limited to the first floor level, except for the south façade where the cultured stone material extends to the roofline in one area, and a point between the second and third stories in another area of the south facade. The primary entry to the building, facing the street is also covered with the cultured stone veneer. Each façade includes a cultured stone veneer element to provide design continuity and interest on all facades. Cultured stone pillars support the decks and roofs above the decks, and above the primary entry to the building. Each deck will be constructed with treated lumber decking and aluminum guardrails. Sliding glass doors will provide access to the decks and patios outside the apartment units (See *Attachment C: Building Elevations*).

The FS-RM zone includes requirements for common open space that consists of a minimum of 10% of the overall FS-RM area in a development. The common open space that serves the tenants of the proposed apartment building, and all lots in the FS-RM portion of Village Park Subdivision, is located within outlots (See *Attachment D: Final Plat for Village Park Subdivision & Attachment G: Open Space Landscape Plan*). Outlot D includes a 10-foot wide shared use path along the edge of the outlot. The shared use path for Outlot A is located in the right-of-way for Cottonwood Road. Ponds for storm water treatment and detention are located in both outlots. A 25-foot wide existing wooded buffer follows the majority of the southeast boundary of Outlot D along the eastern edge of the detention pond. The open space has essentially been designed to accommodate stormwater detention (See *Landscape Plan for Outlots A & D*). Landscape Plans for Outlots A and D will be considered by the City Council as a separate agenda item.

Landscaping is provided to meet front yard apartment foundation and parking lots screening requirements. The developer has proposed parking lot landscaping as a combination of L1 and L2 parking lot screening elements. No landscaping has been proposed or required along the north property line behind the proposed garages due to existing landscaping along the Wessex development. The apartments are



approximately 200 feet to the north.

Off-street parking has been provided to meet the minimum parking requirements for apartment dwellings in the FS-RM zone. Access is shared with the adjoining property as required within the subdivision plat. No lighting has been proposed with the site development plan. Further details on the overall plans are found in the Addendum of this report.

At its meeting on November 2, 2016, the Planning and Zoning Commission reviewed the proposed Major Site Development Plan, and discussed site layout, open space access, landscaping configurations, and design of the project. There were no comments from the applicant, or the public. By a vote of 5-0, the Commission recommended approval of the Site Plan with the following conditions, as recommended by staff:

- A. That the landscaping, and site improvements, as shown on the Landscape Plan for Outlots A & D, be installed, prior to occupancy of the first FS-RM apartment building in the Village Park Subdivision;
- B. Prior to approval of the Major Site Development Plan by the City Council, a Minor Amendment to the Planned Residence District Plan for the Wessex Apartment Development, to include the temporary emergency vehicle access, must be approved by City staff;
- C. Prior to occupancy of the first FS-RM apartment building in the Village Park Subdivision, construction of a temporary emergency vehicle access to the Village Park Subdivision must be constructed to the specification of the Fire Department with a minimum capability of accommodating vehicles with a gross vehicle weight of up to 80,000 pounds;
- D. Prior to consideration by the City Council, gates must be added to the Major Site Development Plan, for screening of the garbage collection areas, in order to meet the requirements of Section 29.408(3) of the *Municipal Code*.
- E. Prior to occupancy of the apartment building at 2121 Cottonwood Road, shrubs used as screening for mechanical units must be installed to meet zoning standards at a minimum height that is six inches higher (at the time of planting) than the mechanical equipment the shrubs are screening.
- F. Compliance of all exterior lighting, with the Outdoor Lighting Code, Section 29.411 of the *Municipal Code*, and approval by the Planning & Housing Department, is required prior to occupancy.

**Since the Planning and Zoning Commission meeting, staff has approved the Minor Amendment to the Planned Residence District Plan for the Wessex apartment development (Condition “B”), and the applicant has made revisions to the plan to address outdoor lighting code compliance. Staff and the developer have finalized trash enclosure options. No lighting is proposed with the plan at this time. The recommended conditions have been updated to reflect recent work with staff. The Developer is in agreement with the overall set of conditions and will finalize their plan sets upon approval by City Council.**

**ALTERNATIVES:**

1. The City Council can approve the Major Site Development Plan for the proposed 12-unit apartment building, located at 2121 Cottonwood Road, as proposed, with the following conditions:
  - A. That the landscaping, and site improvements, as shown on the Landscape Plan for Outlots A & D, be installed, prior to occupancy of the first FS-RM apartment building in the Village Park Subdivision;
  - B. Prior to occupancy of the first FS-RM apartment building in the Village Park Subdivision, construction of a temporary emergency vehicle access to the Village Park Subdivision must be constructed to the specification of the Fire Department with a minimum capability of accommodating vehicles with a gross vehicle weight of up to 80,000 pounds;
  - C. The landscape plan shall include revisions necessary to specify plantings appropriate in size equal to the height of the mechanical equipment to ensure the compliance with the zoning ordinance screening requirements.
2. The City Council can approve the Major Site Development Plan for the proposed 12-unit apartment building, located at 2121 Cottonwood Road, with modifications.
3. The City Council can deny the Major Site Development Plan for the proposed 12-unit apartment building, if it finds the project does not meet the Major site Development Plan criteria.
4. Action on this request can be postponed and referred back to City staff and/or the applicant for additional information.

## **CITY MANAGER'S RECOMMENDED ACTION:**

The Major Site Development Plan review is to determine conformance with development standards, and appropriate arrangement and design of the use of the site. FS-RM zoning is intended to implement the LUPP vision of landscaped suburban style development that provides for desirable apartment housing choices. The proposed development project is consistent with the Master Plan for use limitations and meets a community interest for providing apartment types of various floor plans from one to two bedrooms that will have wide appeal. The specific criteria for the site development plan approval are discussed in greater detail in the addendum.

The proposed building design is consistent with the common expectations of apartment homes marketed above an entry level product in that it includes some covered parking and private spaces for individual and the units are sized for smaller living situations. As a small site there is not unique amenities or characteristics to the project that have been included with recent FS-RM approvals on Mortenson or commitments for amenities on larger RH sites on South Duff.

The architectural appearance is similar to other designs that have been developed in Ames and Ankeny. The building design has a traditional apartment aesthetic in terms of exterior materials and architectural features. The overall massing of the proposed apartment buildings in this location is significantly smaller than the 36-unit apartment buildings proposed across the street in the RH zone portion of Village Park, and also smaller in scale than the 24-unit and 36-unit apartment buildings, close to this site, in the Wessex development to the north. Staff has worked with the applicant to provide landscaping on-site to meet front yard, and perimeter parking lot landscaping requirements. The arrangement of the site has a residential appearance and with the required street trees and apartment foundation plantings the development of all the sites along Cottonwood will create a substantially landscaped corridor.

**Therefore, it is the City Manager's recommendation that the City Council adopt Alternative #1, thereby approving the Major Site Development Plan for the proposed 12-unit apartment building located at 2121 Cottonwood Road with conditions stated above.**

## **ADDENDUM**

**Project Description.** Hunziker Development Company, LLC is requesting approval of a Major Site Development Plan for a 12-unit apartment building on the property located at 2121 Cottonwood Road, (Lot 3 of Village Park Subdivision). Lot 3 includes 33,920.93 square feet (0.78 acres), is zoned as “FS-RM” (Suburban Residential Medium Density), and will have a public sidewalk (5 feet wide) for the entire frontage of the lot along Cottonwood Road (See *Attachment A: Location & Zoning Map & Attachment F: Village Park Subdivision Final Plat*).

Density limitations in the FS-RM zone requires 7,000 square feet for the first two units, and 1,800 square feet for each additional unit. This lot could accommodate 17 dwelling units, provided all other site plan requirements are met. The FS-RM zone allows a maximum of 12 units in each building, which is what is proposed for the entire lot. The proposed density of 12 units on 0.78 acres is the equivalent of 15.38 dwelling units per acre, which is within the density range on the approved Master Plan for Village Park Subdivision (See *Attachment H: Village Park Subdivision Master Plan*). The proposed 12-unit building consists of four (1-bedroom units), and eight (2-bedroom units), for a total of twenty bedrooms in the entire building.

### **Parking.**

The Zoning regulations require a minimum of one parking space per bedroom for units of two bedrooms, or more, and one and one half parking spaces for one-bedroom units. The minimum number of parking spaces required for this site is twenty-two spaces. The developer is proposing a total of 34 parking spaces, including two handicap-accessible spaces and twelve garage stalls. Off-street parking on the site is configured as eight standard (9’x19’) surface parking spaces in the side yard, east of the building, and twelve standard surface parking spaces, plus two van-accessible handicap spaces, as required, in the rear yard behind the building. Across the drive aisle from the surface parking spaces in the rear yard, are two (6-stall) garages approximately 10.91 feet from the north property line, and running parallel to the north perimeter of the site. The parking spaces, and garage stalls, are served by a single access from Cottonwood Road, centered on the property line that separates Lots 2 and 3 in a 25-foot wide access easement. The shared access between Lots 2 and 3, also serves as a temporary emergency vehicle access that extends through the Wessex Apartment development adjacent to the north, and out to Oakwood Road, until such time that Cottonwood Road is extended to the west to connect with the existing Cottonwood Road in the Suncrest Subdivision (See *Attachment B: Master Plan, Parking Layout*).

### **Layout.**

The building footprint of the apartment building occupies 4,205 square feet of the site. Garages footprints cover 3,168 square feet, and the parking spaces, driveways, drive aisles, and sidewalks cover an additional 12,640 square feet for a total of 20,013 square feet of the site covered by impervious surfaces, which is 59% of the total site area. The remainder of the lot is landscaped area, which amounts to 41% of the total site. In addition, the minimum requirement of 10% of the gross area of the subdivision to be

devoted to common open space, for development in the FS-RL, or FS-RM zones, is accounted for in Outlots A and D, of Village Park Subdivision. Outlots A and D are located in close proximity to the proposed apartment buildings, and the other future apartment buildings to be constructed in Village Park. The Village Park Subdivision includes 19.83 acres (863,794.80 square feet). The land area included in Outlots A and D, combined, is equal to 151, 038.74 square feet of land area, which is equal to 17.48% of the total land area in Village Park Subdivision (See *Attachment G: Landscape Plan for Outlots A & D, Village Park Subdivision*). Outlots A and D are located in close proximity to the proposed apartment buildings, and the other future apartment buildings to be constructed in Village Park. The outlots have been designed as stormwater detention and treatment areas and include one 10-foot trail extension. Review of the outlot landscape plan is separate from this project. There is no other common usable space included within the project.

### **Landscaping.**

Landscaping requirements are driven by parking lot design and front yard plantings for apartment buildings (Page 18 of the report is the landscape plan). The proposed project's landscaping is most affected by the front yard foundation plantings due to the length of street frontage and the location of the parking. Due to the placement of garages along the north boundary line, screening is not required. The 10-foot area behind the garages is planned to be planted as turf. Screening would be needed if the garages did not abut an existing landscaped yard of the abutting Wessex apartments to meet the intent of the FS standards.

Front yard foundation plantings requirements include a combination of shrubs, understory and overstory trees. The developer has included additional cluster landscaping along the sides of building to add interest and some screening for the residents from the parking lot. Staff has an interest that an open relatively flat area be created between the apartment buildings of Lot 4 and Lot 3 to allow for informal open space. The area to the west of the building is planned as turf and can be graded with minimal slope to meet this interest of having available space for recreational use. There will be approximately 70 feet between buildings and 6000 square feet of informal open space between the buildings on Lots 3 and 4.

The Landscape Plan shows screening for mechanical units along the east and west sides of the building that meet site plan standards, provided the shrubs used for screening are a minimum of six inches higher than the mechanical units, at the time of planting. A condition is included in the report as a reminder of the need to comply with screening at the time of planting compared to growing into a screen over time.

No interior parking lot landscaping is required due to the size of the parking lot with one drive aisle. Perimeter parking lot landscaping is required along the portions of the driveways, parking spaces, and drive aisles to meet perimeter parking lot landscaping. All but one area of the site has the required perimeter parking lot landscaping. The side of the parking space that faces the property at 2135 Cottonwood, to the west, requires five shrubs to meet the "L2"(Low Screen) landscaping standards. The developer does

not believe landscaping is needed at the terminus of this drive aisle as it abuts another drive aisle. The City Council can approve modification of landscaping screening requirements if it finds that an alternative design meets the objectives for parking lot screening. Staff finds that the minimal length of area could be planted, but the overall mix of plants has diversity and interest in the design while meeting the essence of screening objectives of the zoning ordinance (*See Attachment B: Major Site Development Plan, Landscaping- pg 18*).

The trash receptacles are screened with 1" by 6" vertical cedar wood alternating slats to a height of six feet. The site plan does not include gates for the enclosure. Gates are necessary to meet screening requirements in Section 29.408(3) of the Municipal Code, which requires that garbage collection areas be screened from all public rights-of-way and from adjacent properties.

### **Circulation.**

Site access is from one driveway off Cottonwood Road. Cottonwood Road is planned to be extended west to connect to the existing segment of Cottonwood Road, in the Suncrest Subdivision, once the land between Village Park Subdivision and Suncrest Subdivision is annexed into the City and developed as residential. Public sidewalks (5-foot wide) in the right-of-way for Cottonwood Road provide a connection to the shared use path (10-foot wide) that will cross through the site between University Boulevard and the southern boundary of Village Park Subdivision. The shared use path will connect to the Ames community bike trail/shared use path system, and is planned in the future to connect to the regional multi-county bike trail system south of Ames (*See Attachment G: Landscape Plan for Outlots A & D, Village Park Subdivision*).

### **Building Design.**

The overall footprint of the proposed apartment building is approximately 64 feet by 69 feet. Minimum building front, side and rear yard setbacks are all met by the proposed placement of the apartment building on the lot. The detached garage structures are allowed to be as close as 3 feet to the rear property line. The site plan shows the garage structures 10.91 feet from the north property line (*See Attachment B: Major Site Development Plan*).

The 12-unit building is consistent with the maximum building size allowed in the FS-RM zoning district. The building is three stories in height. Four stories, or 50 feet, whichever is lower, is the maximum building height permitted for multiple-family dwellings in the FS-RM zone. Ten of the twelve apartment units have access to either a small patio or a balcony. The 2-bedroom units, on the second and third floors of the northeast corner of the building, do not have balconies. The apartment building design incorporates a 5/12 pitched gable roof design, and asphalt shingles.

Two primary exterior materials are proposed for the building. The majority of the first floor is to be surfaced with cultured stone, while the second and third floors, and the gables are primarily vinyl lap siding. Cultured stone will extend to the roof line on approximately one-third of the south façade, and to the top of the first floor level at the

primary entrance to the building. The primary (south) building entrance will include a 5/12 gabled roof above the entrance, as will also be a design feature above each of the decks on the second and third levels of the building. Decks will be constructed of treated lumber with aluminum guardrails, and supported by pillars of cultured stone. The two (6-stall) garage structures will have similar materials and design features with a band of cultured stoned at the bottom of each façade, vinyl lap siding on the remainder, metal overhead garage doors, and a gabled roof with asphalt shingles and a roof pitch of 6/12. The cultured stone is a dark brown color, and the vinyl lap siding is a lighter brown color with two different variations of tan shading. Each façade has some variation in wall plane to add interest and provide some relief in the architecture (See *Attachment C: Building Elevations & Attachment D: Garage Elevations*).

**Major Site Development Plan Criteria.** Additional criteria and standards for review of all Major Site Development Plans are found in Ames *Municipal Code* Section 29.1502(4)(d) and include the following requirements.

***When acting upon an application for a Major Site Development Plan approval, the Planning and Zoning Commission and the City Council shall rely upon generally accepted site planning criteria and design standards. These criteria and standards are necessary to fulfill the intent of the Zoning Ordinance, the Land Use Policy Plan, and are the minimum necessary to safeguard the public health, safety, aesthetics, and general welfare.***

- 1. The design of the proposed development shall make adequate provisions for surface and subsurface drainage to limit the rate of increased runoff of surface water to adjacent and downstream property.***

The Public Works Department has reviewed the storm water management plan and finds that the proposed development has met the required storm water quantity and quality measures by use of the proposed regional detention facilities on the southeast and northeast areas of the site.

- 2. The design of the proposed development shall make adequate provision for connection to water, sanitary sewer, electrical, and other utility lines within the capacity limits of those utility lines.***

The existing utilities were reviewed and found adequate to support the anticipated load of 12 dwelling units on this lot, comprising 20 bedrooms, consistent with prior determination at the time of rezoning and subdivision approval.

- 3. The design of the proposed development shall make adequate provision for fire protection through building placement, acceptable location of flammable materials, and other measures to ensure fire safety.***

The fire inspector has reviewed access and fire truck circulation, sprinkler, and hydrant requirements and found that the requirements of the Fire Department are met. The

subject site is also conditioned on provision of emergency access through Wessex to the north.

- 4. The design of the proposed development shall not increase the danger of erosion, flooding, landslide, or other endangerment to adjoining and surrounding property.***

It is not anticipated that this proposed development will be a danger due to its site location and proximity to other uses.

- 5. Natural topographic and landscape features of the site shall be incorporated into the development design.***

The site is currently devoid of any significant vegetation. Minimal grading will occur for the construction of the buildings. The site is relatively flat and grading will occur mostly to direct storm water where required.

- 6. The design of the interior vehicle and pedestrian circulation shall provide for convenient flow of vehicles and movement of pedestrians and shall prevent hazards to adjacent streets or property.***

Access to this site from Cottonwood Road is through one access point at the southeast corner of the property. Vehicular and pedestrian access is accommodated between the subject property, and other properties (buildings) within the Village Park subdivision. The on-site sidewalks, sidewalks in the public street right-of-ways, and shared use paths provide pathways throughout the site, and to external connections to allow for circulation throughout the community, and eventually within the Central Iowa region.

- 7. The design of outdoor parking areas, storage yards, trash and dumpster areas, and other exterior features shall be adequately landscaped or screened to minimize potential nuisance and impairment to the use of adjoining property.***

The general development standards of the zoning ordinance have been met for the screening of parking areas. Gates are needed on the trash enclosure to comply with the zoning ordinance standards for screening garbage collection areas. The enclosure standard requires full fenced screening with a gate to ensure the compliance with the standards. In this plan the design has a large opening for rollout of the dumpster with no gate to obscure or secure the dumpster. The apartment building provides a high degree of separation and screening of the parking and garages in the rear yard from adjoining views, and as viewed from Cottonwood Road.

- 8. The proposed development shall limit entrances and exits upon adjacent streets in order to prevent congestion on adjacent and surrounding streets and in order to provide for safe and orderly vehicle movement.***



A shared access is planned for the subject property (Lot 3), and the adjacent property to the easement (Lot 2), to minimized the number of curb cuts onto Cottonwood Road.

**9. Exterior lighting shall relate to the scale and location of the development in order to maintain adequate security, while preventing a nuisance or hardship to adjacent property or streets.**

Additional information is needed on the proposed exterior lighting, to determine compliance, prior to the occupancy of the apartment building. The proposed lighting must meet the lighting standards, found in Sec 29.411 of the *Municipal Code*.

**10. The proposed development shall ensure that dust and other forms of air pollution, noise disturbances, odor, glare, and other nuisances will be limited to acceptable levels as prescribed in other applicable State and City regulations.**

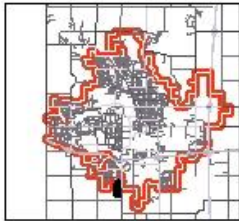
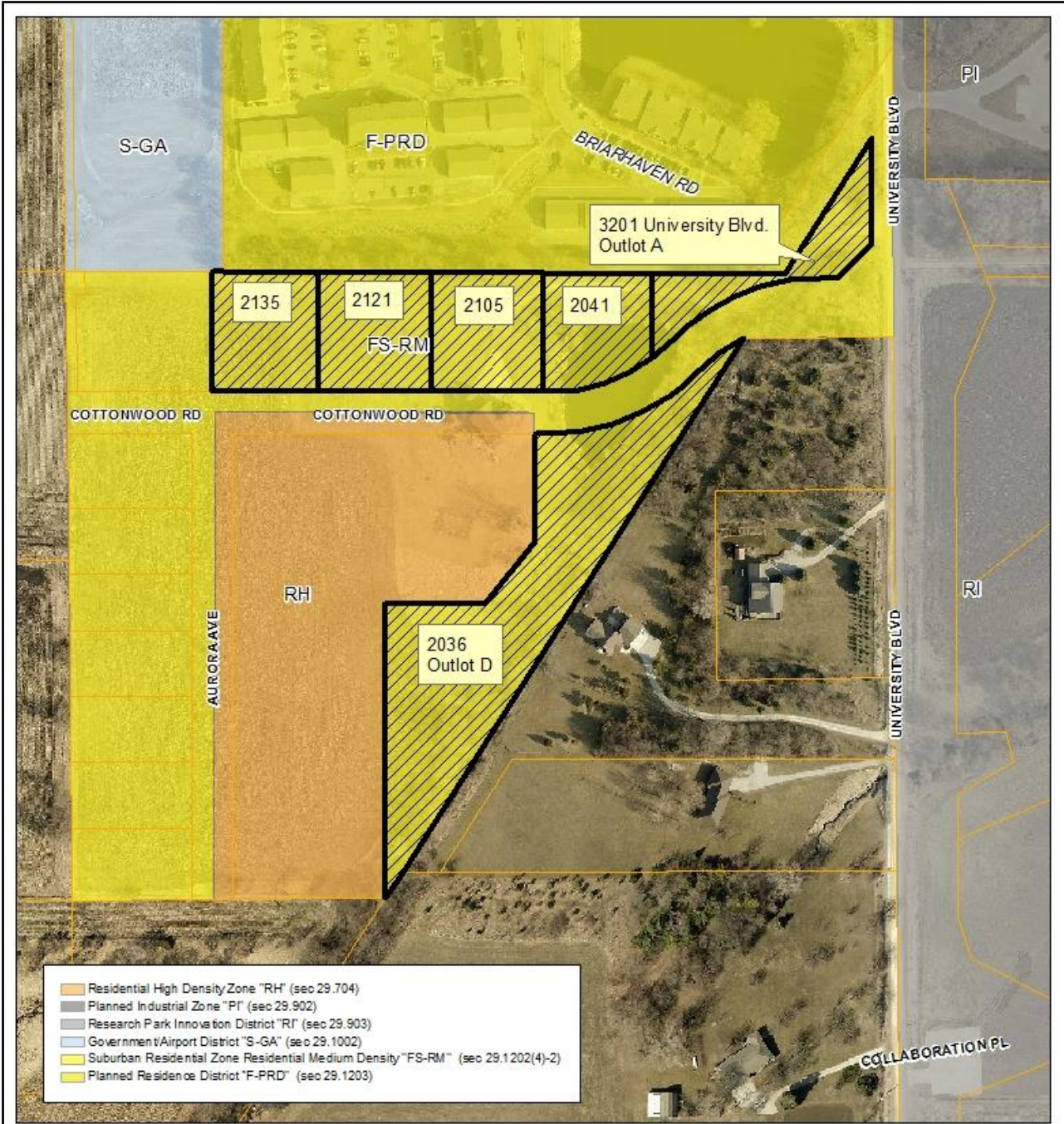
The proposed residential uses are not expected to exceed the level of nuisances, typical of this type of development, beyond acceptable levels, as prescribed in other applicable State and City regulations.

**11. Site coverage, building scale, setbacks, and open spaces shall be in proportion with the development property and with existing and planned development and structures, in adjacent and surrounding property.**

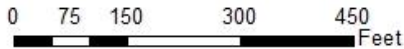
The scale of the proposed apartment building, in relation to the lot size, is appropriate, given minimum building setback requirements, landscaping requirements, and areas of the site planned for parking. The developer has proposed the maximum number of units (12) in a multiple family structure within the FS-RM zoning district. The density of development is well within the approximate densities found on the approved Master Plan for this subdivision, and the apartment appearance is compatible with the character and scale of the general surrounding with the proposed 36-unit apartment dwellings on the other side of Cottonwood Road, and the 24-unit and 36-unit buildings in the Wessex development adjacent to the north. Open areas and landscaped areas meet the quantitative standards of the zoning code and allow for informal activities by the future residents of this subdivision.

The Development Review Committee has reviewed the Major Site Development Plan and found that it complies with all other requirements of the Ames Municipal Code.

Attachment A: Location & Zoning Map



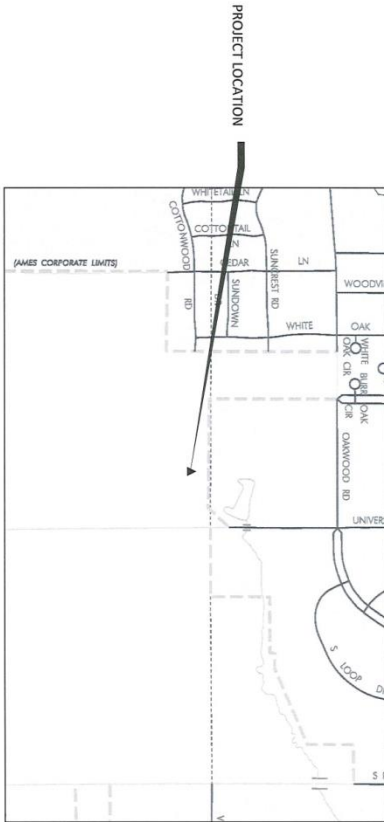
**Location & Zoning Map**  
**2036, 2041, 2105, 2121, 2135**  
**Oakwood Rd. & 3201 University Blvd.**



# Attachment B: Major Site Development Plan (Title Sheet)

**GOVERNING SPECIFICATIONS**  
 "UNIFORM URBAN SPECIFICATIONS FOR PUBLIC IMPROVEMENTS" AND "THE CITY OF AMES SUPPLEMENTAL SPECIFICATIONS" SHALL GOVERN.  
 IOWA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION" SHALL GOVERN.  
 SUPPLEMENTAL SPECIFICATIONS AND MATERIALS INSTRUCTIONAL MEMORANDA SHALL GOVERN AS REFERENCED.  
 ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS AND ORDINANCES WILL BE COMPLIED WITH IN THE CONSTRUCTION OF THIS PROJECT.  
 MATCO 2009 AS ADOPTED BY IOWA DEPARTMENT OF TRANSPORTATION.

## HUNZIKER DEVELOPMENT CO. CONSTRUCTION PLANS FOR **2121 COTTONWOOD ROAD** LOT 3 - VILLAGE PARK SUBDIVISION MAJOR SITE DEVELOPMENT PLANS SEPTEMBER 2016



NOTE: EXISTING UTILITY INFORMATION SHOWN ON THIS PLAN HAS BEEN PROVIDED BY THE UTILITY OWNER. THE ACCURACY OF THIS INFORMATION IS NOT GUARANTEED. TO COMMENCE CONSTRUCTION AS REQUIRED BY STATE LAW, NOTIFY IOWA ONE CALL 1-800-292-8989

THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS UTILITY QUALITY LEVEL WAS OBTAINED FROM A VISUAL SURFACE SURVEY AND WAS NOT OBTAINED THROUGH GROUND PENETRATING RADAR COLLECTION AND DETECTION OF EXISTING SUBSURFACE UTILITY DATA.

DATE	SHEET NUMBER	APPROVED BY	MODIFICATIONS

© Hunziker Development Co., 2016. All Rights Reserved. 2121 Cottonwood Road, Ames, IA 50010



OWNER  
 HUNZIKER DEVELOPMENT CO.  
 105 S. 10TH STREET  
 AMES, IA 50010

SHEET INDEX	
1	TITLE SHEET
2	GENERAL NOTES
3	GRADING & STORM SEWER
4	PARKING LAYOUT
5	UTILITIES
6	LANDSCAPING
7	LANDSCAPE DETAILS

OWNER:  
 HUNZIKER DEVELOPMENT COMPANY, LLC  
 105 S. 10TH STREET  
 AMES, IA 50010

APPLICANT:  
 HUNZIKER DEVELOPMENT COMPANY, LLC  
 105 S. 10TH STREET  
 AMES, IA 50010

PLAN PREPARED BY:  
 BOLTON & MENK, INC.  
 P.O. BOX 688  
 2121 COTTONWOOD STREET  
 AMES, IA 50010

LEGAL DESCRIPTION:  
 LOT 3 OF VILLAGE PARK SUBDIVISION, 1ST ADDITION TO THE CITY OF AMES, STORY COUNTY, IOWA.

ZONING DESIGNATION:  
 SUBURBAN RESIDENTIAL MEDIUM DENSITY (S-AM)

PROPOSED LAND USE:  
 APARTMENT BUILDINGS

MINIMUM BUILDING SETBACKS:  
 FRONT: 10 FT  
 REAR: 10 FT  
 SIDE LOT LINE: 10 FT (8 STORM)  
 REAR LOT LINE: 25 FT

**PRELIMINARY**

REGISTERED PROFESSIONAL ENGINEER  
 LICENSE NO. 1583  
 EXPIRES 12/31/2017

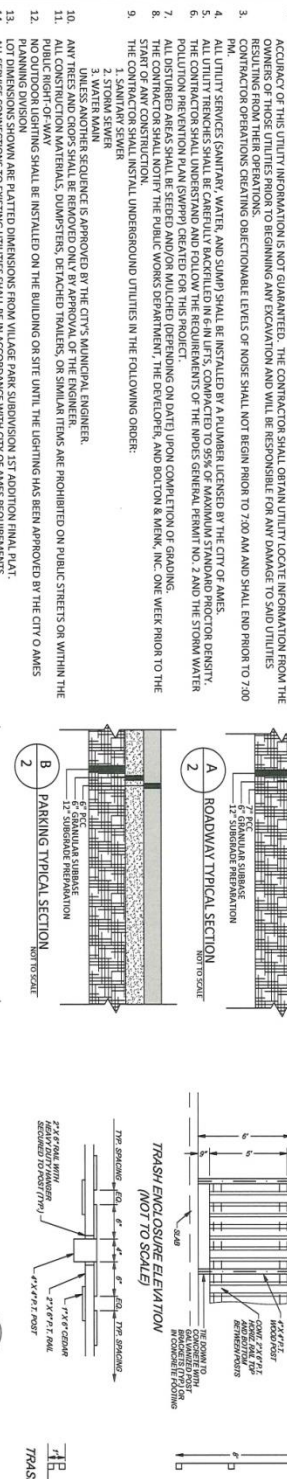
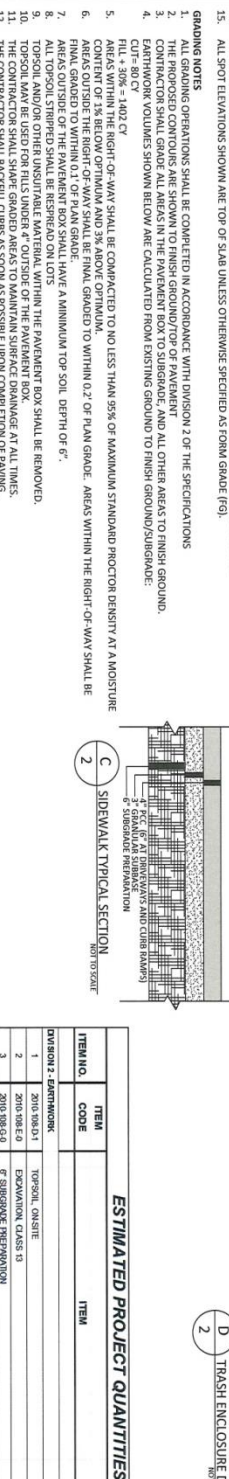
I HEREBY CERTIFY THAT THE INFORMATION CONTAINED ON THESE PLANS WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH ALL CITY, STATE AND FEDERAL REQUIREMENTS AND I AM NOT PROVIDING ENGINEERING SERVICES UNDER THE NAME OF THIS FIRM OR AS AN EMPLOYEE OF THIS FIRM.

DATE: DECEMBER 14, 2017  
 PROJECT OR SHEET COVERED BY THIS SEAL: 2121 COTTONWOOD ROAD, LOT 3

PROJECT NAME	HUNZIKER DEVELOPMENT CO.
ADDRESS	2121 COTTONWOOD ROAD
TITLE SHEET	TITLE SHEET
SHEET	1

# Attachment B: Major Site Development Plan (General Notes)

- GENERAL NOTES**
- ALL UTILITIES AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION, SERIES 2016 (WHERE NOTED ON PLANS), AND CITY OF AMES SUPPLEMENTAL SPECIFICATIONS.
  - THE PLANS SHOW APPROXIMATE LOCATIONS OF EXISTING UTILITIES LOCATED WITHIN THE LIMITS OF THE PROJECT. THE COMPLETENESS OR ACCURACY OF ANY INFORMATION IS NOT GUARANTEED. THE CONTRACTOR SHALL OBTAIN UTILITY LOCATE INFORMATION FROM THE OWNERS OF THOSE UTILITIES PRIOR TO BEGINNING ANY EXCAVATION AND WILL BE RESPONSIBLE FOR ANY DAMAGE TO SAID UTILITIES RESULTING FROM THEIR OPERATIONS.
  - CONTRACTOR OPERATIONS EXCEEDING OBJECTABLE LEVELS OF NOISE SHALL NOT BEGIN PRIOR TO 7:00 AM AND SHALL END PRIOR TO 7:00 PM.
  - ALL UTILITY SERVICES (GAS, WATER, AND SANITARY) SHALL BE INSTALLED BY A LICENSED LICENSED BY THE CITY OF AMES.
  - ALL UTILITY TRENCHES SHALL BE CAREFULLY BACKFILLED IN 6-IN. LFTS, COMPACTED TO 95% OF MAXIMUM STANDARD PROCTOR DENSITY. THE CONTRACTOR SHALL UNDERSTAND AND FOLLOW THE REQUIREMENTS OF THE MOHSI GENERAL PERMIT NO. 2 AND THE STORM WATER DISTURBED AREAS SHALL BE SEDED AND/OR MULCHED (DEPENDING ON DATE) UPON COMPLETION OF GRADING.
  - THE CONTRACTOR SHALL NOTIFY THE PUBLIC WORKS DEPARTMENT, THE DEVELOPER AND DOLTON & MENK, INC. ONE WEEK PRIOR TO THE START OF ANY CONSTRUCTION.
  - THE CONTRACTOR SHALL INSTALL UNDERGROUND UTILITIES IN THE FOLLOWING ORDER:
    - STORM SEWER
    - WATER MAIN
    - WATER MAIN
  - UNLESS ANOTHER SEQUENCE IS APPROVED BY THE CITY'S MUNICIPAL ENGINEER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND ALL OTHER AREAS TO REMAIN.
  - ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS, OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC RIGHT-OF-WAY.
  - NO OUTROOM LIGHTING SHALL BE INSTALLED ON THE BUILDING OR SITE UNTIL THE LIGHTING HAS BEEN APPROVED BY THE CITY OF AMES.
  - LOT DIMENSIONS SHOWN ARE PLATTED DIMENSIONS FROM VILLAGE PARK SUBDIVISION 1ST ADDITION FINAL PLAT.
  - ALL SERVICE CONNECTIONS TO EXISTING UTILITIES SHALL BE IN ACCORDANCE WITH CITY OF AMES REQUIREMENTS.
  - ALL SPOT ELEVATIONS SHOWN ARE TOP OF SLAB UNLESS OTHERWISE SPECIFIED AS FORM GRADE (FG).
- GRADING NOTES**
- ALL GRADING OPERATIONS SHALL BE COMPLETED IN ACCORDANCE WITH DIVISION 2 OF THE SPECIFICATIONS.
  - THE PROPOSED CONTOURS ARE SHOWN TO FINISH GROUND/TOP OF PAVEMENT.
  - CONTRACTOR SHALL GRADE ALL AREAS IN THE PAVEMENT BOX TO FORM GRADE AND ALL OTHER AREAS TO FINISH GROUND.
  - CUT = 80 CY  
FILL = 30% = 1402 CY
  - AREAS WITHIN THE RIGHT-OF-WAY SHALL BE COMPACTED TO NO LESS THAN 95% OF MAXIMUM STANDARD PROCTOR DENSITY AT A MOSTURE PERCENTAGE OF 2% ABOVE OPTIMUM PERCENTAGE.
  - AREAS OUTSIDE THE RIGHT-OF-WAY SHALL BE FINAL GRADED TO WITHIN 0.2' OF PLAN GRADE. AREAS WITHIN THE RIGHT-OF-WAY SHALL BE FINAL GRADED TO WITHIN 0.1' OF PLAN GRADE.
  - AREAS OUTSIDE OF THE PAVEMENT BOX SHALL HAVE A MINIMUM TOP SOIL DEPTH OF 6".
  - TOPSOIL AND/OR OTHER UNSUITABLE MATERIAL WITHIN THE PAVEMENT BOX SHALL BE REMOVED.
  - TOPSOIL MAY BE USED FOR FILL UNDER 4" OUTSIDE OF THE PAVEMENT BOX.
  - THE CONTRACTOR SHALL SHAPE GRADED AREAS TO MAINTAIN SURFACE DRAINAGE AT ALL TIMES.
  - THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN AND MAINTAIN POSITIVE DRAINAGE CONTROL PLAN LOCATED ON SITE.
  - TOPSOIL STRIPPING AND RESPAVING IS INCIDENTAL AND WILL NOT BE PAID FOR SEPARATELY.
  - GRADING INCLUDES FINAL GRADING FOR FUTURE STREETS AND LOTS AS SHOWN.
  - DEVELOPING (IF NECESSARY) CONTRACTOR'S RESPONSIBILITY AND SHALL BE CONSIDERED INCIDENTAL.
  - GRADING SHALL BE COMPLETED TO WITHIN 0.2' OF FINISH GRADE OUTSIDE OF THE PAVEMENT BOX SHALL HAVE A MINIMUM 6" TOPSOIL LAYER. NO ADDITIONAL PAVEMENT WILL BE MADE FOR TOPSOIL STRIPPING/RESPAVING.
- SANITARY SEWER NOTES**
- INSTALLATION SHALL BE COMPLETED IN ACCORDANCE WITH DIVISIONS 3, 4 AND 6 OF THE SPECIFICATIONS.
  - PRIOR TO INSTALLING PIPE, THE CONTRACTOR SHALL PLUG THE DOWNSTREAM CONNECTION POINTS AND LEAVE PLUGGED UNTIL NEW SEWER PIPE AND MANHOLE CASTINGS ARE IN PLACE. ALL WATER SHALL BE PUMPED OUT AND THE SEWER SHALL BE CLEAN BEFORE REMOVING PLUGS.
- WATER MAIN NOTES**
- WATER MAIN INSTALLATION SHALL BE COMPLETED IN ACCORDANCE WITH DIVISIONS 3 AND 5 OF THE SPECIFICATIONS.
  - 1.40CTS USED FOR CONNECTING WATER PIPE AND FITTINGS SHALL BE CON-BLUE, AS MANUFACTURED BY NCS INDUSTRIES, OR APPROVED EQUAL.
  - WATER VALVE BORES SHALL BE CAST IRON IN ACCORDANCE WITH SECTION 509 OF THE SPECIFICATIONS. OR TRENCH ADAPTOR (AS VALVE OPERATING NUT WITHIN 2 FEET OF PROPOSED GRADE).
  - METAL WATER MAIN FITTINGS AND METAL ACCESSORIES SHALL BE WRAHPED WITH 8 MIL POLYETHYLENE SHEETING AND SECURED WITH TAPE.
  - WATER MAIN SHALL BE INSTALLED WITH 5.5 FEET COVER (MINIMUM).
  - WATER MAINS SHALL BE CHROMIATED BY THE CONTRACTOR IN ACCORDANCE WITH CITY OF AMES REQUIREMENTS.
  - WATER MAIN VALVES SHALL BE OPERATED BY CITY OF AMES PERSONNEL ONLY.
- PAVING NOTES**
- PAVING SHALL BE COMPLETED IN ACCORDANCE WITH DIVISION 1 OF THE SPECIFICATIONS.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND ALL OTHER AREAS TO REMAIN.
  - POST-TENSION SHAPES SHALL BE CONSTRUCTED BY THE CURB AND GUTTER CONTRACTOR AND SHALL INCLUDE "DETECTABLE WARNING" TEXTURE.
  - ALL UTILITY FITTINGS (WATER VALVE BORES, MANHOLES, AND STORM SEWER INTRAKES) SHALL BE SET TO THEIR CORRESPONDING PAVEMENT ELEVATIONS.



**ESTIMATED PROJECT QUANTITIES**

ITEM NO.	ITEM CODE	ITEM	UNIT	TOTAL	AS BUILT QUANT
<b>DIVISION 2 - EXCAVATION</b>					
1	2010 000 0 0	TOPSOIL, ON-SITE	CY	302	
2	2010 000 0 0	EXCAVATION, CLASS 13	CY	1,402	
3	2010 000 0 0	6" GRANULAR PREPARATION	SV	407	
4	2010 000 0 0	6" SUBGRADE PREPARATION	SV	901	
5	2010 000 0 0	6" GRANULAR SUBBASE	SV	901	
6	2010 000 0 0	6" CONCRETE PAVEMENT	SV	407	
<b>DIVISION 4 - SEWER AND DRAIN</b>					
7	4010 000 0 0	4" DIA. 4" WATER SERVICE, 4" DIA. 4" DIA.	LF	38	
<b>DIVISION 6 - UTILITIES AND APPURTENANCES</b>					
8	5010 000 0 0	4" DIA. 4" WATER SERVICE, 2" DIA. 4" DIA.	LF	44	
9	5010 000 0 0	4" DIA. 4" WATER SERVICE, 4" DIA. 4" DIA.	LF	44	
<b>DIVISION 7 - STREET AND PAVED WORK</b>					
10	7010 000 0 0	4" DIA. 4" DIA. 4" DIA.	SV	405	
11	7010 000 0 0	4" DIA. 4" DIA. 4" DIA.	SV	407	
12	7010 000 0 0	4" DIA. 4" DIA. 4" DIA.	SV	300	
<b>DIVISION 8 - SITE WORK AND LANDSCAPING</b>					
13	8010 000 0 0	4" DIA. 4" DIA. 4" DIA.	SV	132.5	
14	8010 000 0 0	4" DIA. 4" DIA. 4" DIA.	LF	700.0	
15	8010 000 0 0	4" DIA. 4" DIA. 4" DIA.	SV	50.0	
<b>DIVISION 11 - MISCELLANEOUS</b>					
16	1100 000 0 0	4" DIA. 4" DIA. 4" DIA.	LF	1.0	
17	1100 000 0 0	4" DIA. 4" DIA. 4" DIA.	EA	479	
18	1100 000 0 0	4" DIA. 4" DIA. 4" DIA.	EA	1	

2121 COTTONWOOD ROAD  
HUNZIKER DEVELOPMENT CO.  
GENERAL NOTES

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GENERAL NOTES

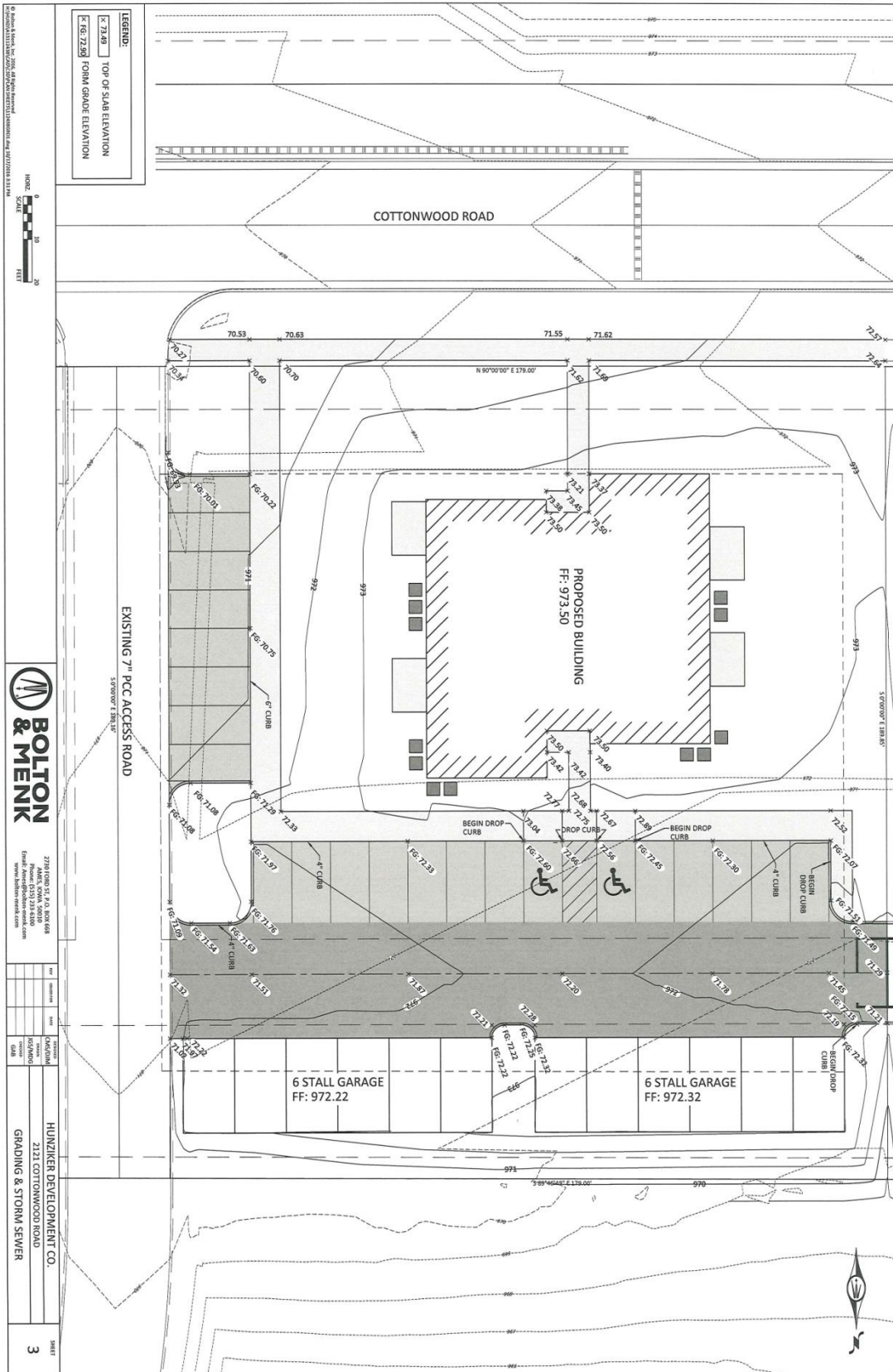
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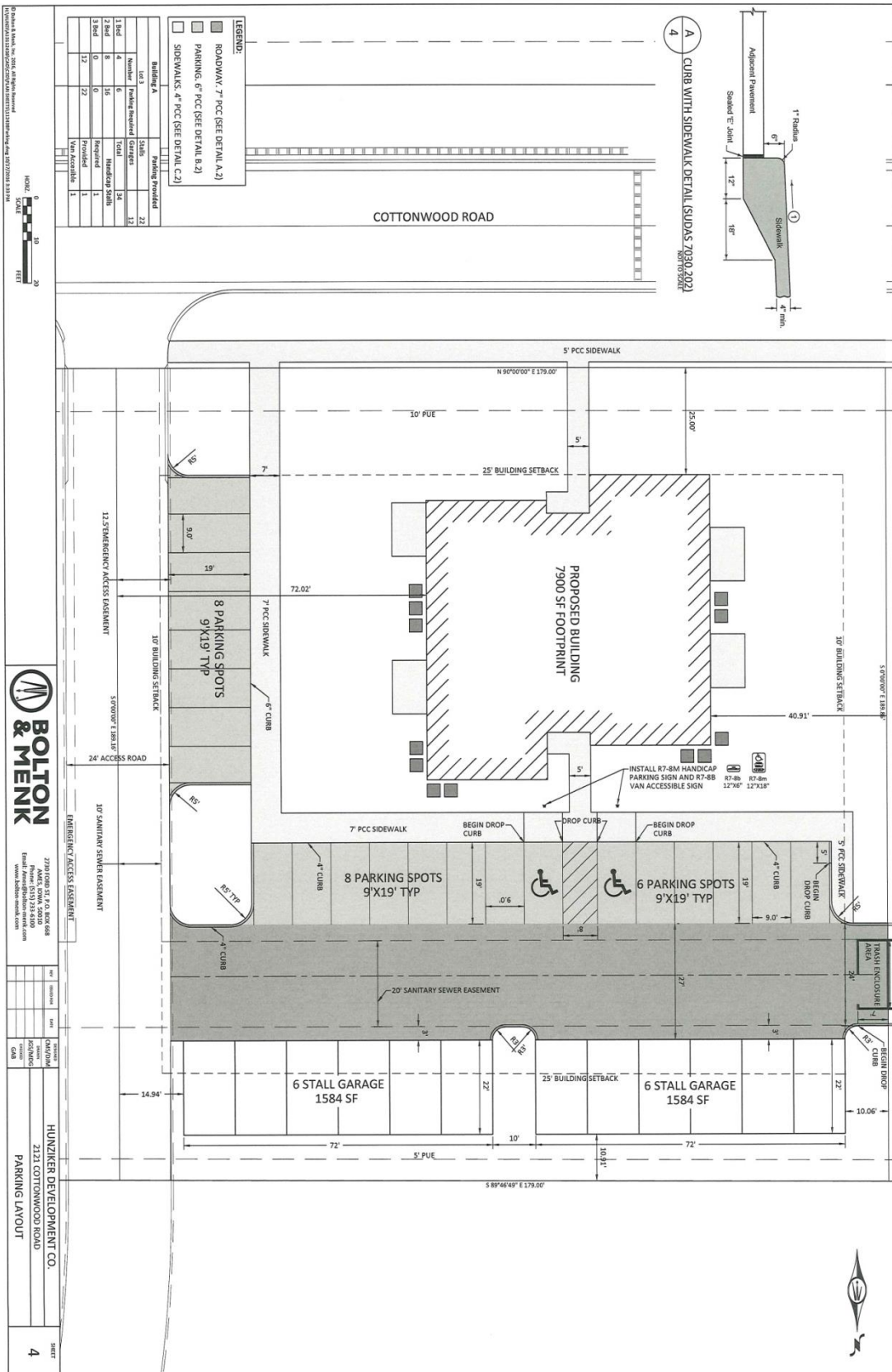
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GENERAL NOTES

2121 COTTONWOOD ROAD  
HUNZIKER DEVELOPMENT CO.  
GENERAL NOTES

**Attachment B: Major Site Development Plan (Grading & Storm Sewer)**

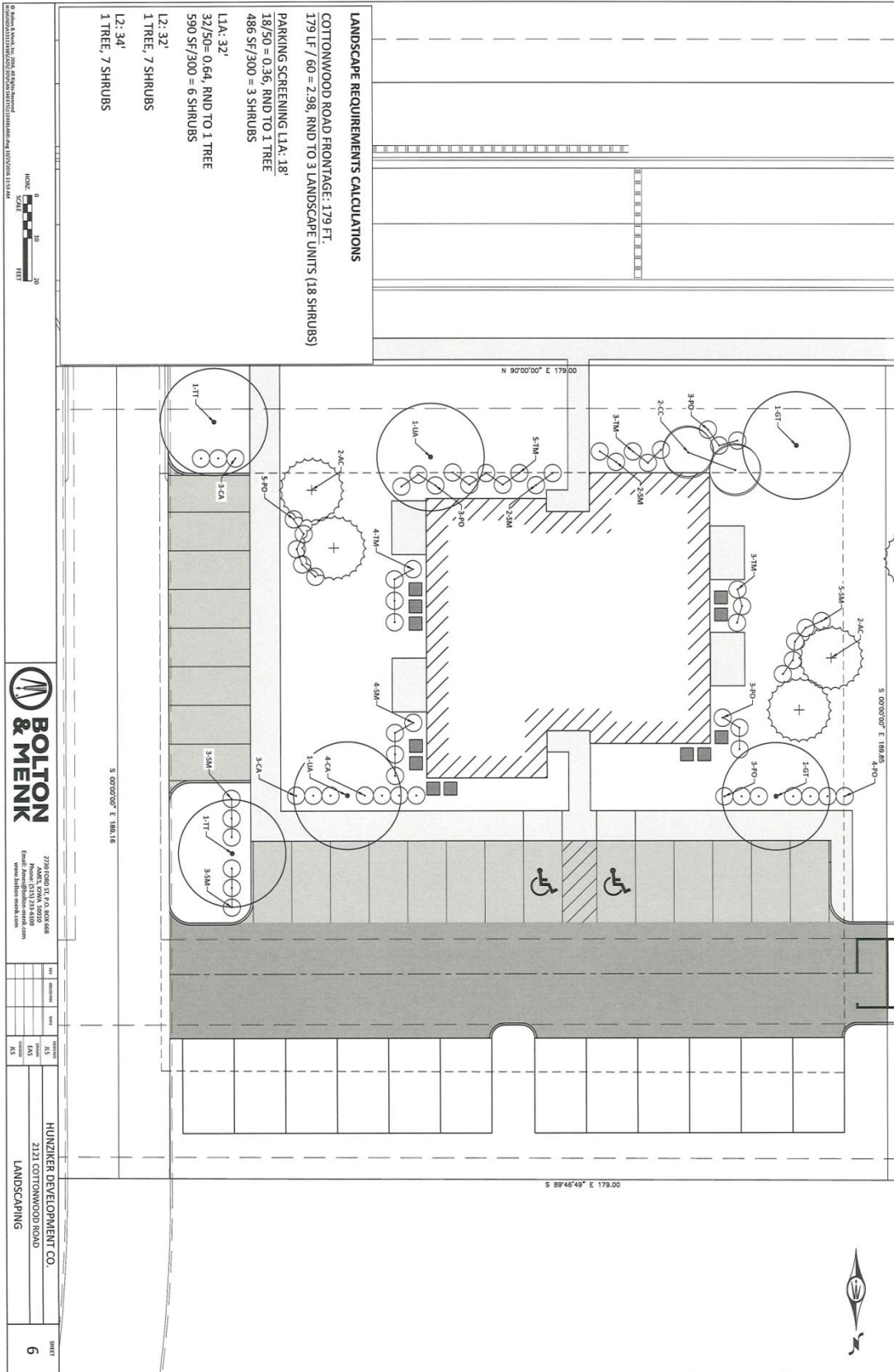


# Attachment B: Major Site Development Plan (Parking Layout)





# Attachment B: Major Site Development Plan (Landscaping)





# Attachment B: Major Site Development Plan (Landscape Details)

**MASTERS PLANT SCHEDULE - TREES & SHRUBS**

On-Site Schedule Name	Common Name	Unit Size	Spacing	Characteristics
<b>LOT 1 PLANT SCHEDULE</b>				
2.1T	Milli-ornamental	1A, 1.5" DBH	see plan	
2.1M	Ulmus americana 'Yuccifolius'	1A, 1.5" DBH	see plan	
2.1T	Quercus macrocarpa 'Imperial Spire®'	1A, 1.5" DBH	see plan	
2.1C	Empetrum & Vaccinium Trees	1A, 7" DBH	see plan	
4.C	Alnus incana	1A, 7" DBH	see plan	
<b>Shrub</b>				
13 CA	Cornus alba 'Variegata'	1A, 3.0" DBH	see plan	
13 SA	Syringa pubescens 'Sarda' 'White Mink'	1A, 3.0" DBH	see plan	
13 TB	Thuja occidentalis 'Smaragd' 'Emerald Green'	1A, 3.0" DBH	see plan	
15 TB	Taxus canadensis 'Pendulifolia'	1A, 3.0" DBH	see plan	

**GENERAL NOTES: LANDSCAPE PLANTING**

- MASTER PLANT SCHEDULE ALL TREES AND SHRUBS ARE LISTED IN THE MASTER PLANT SCHEDULE. IF THERE IS A CONFLICT BETWEEN THE MASTER PLANT SCHEDULE AND THE DRAWINGS AND THE QUANTITIES SHOWN IN THE PLAN SCHEDULE, THE PLAN QUANTITIES SHALL PREVAIL.
- PLANTING LAYOUT, STAKE ALL TREE LOCATIONS AND A TYPICAL SHRUB BED LAYOUT AND OBTAIN APPROVAL OF THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
- SHRUBS AND SHRUBS SHALL BE PLANTED AND MULCHED IN ONE CONTINUOUSLY MULCHED BED. TREES LOCATED IN TURF AREAS SHALL BE MULCHED TO 18 INCHES FROM TRUNK (FOR "DIA BINS") IN ALL DIRECTIONS AND DEPTH TO 3".
- MULCHING SOIL MIX AND SHRUBBED HARDWOOD MULCH SHALL BE INCIDENTAL TO THE PLANTING DETAILS AND SHALL BE INSTALLED AS PER SPECIFICATIONS.
- PLANT MATERIAL PROTECTIVE SCREENERING FOR THE MECHANICAL UNITS MUST BE AT LEAST 6" HIGHER THAN THE MECHANICAL UNITS AT THE TIME OF PLANTING.

**2 TREE PLANTING DETAIL**  
SCALE: N.T.S.

DO NOT CUT LEAVES

REMOVE TOP 1/2 OF WIRE BASKET FROM THE TRUNK & FILL BASKET WITH MULCH. REMOVE TOP 1" TO 2" ABOVE SURROUNDING FINISH GRADE

SOIL BASKET PER SPECIFICATIONS

4" MULCH DEPTH FULL BACK FROM TREE TRUNK

4" TREE TAP ON EXTERIOR

USE 3 GUY ASSEMBLIES FOR EXTERIOR

STEEL POST NOTCHED OR SHIMMED FOR SOIL WIRE

3" GUY ASSEMBLIES FOR EXTERIOR

3" GUY HEIGHT

4" POST HEIGHT

**5 PLANTING EDGE AT EXISTING CONC. WALK**  
SCALE: N.T.S.

1" BETWEEN TOP OF WALK AND TOP OF MULCH

PROVIDE 6" BETWEEN ARMORED SOIL EXCAVATION AND EXISTING WALK EDGE

3" DEPTH

PREPARED PLANTING BED SOIL

HARDWOOD MULCH

**1 PLANTING ON SLOPES**  
SCALE: N.T.S.

EXISTING GRADE

SOIL RIDGE TO HOLD WATER IN BASIN

SOIL BASKET PER SPECIFICATIONS

ON 2:1 SLOPES OR GREATER, DO NOT CONSTRUCT THE UPPER HALF OF THE WATERING BASIN

PROVIDE 3" DEEP SALICER AT EACH SHRUB

3" DEPTH MULCH AS SPECIFIED, KEEP MULCH CLOSE TO TRUNK

ARMOR BED AS SPECIFIED

2x ROOT BALL DIAMETER

0.5" SPACING PER PLANS

**6 TYPICAL SECTION: SHRUBBED EDGE**  
SCALE: N.T.S.

SHRUB/PERENNIAL BED

HARDWOOD MULCH

ADJACENT LAWN

SPRINKLER EDGE

SPRINKLER EDGE FILLED WITH MULCH

NOTES:  
SPRINKLER EDGE TO BE INCIDENTAL TO PLANT MATERIAL COST AND SHALL BE LISTED ON ALL PLANS  
SPRINKLER BEDS SHALL BE SHOWN NOTED ON PLANS

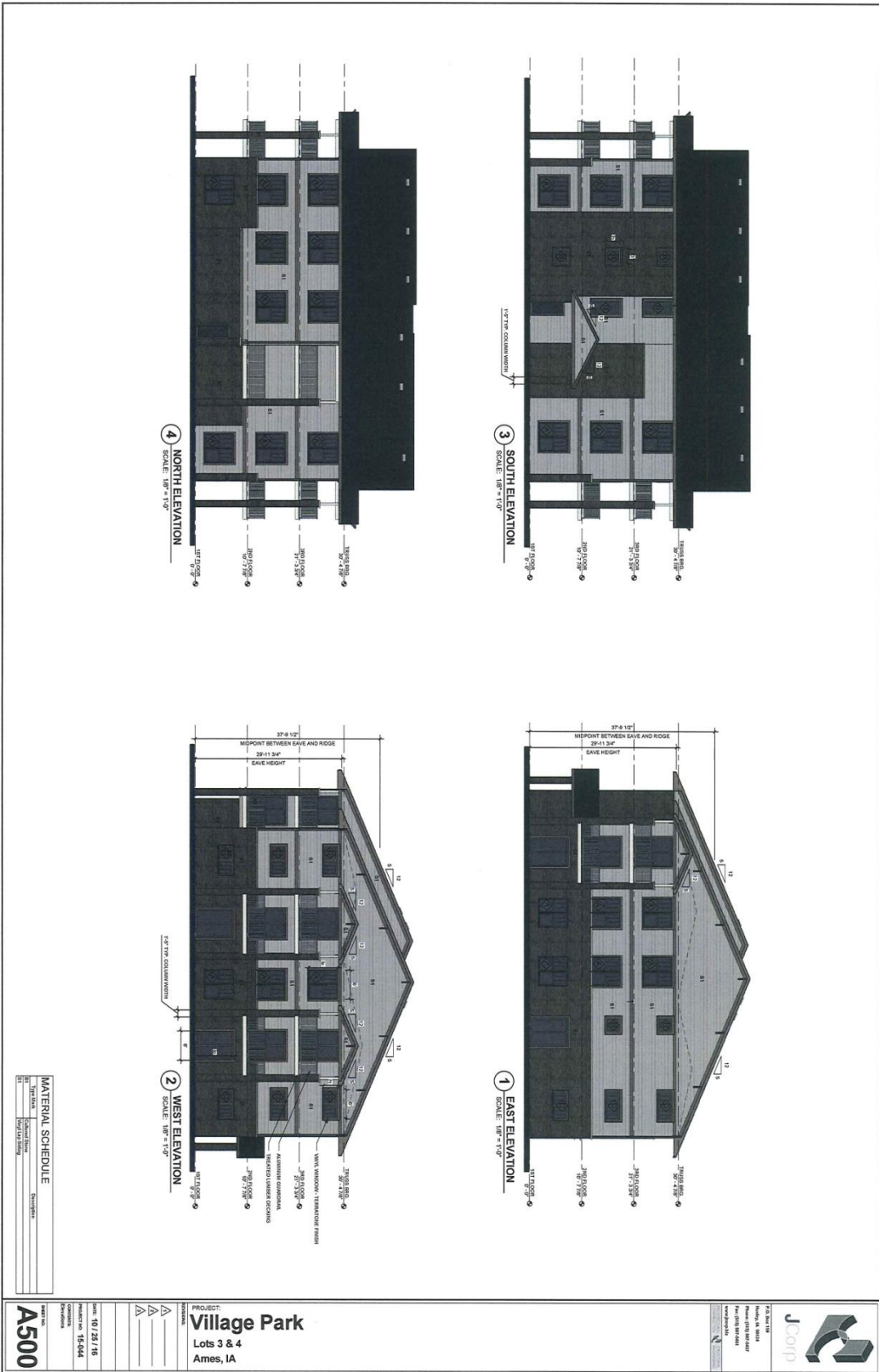
**BOLTON & MENK**

27390 ROAD 51, P.O. BOX 668  
MANKATO, MN 56001  
Phone: 507.333.3333  
Fax: 507.333.3333  
www.boltonandmenk.com

HUNZIKER DEVELOPMENT CO.  
2121 COTTONWOOD ROAD  
LANDSCAPE DETAILS

SHEET  
**7**

# Attachment C: Building Elevations



# Attachment D: Garage Elevations

**2 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

**4 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"

**3 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"

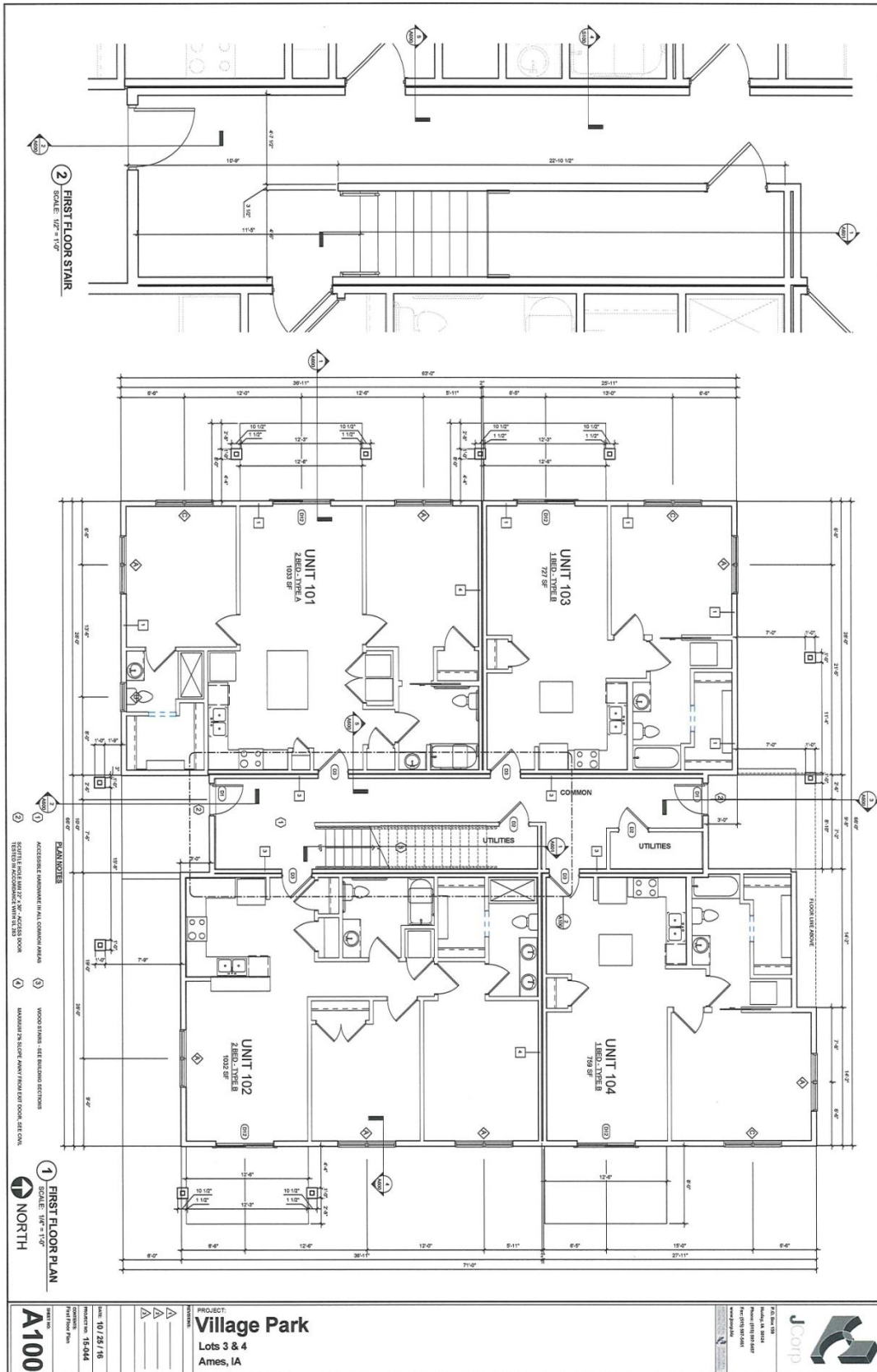
**1 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

MATERIAL SCHEDULE	
NO.	Description

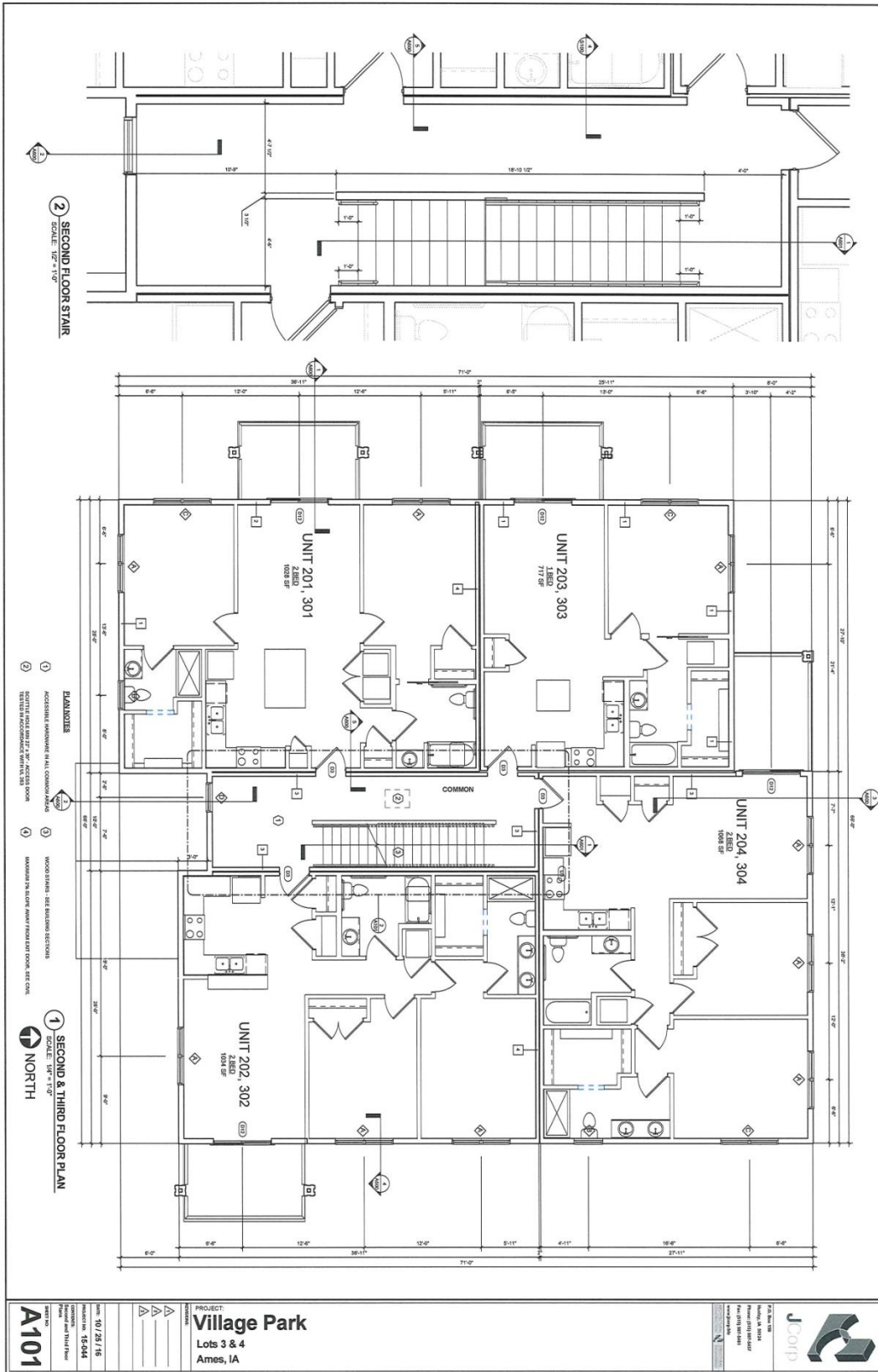
**PRELIMINARY- NOT FOR CONSTRUCTION**

<b>A5000</b>	DATE: 10/23/18	PROJECT: Village Park Garages	
	DRAWING NO: 18-044	LOTS: 3 & 4	

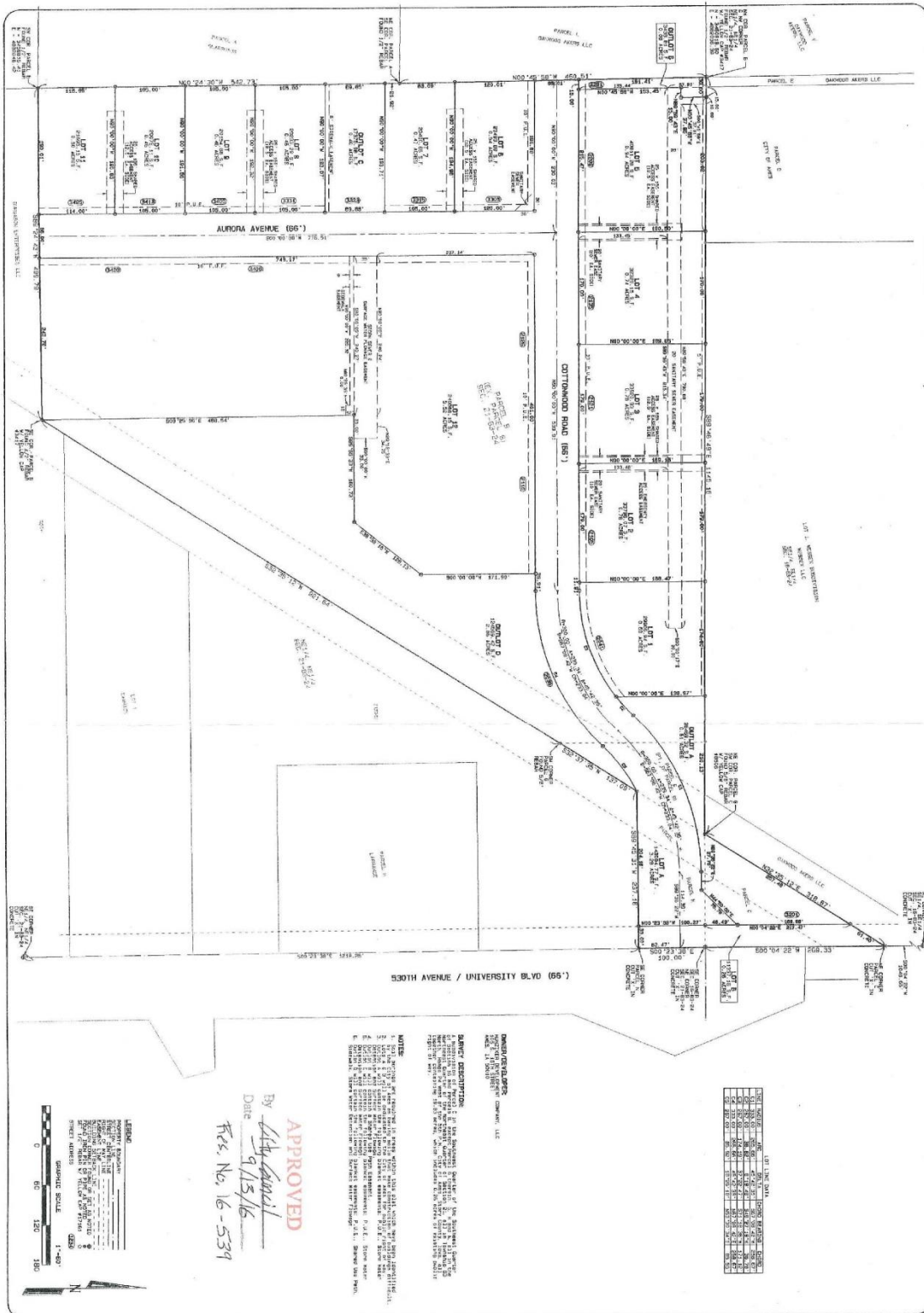
# Attachment E: Floor Plans (First Floor)



# Attachment E: Floor Plans (Second & Third Floor)



# Attachment F: Village Park Subdivision Final Plat



**LEGEND**

PROPERTY BOUNDARIES
EXISTING EASEMENTS
EXISTING UTILITIES
EXISTING CONCRETE DRIVEWAYS
EXISTING DRIVEWAYS
EXISTING SIDEWALKS
EXISTING CURBS
EXISTING STREETS
EXISTING ALLEYS
EXISTING FENCES
EXISTING UTILITIES
EXISTING CONCRETE DRIVEWAYS
EXISTING DRIVEWAYS
EXISTING SIDEWALKS
EXISTING CURBS
EXISTING STREETS
EXISTING ALLEYS
EXISTING FENCES

GRAPHIC SCALE 1"=40'

0 50 100 150

**APPROVED**

By *Andy Carroll*

Date *9/15/16*

Fax No. 16-539

**NOTES:**

1. THIS FINAL PLAT IS THE RESULT OF A SURVEY MADE BY STUMBO & ASSOCIATES LAND SURVEYING, INC. ON BEHALF OF THE SUBDIVIDER, PARCEL C IN THE SE1/4, SE1/4 OF SEC. 16-B3-24 5 PARCELS B, G, M & N IN THE NE1/4, NE1/4 OF SEC. 21-03-24, CITY OF AMES, STORY COUNTY, IOWA.
2. THE SUBDIVIDER HAS REVIEWED THIS FINAL PLAT AND HAS APPROVED IT AS ACCURATELY REPRESENTING THE SURVEY MADE BY STUMBO & ASSOCIATES LAND SURVEYING, INC.
3. THE SUBDIVIDER HAS REVIEWED THIS FINAL PLAT AND HAS APPROVED IT AS ACCURATELY REPRESENTING THE SURVEY MADE BY STUMBO & ASSOCIATES LAND SURVEYING, INC.
4. THE SUBDIVIDER HAS REVIEWED THIS FINAL PLAT AND HAS APPROVED IT AS ACCURATELY REPRESENTING THE SURVEY MADE BY STUMBO & ASSOCIATES LAND SURVEYING, INC.
5. THE SUBDIVIDER HAS REVIEWED THIS FINAL PLAT AND HAS APPROVED IT AS ACCURATELY REPRESENTING THE SURVEY MADE BY STUMBO & ASSOCIATES LAND SURVEYING, INC.

LOT	AREA (SQ. FT.)	AREA (AC.)
1	10,000	0.23
2	10,000	0.23
3	10,000	0.23
4	10,000	0.23
5	10,000	0.23
6	10,000	0.23
7	10,000	0.23
8	10,000	0.23
9	10,000	0.23
10	10,000	0.23
11	10,000	0.23
12	10,000	0.23
13	10,000	0.23
14	10,000	0.23
15	10,000	0.23

**STUMBO & ASSOCIATES**  
**LAND SURVEYING**  
 510 S. 17TH STREET, SUITE 102, AMES, IOWA 50010  
 PHONE 515-262-5369 FAX 515-263-4403

**FINAL PLAT**  
**VILLAGE PARK SUBDIVISION**  
 PARCEL C IN THE SE1/4, SE1/4 OF SEC. 16-B3-24  
 5 PARCELS B, G, M & N IN THE NE1/4, NE1/4 OF  
 SEC. 21-03-24, CITY OF AMES, STORY COUNTY, IOWA  
 JOB #16504FP DATE: 8/15/16 PAGE: 1 of 1

Certification: I hereby certify that this land surveying record was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Iowa.

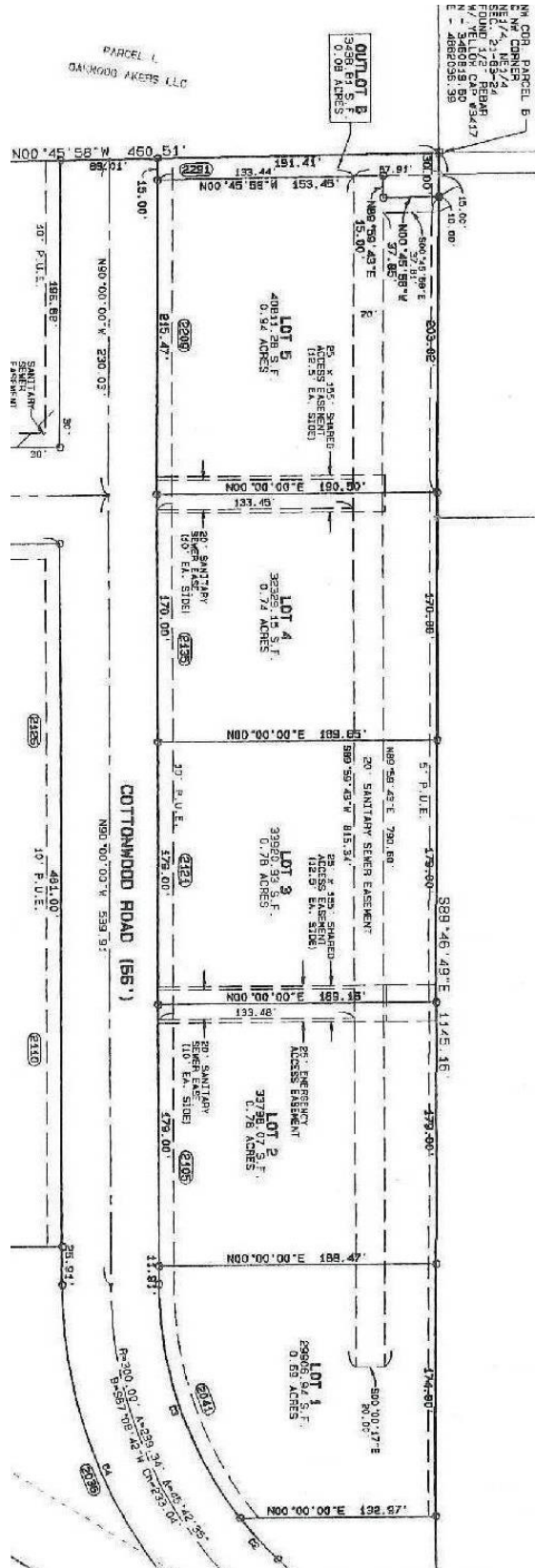
*P. R. Carroll* Date *8/15/16*

By: *P. R. Carroll* License #17161  
 My license renewal date is December 31, 2017

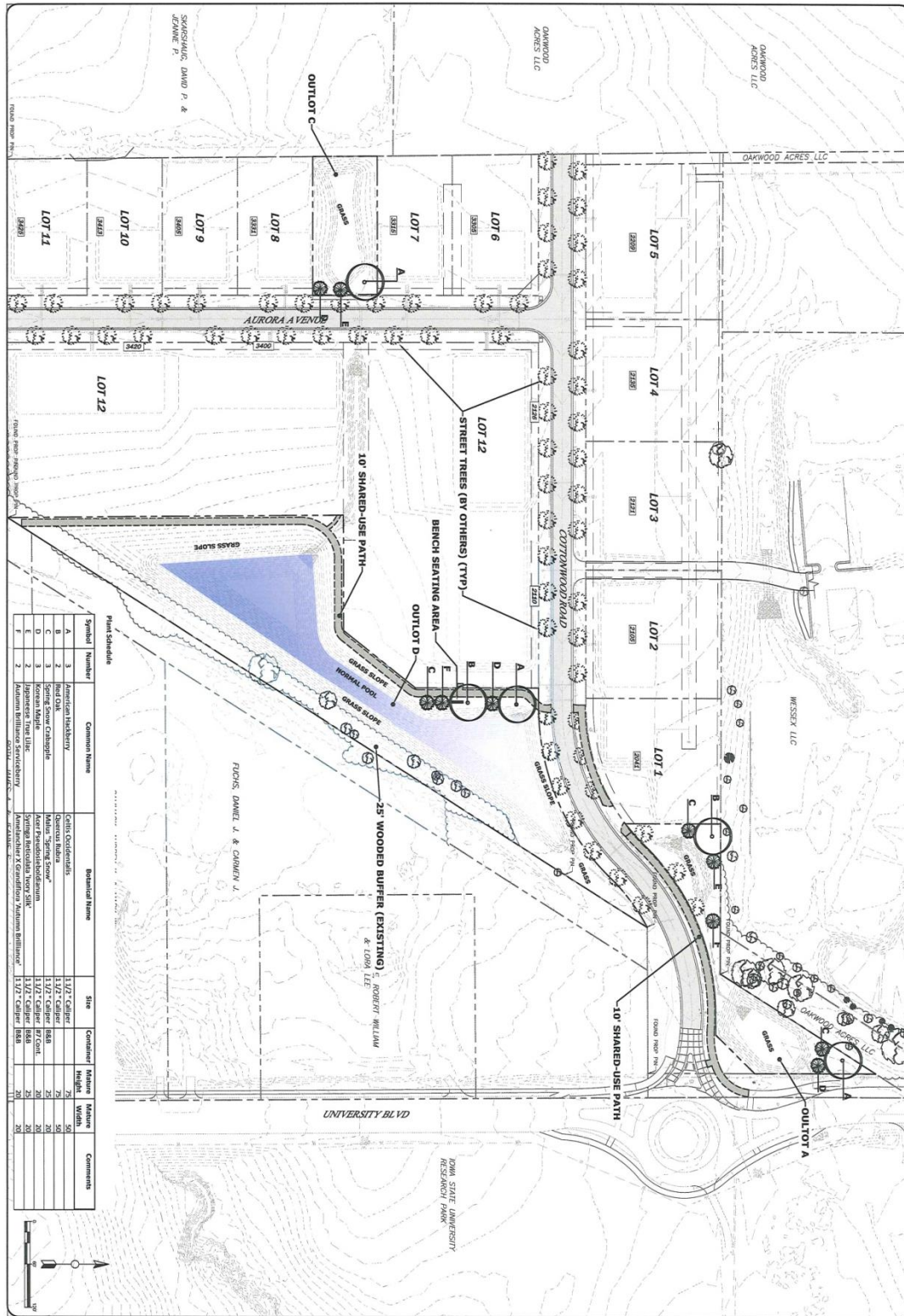
**17161**

STORY COUNTY IOWA

Attachment F: Village Park Subdivision (Lot 1, 2, 3, 4 & 5)



# Attachment G: Landscape Plan for Outlots A & D, Village Park Subdivision



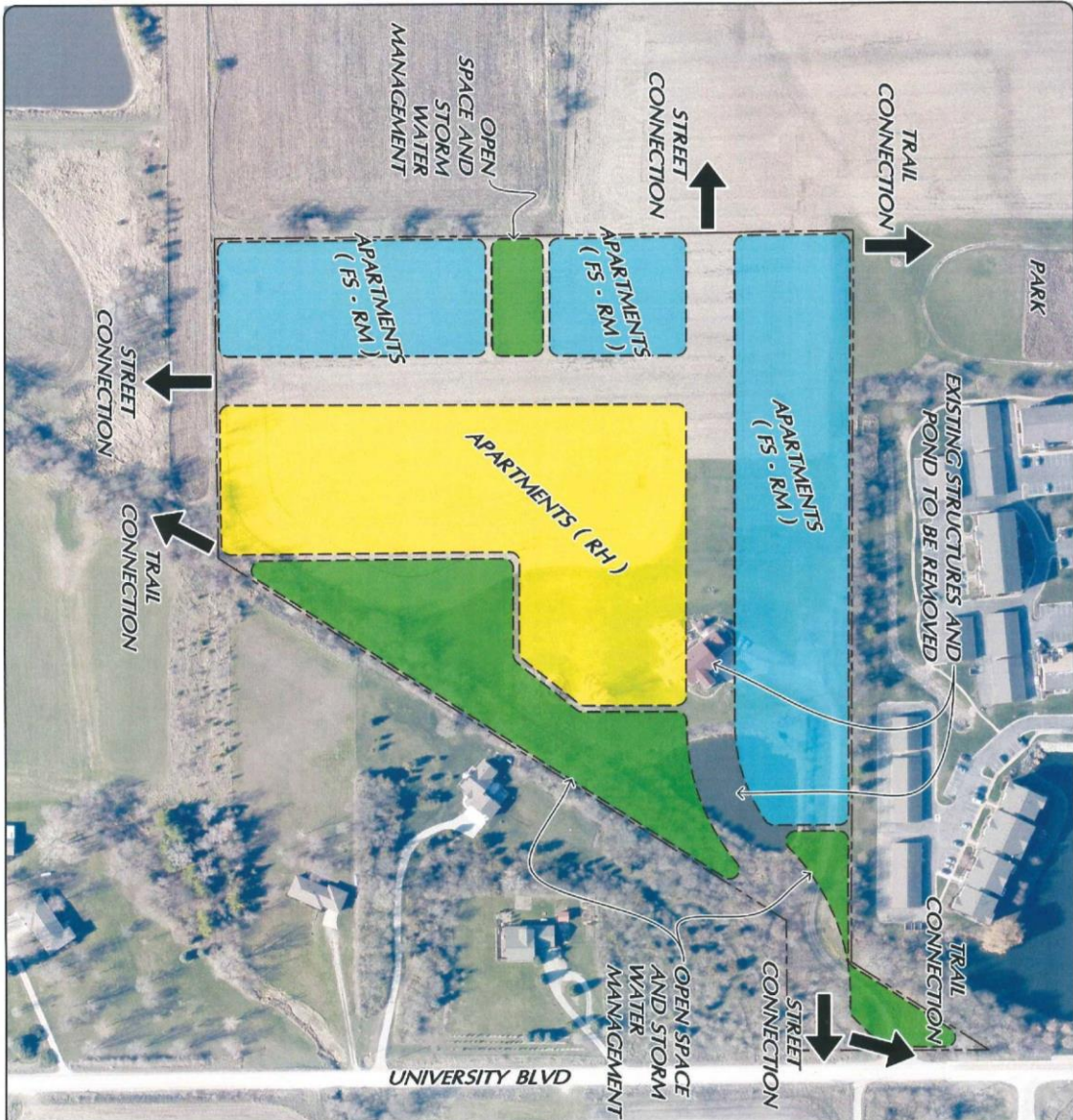
**LANDSCAPING PLAN**  
 VILLAGE PARK OUTLOTS A, C, & D  
 VILLAGE PARK SUBDIVISION  
 3201 UNIVERSITY, 3323 AURORA, & 2036 COTTONWOOD  
 AMES, IOWA

FOX Engineering Associates, Inc.  
 414 South 17th Street, Suite 107  
 Ames, Iowa 50010  
 Phone: (515) 233-0000  
 FAX: (515) 233-0103

DATE	REVISION	BY	DATE
10/23/14	REVISED PER SUBMITTAL REVIEW 10/23/14	BAW	10/14
		CHAM	10/14
		CHKD	
			LAST UPDATE: 10/23/14



# Attachment H: Master Plan for Village Park Subdivision



## VILLAGE PARK SUBDIVISION MASTER PLAN

OWNER / APPLICANT  
 HUNZIKER DEVELOPMENT CO. LLC  
 105 S. 16TH STREET  
 SUITE A  
 AMES, IA 50010

PREPARED BY  
 FOX ENGINEERING  
 414 S. 14TH STREET  
 SUITE 107  
 AMES, IA 50010

ZONING  
 EXISTING - AGRICULTURAL (A1)  
 PROPOSED - RESIDENTIAL MEDIUM DENSITY (FS-RM)  
 AND RESIDENTIAL HIGH DENSITY (RH)  
 AS SHOWN

LEGAL DESCRIPTION  
 PARCEL C IN SECTION 16, T83N, R24W; AND PARCELS B, G, M,  
 AND N IN SECTION 21, T83N, R24W; ALL IN THE CITY OF AMES,  
 STORY COUNTY, IOWA

### RESIDENTIAL USE SUMMARY

	APPROX NET AREA (AC)	APPROX # OF UNITS	APPROX DENSITY
APARTMENTS (FS-RM)	7.2	100 - 120	13 - 17
APARTMENTS (RH)*	5.5	135 - 155	25 - 28

\* NOTE: BUILDINGS IN RH WILL BE LIMITED TO 3 STORIES AND 36 UNITS PER BUILDING



DATE	REVISION	BY	DATE
		SKR	03/15/15
		SKS	03/16/15
		CHK	
		LAST UPDATE:	03/15/15

FOX Engineering Associates, Inc.  
 414 South 17th Street, Suite 107  
 Ames, Iowa 50010  
 Phone: (515) 233-0000  
 FAX: (515) 233-0103

MASTER PLAN  
 VILLAGE PARK SUBDIVISION  
 HUNZIKER DEVELOPMENT CO.  
 AMES, IOWA

SHEET  
 50001-134  
 1 OF 1

**COUNCIL ACTION FORM**

**REQUEST: MAJOR SITE DEVELOPMENT PLAN FOR 2135 COTTONWOOD ROAD**

**BACKGROUND:**

Hunziker Development Company, LLC is requesting approval of a Major Site Development Plan for a 12-unit apartment building on the property located at 2135 Cottonwood Road, (Lot 4 of Village Park Subdivision). Lot 4 includes 32,329.15 square feet (0.74 acres), and is zoned as "FS-RM" (Suburban Residential Medium Density), (See Attachment A: Location & Zoning Map & Attachment B: Major Site Development Plan.) The site is located west of University Boulevard, across from the Iowa State University Research Park, and south of the Wessex apartment complex. Land to the west and south of the Village Park Subdivision is outside the Ames corporate limits, in rural Story County. The overall layout of the Village Park Subdivision, including open space landscaping for the Outlots, is shown on Attachment G.

A three-story, 12-unit, apartment building is proposed, including four (1-bedroom units), and eight (2-bedroom) units for a total of twenty bedrooms, with an average of 1.67 bedrooms per unit (See Attachment E: Floor Plans). Development of the property is required to be consistent with the rezoning Master Plan agreement for the property. The Master Plan for this property, originally identified as 3535 S. 530<sup>th</sup> Avenue (Village Park Subdivision), includes FS-RM and RH (Residential High Density). The Final Plat for Village Park Subdivision includes eleven lots for development in the FS-RM zone, and one lot for development in the "RH" (Residential High Density) zone (See Attachment F: Village Park Subdivision Final Plat). Approximately 100 to 120 units, and an approximate density of 13 to 17 units per acre is shown on the approved Master Plan (See Attachment H: Master Plan for Village Park Subdivision) for the FS-RM areas of the Master Plan.

The FS-RM lots are planned for a single 12-unit, three-story, apartment building on Lots 1, 2, 3 and 4, and a 12-unit, two-story apartment building on Lot 5. One 8-unit, two-story building is planned for each lot along the west perimeter of the subdivision, on Lots 6 through 11. Apartment buildings in the RH portion of the subdivision, will be located south of Cottonwood Road and east of Aurora Avenue, and are planned to include four, 36-unit buildings, three stories in height. The RH apartment buildings require City staff approval of Minor Site Development Plans for development of the entire 5.52-acre site (Lot 12).

The proposed development of 12-unit apartment buildings, along the north side of Cottonwood Road, follow a pattern and orientation that features the buildings facing the street, with surface parking along one side of the building, and behind the building in the rear yard, and garages along the north property line of each lot. The front door of the building faces Cottonwood. The proposed development on this particular lot, includes two garage buildings along the north property line, with six parking stalls in each garage building. Surface parking spaces are located along the west property line, and behind

the apartment building. The parking spaces behind the building share an access aisle with the garage parking stalls. Access to the site for parking is a shared access easement centered on the property line between Lot 4 (2135 Cottonwood Road), and Lot 5 (2209 Cottonwood Road). Notably, due to the temporary deadend status of Cottonwood, the developer is responsible for secondary emergency vehicle accessway that is to connect north through the existing Wessex apartments on Lot 3 that abuts this site to the east and there is condition for its construction related to the apartment development.

The proposed design is for 3-story buildings with gabled roofs. The individual units are accessed from an internal corridor with an exit to the front and rear of the building. Exterior building materials include primarily vinyl lap siding on the second and third stories, and in the gables facing east and west. Cultured stone veneer is limited to the first floor level, except for the south façade where the cultured stone material extends to the roofline in one area, and a point between the second and third stories in another area of the south facade. The primary entry to the building, facing the street is also covered with the cultured stone veneer. Each façade includes a cultured stone veneer element to provide design continuity and interest on all facades. Cultured stone pillars support the decks and roofs above the decks, and above the primary entry to the building. Each deck will be constructed with treated lumber decking and aluminum guardrails. Sliding glass doors will provide access to the decks and patios outside the apartment units. *(See Attachment C: Building Elevations).*

The FS-RM zone includes requirements for common open space that consists of a minimum of 10% of the overall FS-RM area in a development. The common open space that serves the tenants of the proposed apartment building, and all lots in the FS-RM portion of Village Park Subdivision, is located within Outlets. Outlots A and D *(See Attachment D: Final Plat for Village Park Subdivision & Attachment G: Open Space Landscape Plan)*. Outlot D includes a 10-foot wide shared use path along the edge of the outlot. The shared use path for Outlot A is located in the right-of-way for Cottonwood Road. Ponds for storm water treatment and detention are located in both outlots. A 25-foot wide existing wooded buffer follows the majority of the southeast boundary of Outlot D along the eastern edge of the detention pond. The open space has essentially been design to accommodate stormwater detention. *(See Landscape Plan for Outlots A & D)*. Landscape Plans for Outlots A and D will be considered by the City Council, as a separate agenda item.

Landscaping is provided to meet front yard apartment foundation and parking lots screening requirements. The developer has proposed parking lot landscaping as a combination of L1 and L2 parking lots screening elements. No landscaping has been proposed or required along the north property line behind the proposed garages due to existing landscaping along the Wessex development. There is potential for an open area on the east side of the building to blend into open area of the apartment proposed to the on Lot 4 to create a relatively flat space for informal use by residents.

Off-street parking has been provided to meet the minimum parking requirements for apartment dwellings in the FS-RM zone. Access is shared with the adjoining property as required with the subdivision plat.

Further details on the overall plans are found in the Addendum of this report.

At its meeting on November 2, 2016, the Planning and Zoning Commission reviewed the proposed Major Site Development Plan, and discussed site layout, open space access, landscaping configurations, and design of the project. There were no comments from the applicant, or the public. By a vote of 5-0, the Commission recommended approval of the Site Plan with the following conditions, as recommended by staff:

- A. That the landscaping, and site improvements, as shown on the Landscape Plan for Outlots A & D, be installed, prior to occupancy of the first FS-RM apartment building in the Village Park Subdivision;
- B. Prior to approval of the Major Site Development Plan by the City Council, a Minor Amendment to the Planned Residence District Plan for the Wessex Apartment Development, to include the temporary emergency vehicle access, must be approved by City staff;
- C. Prior to occupancy of the first FS-RM apartment building in the Village Park Subdivision, construction of a temporary emergency vehicle access to the Village Park Subdivision must be constructed to the specification of the Fire Department with a minimum capability of accommodating vehicles with a gross vehicle weight of up to 80,000 pounds;
- D. Prior to consideration by the City Council, gates must be added to the Major Site Development Plan, for screening of the garbage collection areas, in order to meet the requirements of Section 29.408(3) of the *Municipal Code*.
- E. Prior to occupancy of the apartment building at 2135 Cottonwood Road, shrubs used as screening for mechanical units must be installed to meet zoning standards at a minimum height that is six inches higher (at the time of planting) than the mechanical equipment the shrubs are screening.
- F. Compliance of all exterior lighting, with the Outdoor Lighting Code, Section 29.411 of the *Municipal Code*, and approval by the Planning & Housing Department, is required prior to occupancy.
- G. Six additional shrubs are required to meet the landscaping requirements for the front yard of apartment buildings in the FS-RM zone.

**Since the Planning and Zoning Commission meeting, staff has approved the Minor Amendment to the Planned Residence District Plan for the Wessex apartment development (Condition “B”), and the applicant has made revisions to the plan to address outdoor lighting code compliance. Staff and the developer have finalized trash enclosure options. No lighting is proposed at this time. The recommended conditions have been updated to reflect recent work with staff. The Developer is in agreement with the overall set of conditions and will finalize their plan sets upon approval by City Council.**

## **ALTERNATIVES:**

1. The City Council can approve the Major Site Development Plan for the proposed 12-unit apartment building, located at 2135 Cottonwood Road, as proposed, with the following condition:
  - A. That the landscaping, and site improvements, as shown on the Landscape Plan for Outlots A & D, be installed, prior to occupancy of the first FS-RM apartment building in the Village Park Subdivision;
  - B. Prior to occupancy of the first FS-RM apartment building in the Village Park Subdivision, construction of a temporary emergency vehicle access to the Village Park Subdivision must be constructed to the specification of the Fire Department with a minimum capability of accommodating vehicles with a gross vehicle weight of up to 80,000 pounds;
  - C. The landscape plan shall include revisions necessary to specify plantings appropriate in size equal to the height of the mechanical equipment to ensure the compliance with the zoning ordinance screening requirements.
  - D. The landscape plan shall include revisions for six additional shrubs to meet the landscaping requirements for the front yard of apartment buildings in the FS-RM zone.
2. The City Council can approve the Major Site Development Plan for the proposed 12-unit apartment building, located at 2135 Cottonwood Road, with modifications.
3. The City Council can deny the Major Site Development Plan for the proposed 12-unit apartment building, if it finds the project does not meet the Major site Development Plan criteria.
4. Action on this request can be postponed and referred back to City staff and/or the applicant for additional information.

## **MANAGER'S RECOMMENDED ACTION:**

The Major Site Development Plan review is to determine conformance with development standards, and appropriate arrangement and design of the use of the site. FS-RM zoning is intended to implement the LUPP vision of landscaped suburban style development that provides for desirable apartment housing choices. The proposed development project is consistent with the Master Plan for use limitations and meets a community interest for providing apartment types of various floor plans from one to two bedrooms that will have wide appeal. The specific criteria for site development plan approval are discussed in greater detail in the addendum.

The proposed building is one of multiple small apartment building sites that will be developed in the Village Park subdivision as separate sites. At the time the Master Plan and subdivision were approved the primary discussion was on how to situate the smaller apartment buildings around the perimeter of the site and to buffer the central RH apartment building site from the homeowners to along University Boulevard to the east. The other major issues were the provision of open space and the extension of the trail

to the south and the configuration of Cottonwood as a street that will eventually extend west and connect to the Ringgenberg Subdivision as residential collector street. The intent for development of the area was to provide for apartments design to be desirable to working professionals and ideally to support employment in the ISU Research Park that is immediately east of the area.

The proposed building design is consistent with the common expectations of apartment homes marketed above an entry level product in that it includes some covered parking and private spaces for individual and the units are sized for smaller living situations. As a small site there is not unique amenities or characteristics to the project that have been included with recent FS-RM approvals on Mortenson or commitments for amenities on larger RH sites on South Duff.

The architectural appearance is similar to other designs that have been developed in Ames and Ankeny. The building design has a traditional apartment aesthetic in terms of exterior materials and architectural features. The overall massing of the proposed apartment buildings in this location is significantly smaller than the 36-unit apartment buildings proposed across the street in the RH zone portion of Village Park, and also smaller in scale than the 24-unit and 36-unit apartment buildings, close to this site, in the Wessex development to the north. Staff has worked with the applicant to provide landscaping on-site to meet front yard, and perimeter parking lot landscaping requirements. The arrangement of the site has a residential appearance and with the required street trees and apartment foundation plantings the development of all the sites along Cottonwood will create a substantially landscaped corridor.

**Therefore, it is the City Manager's recommendation that the City Council adopt Alternative #1, approving the Major Site Development Plan for the proposed 12-unit apartment building, located at 2135 Cottonwood Road, as proposed, with the conditions stated above.**

## **ADDENDUM**

**Project Description.** Hunziker Development Company, LLC is requesting approval of a Major Site Development Plan for a 12-unit apartment building on the property located at 2135 Cottonwood Road, (Lot 4 of Village Park Subdivision). Lot 4 includes 32,329.15 square feet (0.74 acres), is zoned as “FS-RM” (Suburban Residential Medium Density), and will have a public sidewalk (5 feet wide) for the entire frontage of the lot along Cottonwood Road (See *Attachment A: Location & Zoning Map & Attachment F: Village Park Subdivision Final Plat*).

Density limitations in the FS-RM zone requires 7,000 square feet for the first two units, and 1,800 square feet for each additional unit. This lot could accommodate 16 dwelling units, provided all other site plan requirements are met. The FS-RM zone allows a maximum of 12 units in each building, which is what is proposed for the entire lot. The proposed density of 12 units on 0.74 acres is the equivalent of 16 dwelling units per acre, which is within the density range on the approved Master Plan for Village Park Subdivision (See *Attachment H: Village Park Subdivision Master Plan*). The proposed 12-unit building consists of four (1-bedroom units), and eight (2-bedroom units), for a total of twenty bedrooms in the entire building.

### **Parking.**

The Zoning regulations require a minimum of one parking space per bedroom for units of two bedrooms, or more, and one and one half parking spaces for one-bedroom units. The minimum number of parking spaces required for this site is twenty-two spaces. The developer is proposing a total of 33 parking spaces, including two handicap-accessible spaces and twelve garage stalls. Off-street parking on the site is configured as five standard (9’x19’) surface parking spaces in the side yard, west of the building, plus two van-accessible handicap spaces, as required, and fourteen standard surface parking spaces, in the rear yard behind the building. Across the drive aisle from the surface parking spaces in the rear yard, are two (6-stall) garages approximately 11.58 feet from the north property line, and running parallel to the north perimeter of the site. The parking spaces, and garage stalls, are served by a single access from Cottonwood Road, centered on the property line that separates Lots 4 and 5 in a 25-foot wide access easement. The shared access between Lots 4 and 5, must be paved at a minimum width of 24 feet, to serve Lot 4, even though development of Lot 5 is not proposed at this time. In addition, the required perimeter parking lot landscaping along the west edge of the drive aisle on Lot 5, must be included on the Landscape Plan to meet minimum landscape requirements (See *Attachment B: Master Plan, Parking Layout & Landscaping Sheets*). At the time Lot 5 is developed, the landscaping along the drive aisle may be modified on Lot 5.

### **Layout.**

The building footprint of the apartment building occupies 4,205 square feet of the site. Garages footprints cover 3,168 square feet, and the parking spaces, driveways, drive aisles, and sidewalks cover an additional 12,024.49 square feet for a total of 19,397.49 square feet of the site covered by impervious surfaces, which is 60% of the total site area. The remainder of the lot is landscaped area, which amounts to 40% of the total site.

In addition, the minimum requirement of 10% of the gross area of the subdivision to be devoted to common open space, for development in the FS-RL, or FS-RM zones, is accounted for in Outlots A and D, of Village Park Subdivision. The Village Park Subdivision includes 19.83 acres (863,794.80 square feet). The land area included in Outlots A and D, combined, is equal to 151, 038.74 square feet of land area, which is equal to 17.48% of the total land area in Village Park Subdivision (*See Attachment G: Landscape Plan for Outlots A & D, Village Park Subdivision*). Outlots A and D are located in close proximity to the proposed apartment buildings, and the other future apartment buildings to be constructed in Village Park. The outlots have been designed as stormwater detention and treatment areas and include one 10-foot trail extension. Review of the outlot landscape plan is separate from this project. There is no other common usable space included within the project.

### **Landscaping.**

Landscaping requirements are driven by parking lot design and front yard plantings for apartment buildings (Page 18 of the report is the landscape plan). The proposed project's landscaping is most affected by the front yard foundation plantings due to the length of street frontage and the location of the parking. Due to the placement of garages along the north boundary line, screening is not required. The 10-foot area behind the garages is planned to be planted as turf. Screening would be needed if the garages did not abut an existing landscaped yard of the abutting Wessex apartments to meet the intent of the FS standards.

Front yard foundation plantings requirements include a combination of shrubs, understory and overstory trees. The developer has included additional cluster landscaping along the sides of building to add interest and some screening for the residents from the parking lot. Staff has an interest that an open relatively flat area be created between the apartment buildings of Lot 4 and Lot 3 to allow for informal open space. The area to the east of the building is planned as turf and can be graded with minimal slope to meet this interest of having available space for recreational use. There will be approximately 70 feet between buildings and 6000 square feet of informal open space between the buildings on Lots 3 and 4.

The Landscape Plan shows screening for mechanical units along the east and west sides of the building that meet site plan standards, provided the shrubs used for screening are a minimum of six inches higher than the mechanical units, at the time of planting. A condition is included in the report as a reminder of the need to comply with screening at the time of planting compared to growing into a screen over time.

No interior parking lot landscaping is required due to the size of the parking lot with one drive aisle. Perimeter parking lot landscaping is required along the portions of the driveways, parking spaces, and drive aisles to meet perimeter parking lot landscaping. All but one area of the site has the required perimeter parking lot landscaping. The side of the parking space that faces the property at 2121 Cottonwood, to the east, requires five shrubs to meet the "L2"(Low Screen) landscaping standards. The developer does not believe landscaping is needed at the terminus of this drive aisle as it abuts another drive aisle. The City Council can approve modification of landscaping screening



requirements if it finds that an alternative design meets the objectives for parking lot screening. Staff finds that the minimal length of area could be planted, but the overall mix of plants has diversity and interest in the design while meeting the essence of screening objectives of the zoning ordinance (See *Attachment B: Major Site Development Plan, Landscaping- pg 18*).

The trash receptacles are screened with 1" by 6" vertical cedar wood alternating slats to a height of six feet. The site plan does not include gates for the enclosure. Gates are necessary to meet screening requirements in Section 29.408(3) of the Municipal Code, which requires that garbage collection areas be screened from all public rights-of-way and from adjacent properties.

### **Circulation.**

Site access is from one driveway off Cottonwood Road. Cottonwood Road is planned to be extended west to connect to the existing segment of Cottonwood Road, in the Suncrest Subdivision, once the land between Village Park Subdivision and Suncrest Subdivision is annexed into the City and developed as residential. Public sidewalks (5-foot wide) in the right-of-way for Cottonwood Road provide a connection to the shared use path (10-foot wide) that will cross through the site between University Boulevard and the southern boundary of Village Park Subdivision. The shared use path will connect to the Ames community bike trail/shared use path system, and is planned in the future to connect to the regional multi-county bike trail system south of Ames (See *Attachment G: Landscape Plan for Outlots A & D, Village Park Subdivision*). Christofferson Park is situated northwest of the site and will at the time of development of Lot 2 will include a walkway connection to the south boundary of the park.

### **Building Design.**

The overall footprint of the proposed apartment building is approximately 4,205 square feet. Minimum building front, side and rear yard setbacks are all met by the proposed placement of the apartment building on the lot. The detached garage structures are allowed to be as close as 3 feet to the rear property line. The site plan shows the garage structures 10.91 feet from the north property line (See *Attachment B: Major Site Development Plan*).

The 12-unit building is consistent with the maximum building size allowed in the FS-RM zoning district. The building is three stories in height. Four stories, or 50 feet, whichever is lower, is the maximum building height permitted for multiple-family dwellings in the FS-RM zone. Ten of the twelve apartment units have access to either a small patio or a balcony. The 2-bedroom units, on the second and third floors of the northeast corner of the building, do not have balconies. The apartment building design incorporates a 5/12 pitched gable roof design, and asphalt shingles.

Two primary exterior materials are proposed for the building. The majority of the first floor is to be surfaced with cultured stone, while the second and third floors, and the gables are primarily vinyl lap siding. Cultured stone will extend to the roof line on approximately one-third of the south façade, and to the top of the first floor level at the primary entrance to the building. The primary (south) building entrance will include a 5/12 gabled roof above the entrance, as will also be a design feature above each of the

decks on the second and third levels of the building. Decks will be constructed of treated lumber with aluminum guardrails, and supported by pillars of cultured stone. The two (6-stall) garage structures will have similar materials and design features with a band of cultured stoned at the bottom of each façade, vinyl lap siding on the remainder, metal overhead garage doors, and a gabled roof with asphalt shingles and a roof pitch of 6/12. The cultured stone is a dark brown color, and the vinyl lap siding is a lighter brown color with two different variations of tan shading. Each façade has some variation in wall plane to add interest and provide some relief in the architecture (*See Attachment C: Building Elevations & Attachment D: Garage Elevations*).

**Major Site Development Plan Criteria.** Additional criteria and standards for review of all Major Site Development Plans are found in Ames *Municipal Code* Section 29.1502(4)(d) and include the following requirements.

***When acting upon an application for a Major Site Development Plan approval, the Planning and Zoning Commission and the City Council shall rely upon generally accepted site planning criteria and design standards. These criteria and standards are necessary to fulfill the intent of the Zoning Ordinance, the Land Use Policy Plan, and are the minimum necessary to safeguard the public health, safety, aesthetics, and general welfare.***

- 1. The design of the proposed development shall make adequate provisions for surface and subsurface drainage to limit the rate of increased runoff of surface water to adjacent and downstream property.***

The Public Works Department has reviewed the storm water management plan and finds that the proposed development has met the required storm water quantity and quality measures by use of the proposed regional detention facilities on the southeast and northeast areas of the site.

- 2. The design of the proposed development shall make adequate provision for connection to water, sanitary sewer, electrical, and other utility lines within the capacity limits of those utility lines.***

The existing utilities were reviewed and found adequate to support the anticipated load of 12 dwelling units on this lot, comprising 20 bedrooms, consistent with prior determination at the time of rezoning and subdivision approval.

- 3. The design of the proposed development shall make adequate provision for fire protection through building placement, acceptable location of flammable materials, and other measures to ensure fire safety.***

The fire inspector has reviewed access and fire truck circulation, sprinkler, and hydrant requirements and found that the requirements of the Fire Department are met. The subject site is also conditioned on provision of emergency access through Wessex to the north.

- 4. The design of the proposed development shall not increase the danger of***

***erosion, flooding, landslide, or other endangerment to adjoining and surrounding property.***

It is not anticipated that this proposed development will be a danger due to its site location and proximity to other uses.

***5. Natural topographic and landscape features of the site shall be incorporated into the development design.***

The site is currently devoid of any significant vegetation. Minimal grading will occur for the construction of the buildings. The site is relatively flat and grading will occur mostly to direct storm water where required.

***6. The design of the interior vehicle and pedestrian circulation shall provide for convenient flow of vehicles and movement of pedestrians and shall prevent hazards to adjacent streets or property.***

Access to this site from Cottonwood Road is through one access point at the southwest corner of the property. Vehicular and pedestrian access is accommodated between the subject property, and other properties (buildings) within the Village Park subdivision. The on-site sidewalks, sidewalks in the public street right-of-ways, and shared use paths provide pathways throughout the site, and to external connections to allow for circulation throughout the community, and eventually within the Central Iowa region.

***7. The design of outdoor parking areas, storage yards, trash and dumpster areas, and other exterior features shall be adequately landscaped or screened to minimize potential nuisance and impairment to the use of adjoining property.***

The general development standards of the zoning ordinance have been met for the screening of parking areas. Gates are needed on the trash enclosure to comply with the zoning ordinance standards for a fenced enclosure of garbage collection areas. The enclosure standard requires full fenced screening with a gate to ensure the compliance with the standards. In this plan the design has a large opening for rollout of the dumpster with no gate to obscure or secure the dumpster. The apartment building provides a high degree of separation and screening of the parking and garages in the rear yard from adjoining views, and as viewed from Cottonwood Road.

***8. The proposed development shall limit entrances and exits upon adjacent streets in order to prevent congestion on adjacent and surrounding streets and in order to provide for safe and orderly vehicle movement.***

A shared access is planned for the subject property (Lot 5 and Lot 4), to minimize the number of curb cuts onto Cottonwood Road.

***9. Exterior lighting shall relate to the scale and location of the development in order to maintain adequate security, while preventing a nuisance or hardship to adjacent property or streets.***

Additional information is needed on the proposed exterior lighting, to determine compliance, prior to the occupancy of the apartment building. The proposed lighting must meet the lighting standards, found in Sec 29.411 of the *Municipal Code*.

***10. The proposed development shall ensure that dust and other forms of air pollution, noise disturbances, odor, glare, and other nuisances will be limited to acceptable levels as prescribed in other applicable State and City regulations.***

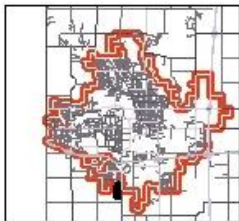
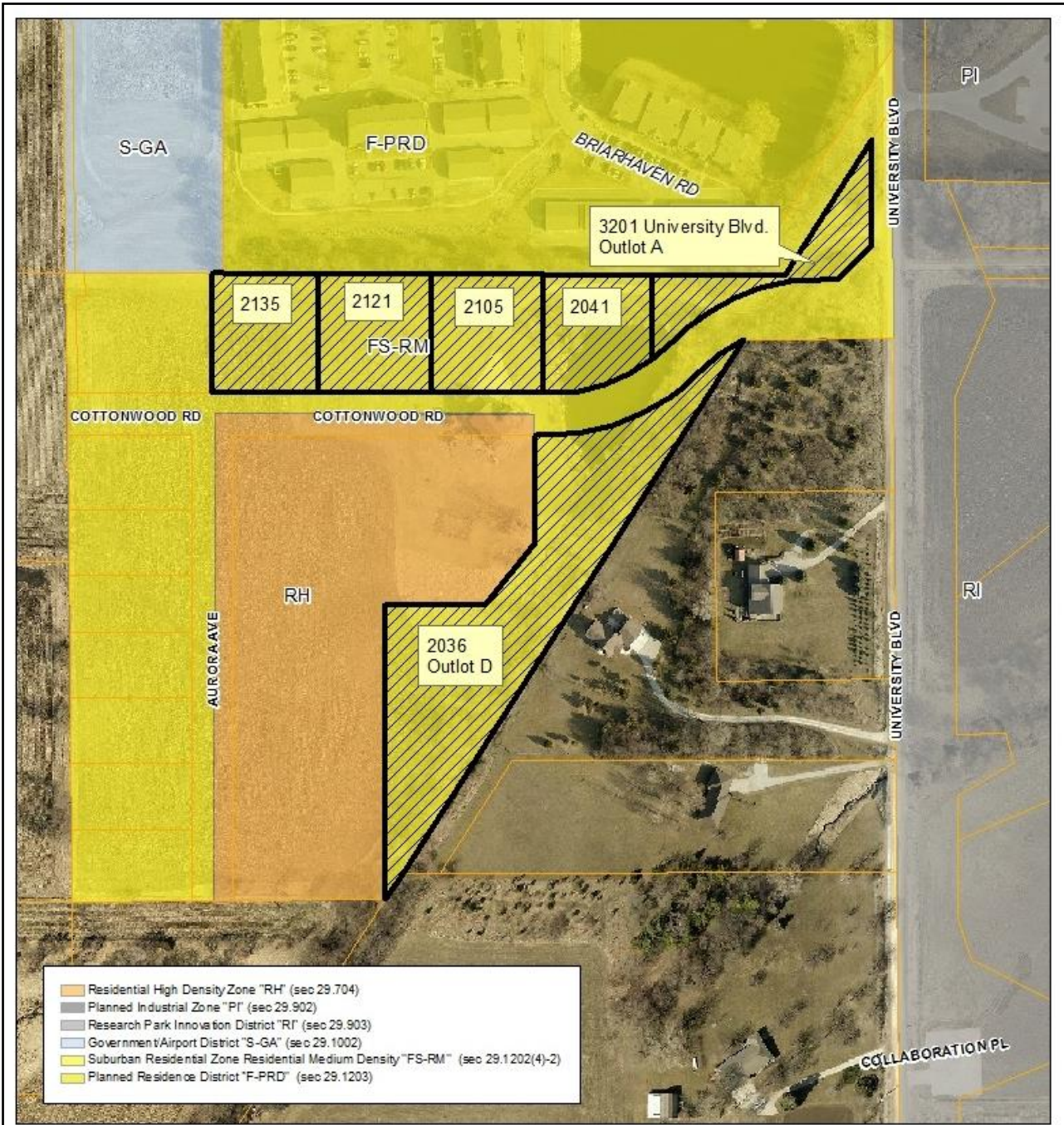
The proposed residential uses are not expected to exceed the level of nuisances, typical of this type of development, beyond acceptable levels, as prescribed in other applicable State and City regulations.

***11. Site coverage, building scale, setbacks, and open spaces shall be in proportion with the development property and with existing and planned development and structures, in adjacent and surrounding property.***

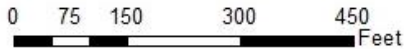
The scale of the proposed apartment building, in relation to the lot size, is appropriate, given minimum building setback requirements, landscaping requirements, and areas of the site planned for parking. The developer has proposed the maximum number of units (12) in a multiple family structure within the FS-RM zoning district. The density of development is well within the approximate densities found on the approved Master Plan for this subdivision, and the apartment appearance is compatible with the character and scale of the general surrounding with the proposed 36-unit apartment dwellings on the other side of Cottonwood Road, and the 24-unit and 36-unit buildings in the Wessex development adjacent to the north. Open areas and landscaped areas meet the quantitative standards of the zoning code and allow for informal activities by the future residents of this subdivision.

The Development Review Committee has reviewed the Major Site Development Plan and found that it complies with all other requirements of the Ames Municipal Code.

Attachment A: Location & Zoning Map



**Location & Zoning Map**  
**2036, 2041, 2105, 2121, 2135**  
**Oakwood Rd. & 3201 University Blvd.**



# Attachment B: Major Site Development Plan (Title Sheet)

**GOVERNING SPECIFICATIONS**  
 THE STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE CITY OF AMES SUPPLEMENTAL SPECIFICATIONS SHALL GOVERN.  
 IOWA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE CITY OF AMES SUPPLEMENTAL SPECIFICATIONS SHALL GOVERN AS REFERENCED.  
 ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS AND ORDINANCES WILL BE COMPLIED WITH IN THE CONSTRUCTION OF THIS PROJECT.  
 MATCO 2009 AS ADOPTED BY IOWA DEPARTMENT OF TRANSPORTATION.

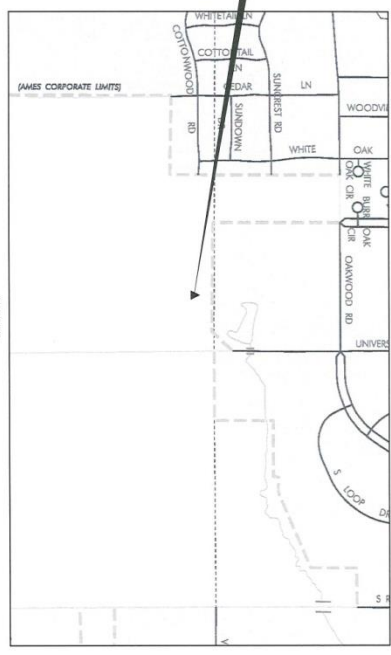


NOTE: EXISTING UTILITY INFORMATION SHOWN ON THIS PLAN HAS BEEN PROVIDED BY THE UTILITY OWNER. THE UTILITY OWNER SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF EXISTING UTILITY INFORMATION TO CONFORM WITH THE REQUIREMENTS OF STATE LAW. NOTIFY IOWA ONE CALL 1-800-292-6969.

THE SUBGRADE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL 0. THIS UTILITY QUALITY LEVEL DOES NOT MEAN THAT THE UTILITY INFORMATION IS GUARANTEED TO BE ACCURATE. THE UTILITY OWNER SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF EXISTING UTILITY INFORMATION TO CONFORM WITH THE REQUIREMENTS OF STATE LAW.

DATE	SHEET NUMBER	APPROVED BY	MODIFICATIONS

## HUNZIKER DEVELOPMENT CO. CONSTRUCTION PLANS FOR **2135 COTTONWOOD ROAD** LOT 4 - VILLAGE PARK SUBDIVISION MAJOR SITE DEVELOPMENT PLANS SEPTEMBER 2016



**HUNZIKER ASSOCIATES REALTORS®**  
 2720 ROAD 51, P.O. BOX 648  
 AMES, IA 50010  
 (515) 271-1111

**BOLTON & MENK**  
 2720 ROAD 51, P.O. BOX 648  
 AMES, IA 50010  
 (515) 271-1111

**OWNER**  
 HUNZIKER DEVELOPMENT CO.  
 2135 COTTONWOOD ROAD  
 AMES, IA 50010

SHEET INDEX	
1	TITLE SHEET
2	GENERAL NOTES
3	GRADING & STORM SEWER
4	PARKING LAYOUT
5	UTILITIES
6	LANDSCAPING
7	LANDSCAPE DETAILS

**OWNER:** HUNZIKER DEVELOPMENT COMPANY, LLC  
 105 S. 16TH STREET  
 AMES, IA 50010

**APPLICANT:** HUNZIKER DEVELOPMENT COMPANY, LLC  
 105 S. 16TH STREET  
 AMES, IA 50010

**PLAN PREPARED BY:** BOLTON & MENK, INC.  
 2720 ROAD 51, P.O. BOX 648  
 AMES, IA 50010

**LEGAL DESCRIPTION:** LOT 4 OF VILLAGE PARK SUBDIVISION, 1ST ADDITION TO THE CITY OF AMES, STORY COUNTY, IOWA.

**ZONING DESIGNATION:** SUBURBAN RESIDENTIAL, MEDIUM DENSITY (S2-RM)

**PROPOSED LAND USE:** APARTMENT BUILDINGS

**MINIMUM BUILDING SETBACKS:**  
 FRONT LOT LINE: 25 FT  
 SIDE LOT LINE: 10 FT (3 STORY)  
 REAR LOT LINE: 25 FT

**PRELIMINARY**

I HEREBY CERTIFY THAT THE ENGINEERING, ARCHITECTURE, SURVEYING, AND LAND SURVEYING WORK SHOWN ON THESE PLANS WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF IOWA.

DATE: SEPTEMBER 13, 2017

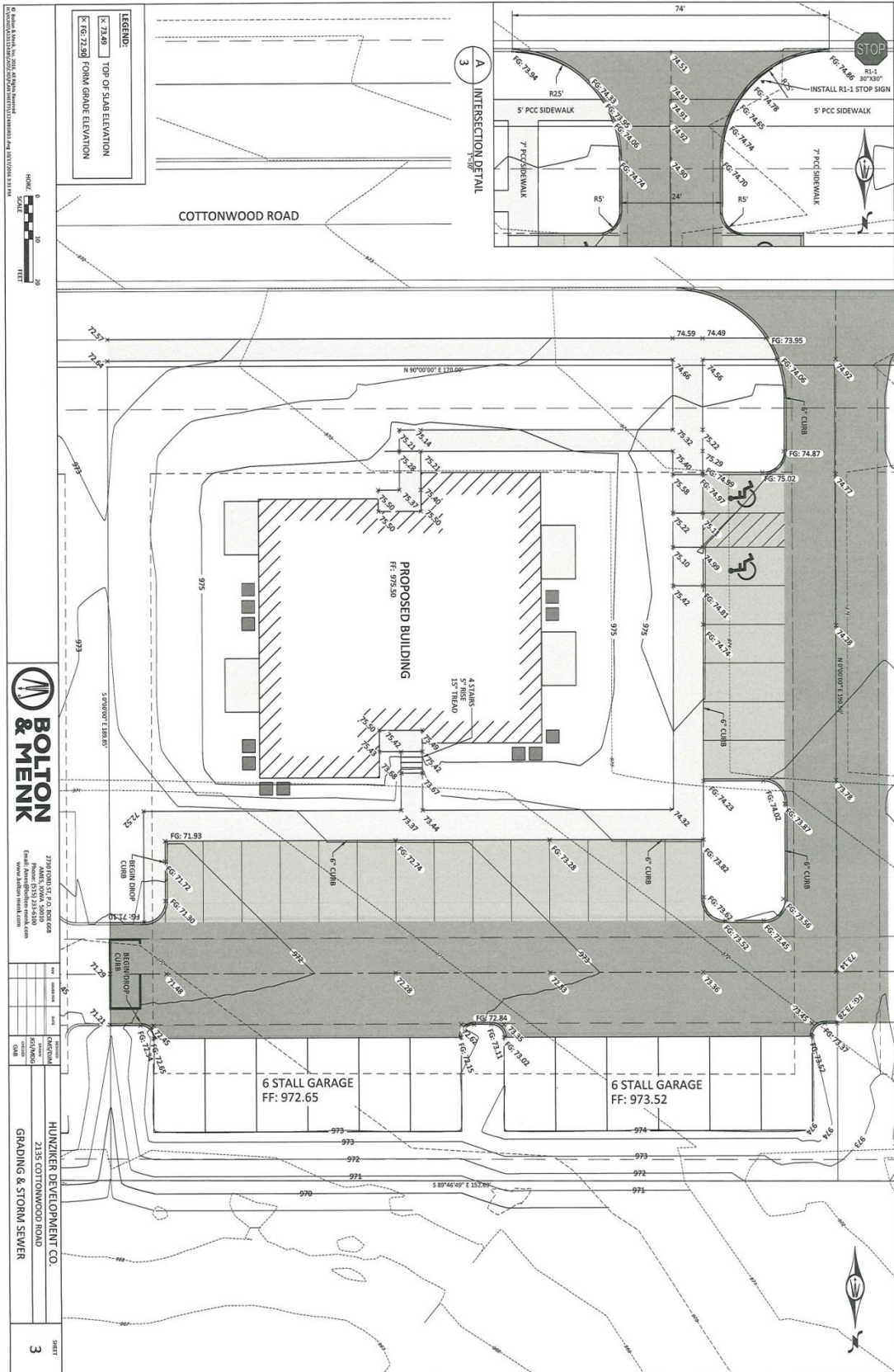
PROJECT OR CLIENT'S ADDRESS: 2135 COTTONWOOD ROAD

ALL SHEETS

PROJECT/CLIENT'S ADDRESS	SHEET
HUNZIKER DEVELOPMENT CO. 2135 COTTONWOOD ROAD	1



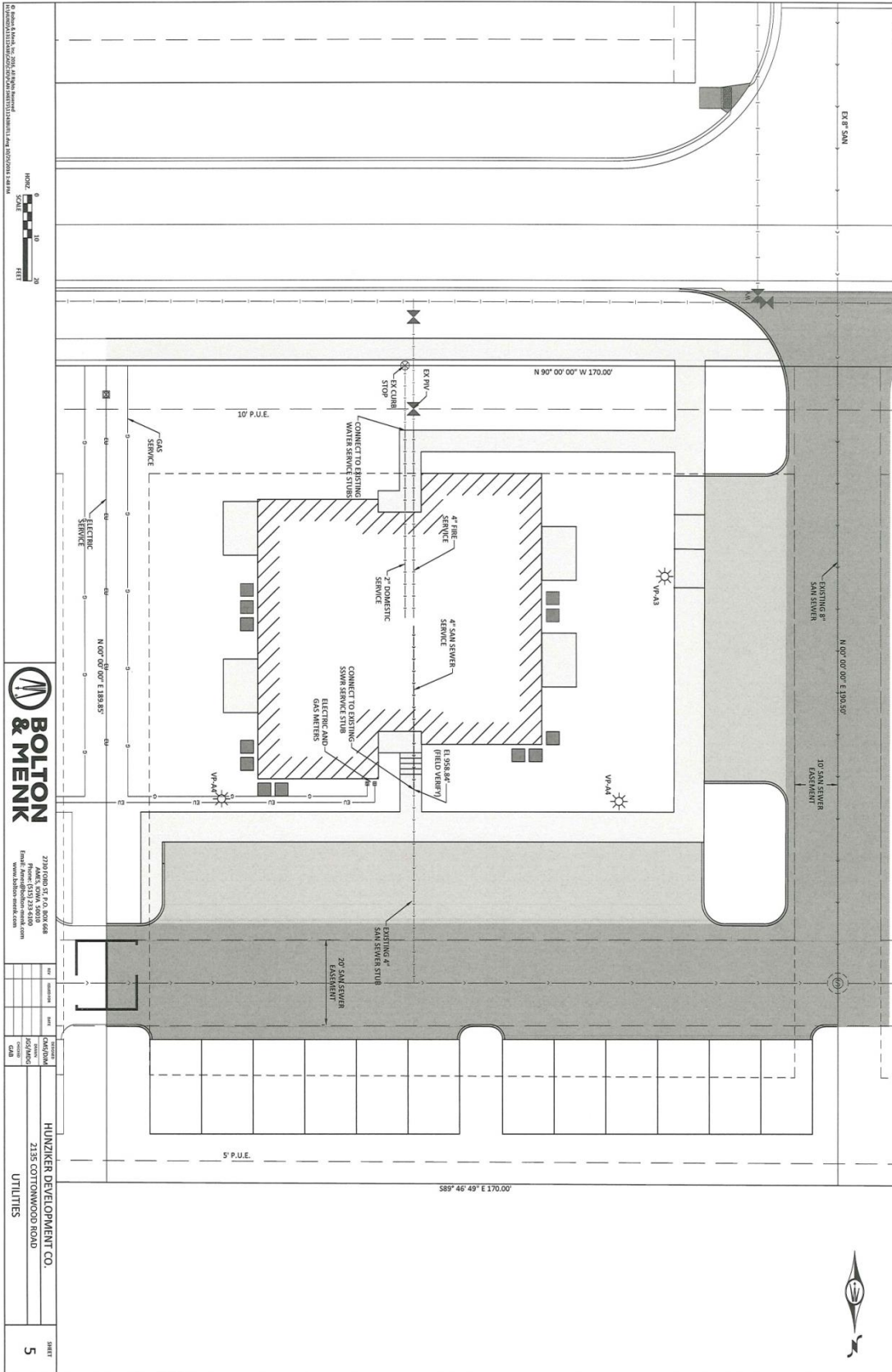
# Attachment B: Major Site Development Plan (Grading & Storm Sewer)







# Attachment B: Major Site Development Plan (Utilities)



© 2014 Bolton & Menk, Inc. All rights reserved. This drawing is the property of Bolton & Menk, Inc. and is not to be used for any other project without the written consent of Bolton & Menk, Inc.



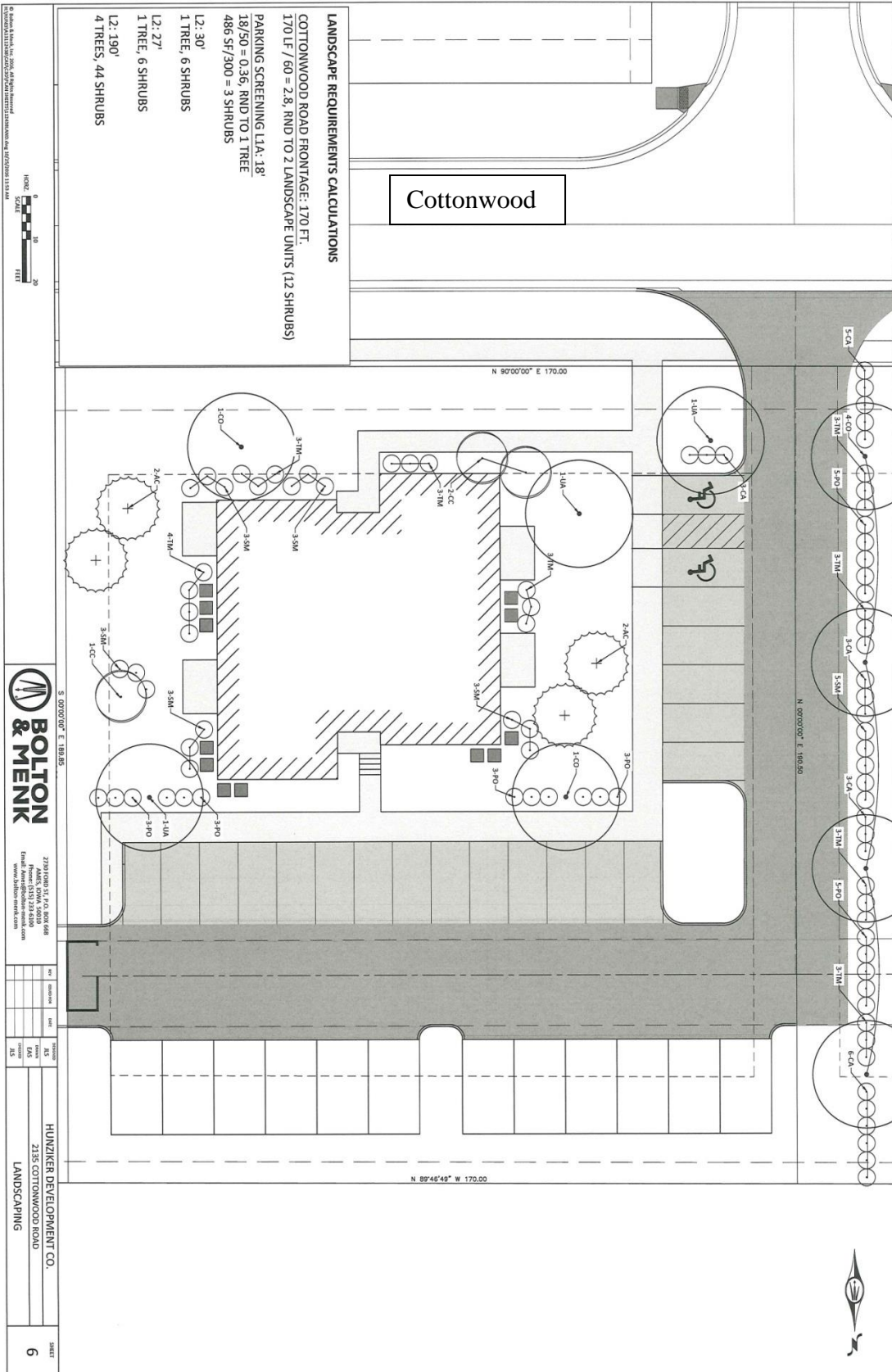
2739 GORDON ST., P.O. BOX 608  
 ANN ARBOR, MI 48106  
 Email: info@bolton-menk.com  
 www.bolton-menk.com

NO.	DATE	DESCRIPTION
1	10/15/14	ISSUED FOR PERMIT
2	11/10/14	REVISED FOR PERMIT
3	12/10/14	REVISED FOR PERMIT
4	01/10/15	REVISED FOR PERMIT
5	02/10/15	REVISED FOR PERMIT

HUNZIKER DEVELOPMENT CO.  
 2135 COTTONWOOD ROAD  
 UTILITY

SHEET  
 5

# Attachment B: Major Site Development Plan (Landscaping)



# Attachment B: Major Site Development Plan (Landscape Details)

MASTER PLANT SCHEDULE - TREES & SHRUBS

Qty	Species Name	Common Name	Tree Size	Species Characteristics
<b>LOW VOLTAGE SCHEDULE</b>				
6.0	Colinus virginianus	Quail	EA 1.2" x 8.0"	see plan
3.0	Ulmus americana 'Princeton'	Princeton Elm	EA 1.2" x 8.0"	see plan
3.0	Catalpa bignonioides 'Alicia'	Alicia Catalpa	EA 1.2" x 8.0"	see plan
3.0	Caryopteris acuminata	Spicebush	EA 1.2" x 8.0"	see plan
4.0	Abies concolor	White Fir	EA 1.2" x 8.0"	see plan
20.0	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	EA 3.0"	see plan
22.0	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	EA 3.0"	see plan
23.0	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	EA 3.0"	see plan
24.0	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	EA 3.0"	see plan

**GENERAL NOTES: LANDSCAPE PLANTING**

- MASTER PLANT SCHEDULE: ALL TREES AND SHRUBS ARE LISTED IN THE MASTER PLANT SCHEDULE. IF THERE IS A CONFLICT BETWEEN THE QUANTITIES SHOWN ON THE DRAWINGS AND THE QUANTITIES SHOWN IN THE SCHEDULE, THE QUANTITIES SHOWN ON THE DRAWINGS SHALL PREVAIL.
- PLANTING LAYOUT: STAKE ALL TREE LOCATIONS AND A TYPICAL SHRUB BED LAYOUT AND OBTAIN APPROVAL OF THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
- SHRUB GROUPINGS SHALL BE PLANTED AND MULCHED IN ONE CONTINUOUSLY MULCHED BED. TREES LOCATED IN TIRF AREAS SHALL BE MULCHED TO 18 INCHES FROM TRUNK (6" DIA. RING) IN ALL DIRECTIONS AND DEPTH TO 3".
- AMENDED SOIL MIX AND SHREDED HARDWOOD MULCH SHALL BE INCIDENTAL TO THE PLANTING BID ITEMS AND SHALL BE INSTALLED AS PER SPECIFICATIONS.
- PLANT MATERIAL PROVIDING SCREENING FOR THE MECHANICAL UNITS MUST BE AT LEAST 6" HIGHER THAN THE MECHANICAL UNITS AT THE TIME OF PLANTING.

**1** TYPICAL SECTION: SHRUB/PERENNIAL BED PLANTING ON SLOPES

EXISTING GRADE  
SOIL BACKFILL PER SPECIFICATIONS  
WATER IN SOIL

PROVIDE 3" DEEP MULCH AT EACH SHRUB  
3" DEPTH MULCH AS SPECIFIED. KEEP MULCH AT LEAST 2" AWAY FROM TRUNK  
AMENDED SOIL MIX AS SPECIFIED  
2x ROOT BALL DIAMETER  
3" DEPTH MULCH AS SPECIFIED

SCALE: N.T.S.

**2** TREE PLANTING DETAIL

DO NOT CUT LEADER  
4" TREE TRUNK  
4" TREE TRUNK GUARD ASSEMBLY  
SOIL BACKFILL PER SPECIFICATIONS  
4" MULCH DEPTH. PULL BARK 1" FROM TREE TRUNK  
REMOVE TOP 1/2 OF WIRE BASKET  
REMOVE TWINE, & PULL BARK UP 1" TO 2" ABOVE SURROUNDING FINISH GRADE

SCALE: N.T.S.

**3** TYPICAL SECTION: SHRUB/PERENNIAL BED PLANTING

PROVIDE 3" DEEP MULCH AT EACH SHRUB  
3" DEPTH MULCH AS SPECIFIED. KEEP MULCH AT LEAST 2" AWAY FROM TRUNK  
AMENDED SOIL MIX AS SPECIFIED  
2x ROOT BALL DIAMETER

SCALE: N.T.S.

**4** PLANTING EDGE AT EXISTING CONC. WALK

1'-0" BETWEEN TOP OF WALK AND TOP OF MULCH  
3" DEPTH  
PREPARED PLANTING BED SOIL  
HANDWOOD MULCH  
PROVIDE 6" BETWEEN AMENDED SOIL EXCAVATION AND EXISTING WALK EDGE

SCALE: N.T.S.

**5** TYPICAL SECTION: SHADDED EDGE

SHRUB/PERENNIAL BED  
HANDWOOD MULCH  
ADJACENT LAWN  
PROVIDE 6" DEEP MULCH AS SPECIFIED. KEEP MULCH AT LEAST 2" AWAY FROM TRUNK  
AMENDED SOIL MIX AS SPECIFIED

NOTES:  
SHADDED EDGE TO BE INCIDENTAL TO PLANT MATERIAL COST AND SHALL BE USED ON ALL MATERIALS AND BEDS UNLESS OTHERWISE NOTED ON PLANS

SCALE: N.T.S.

**6** TYPICAL SECTION: SHADDED EDGE

SHRUB/PERENNIAL BED  
HANDWOOD MULCH  
ADJACENT LAWN  
PROVIDE 6" DEEP MULCH AS SPECIFIED. KEEP MULCH AT LEAST 2" AWAY FROM TRUNK  
AMENDED SOIL MIX AS SPECIFIED

NOTES:  
SHADDED EDGE TO BE INCIDENTAL TO PLANT MATERIAL COST AND SHALL BE USED ON ALL MATERIALS AND BEDS UNLESS OTHERWISE NOTED ON PLANS

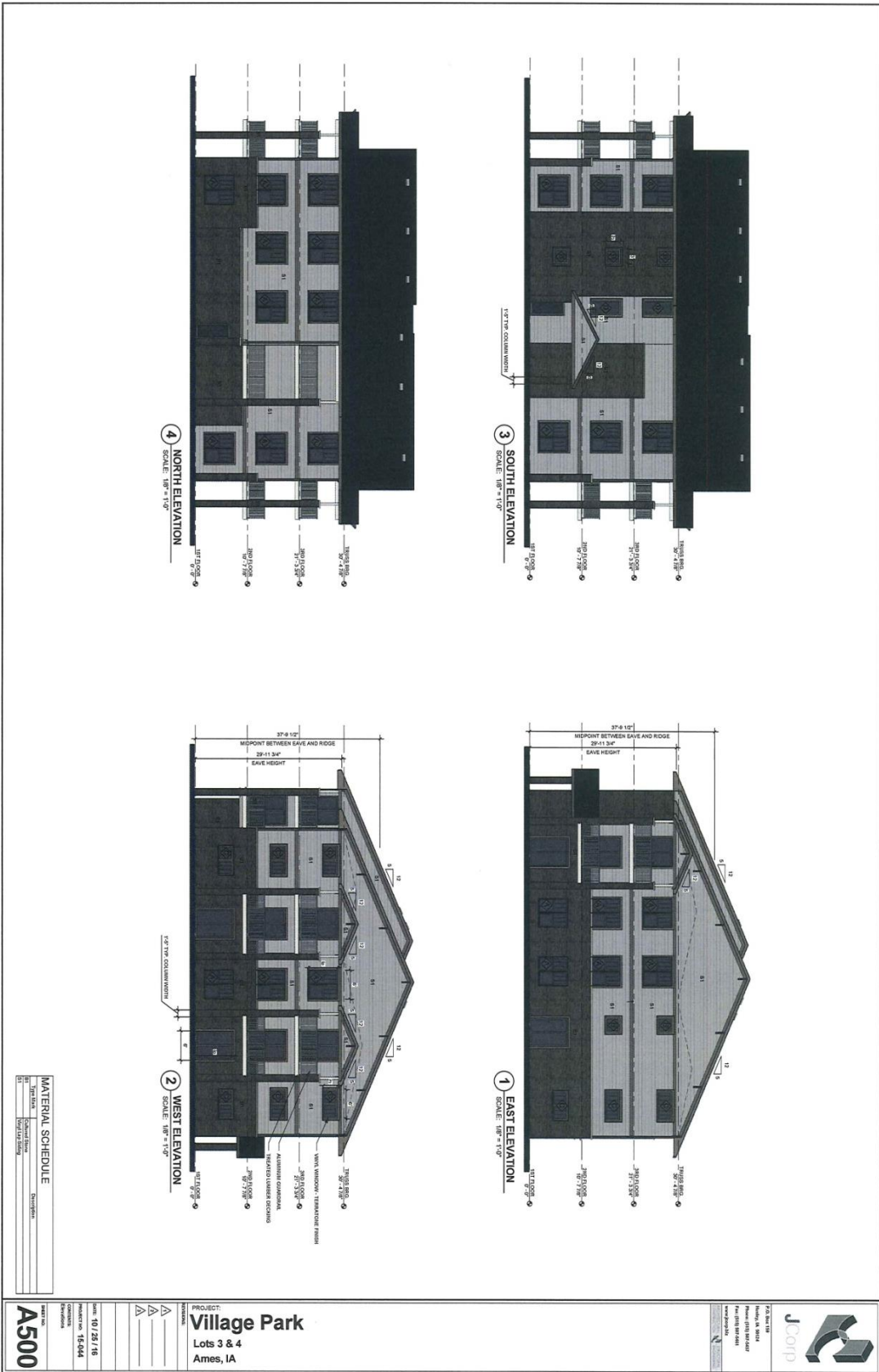
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7

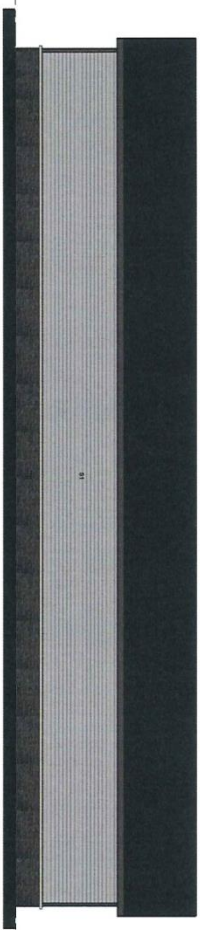
**BOLTON & MENK**

2370 DORIS ST. # 20, SUITE 608  
ANN ARBOR, MI 48106  
Email: [Ann Arbor@boltonmenk.com](mailto:Ann Arbor@boltonmenk.com)  
Web: [www.boltonmenk.com](http://www.boltonmenk.com)

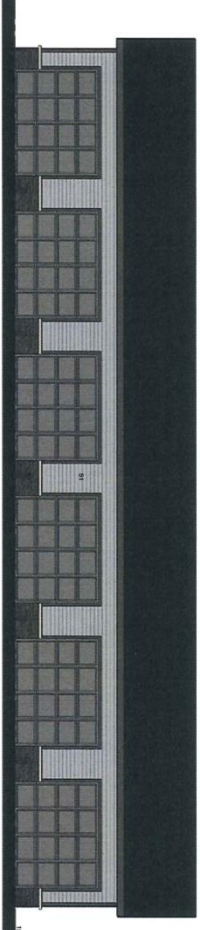
# Attachment C: Building Elevations



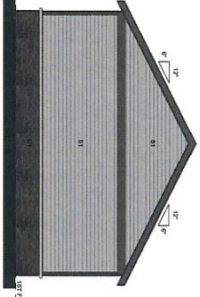
# Attachment D: Garage Elevations



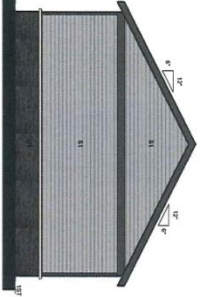
**2 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**4 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"




**3 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"

**PRELIMINARY- NOT FOR CONSTRUCTION**

**A5000**

PROJECT: **Village Park Garages**  
Lots 3 & 4  
Ames, IA

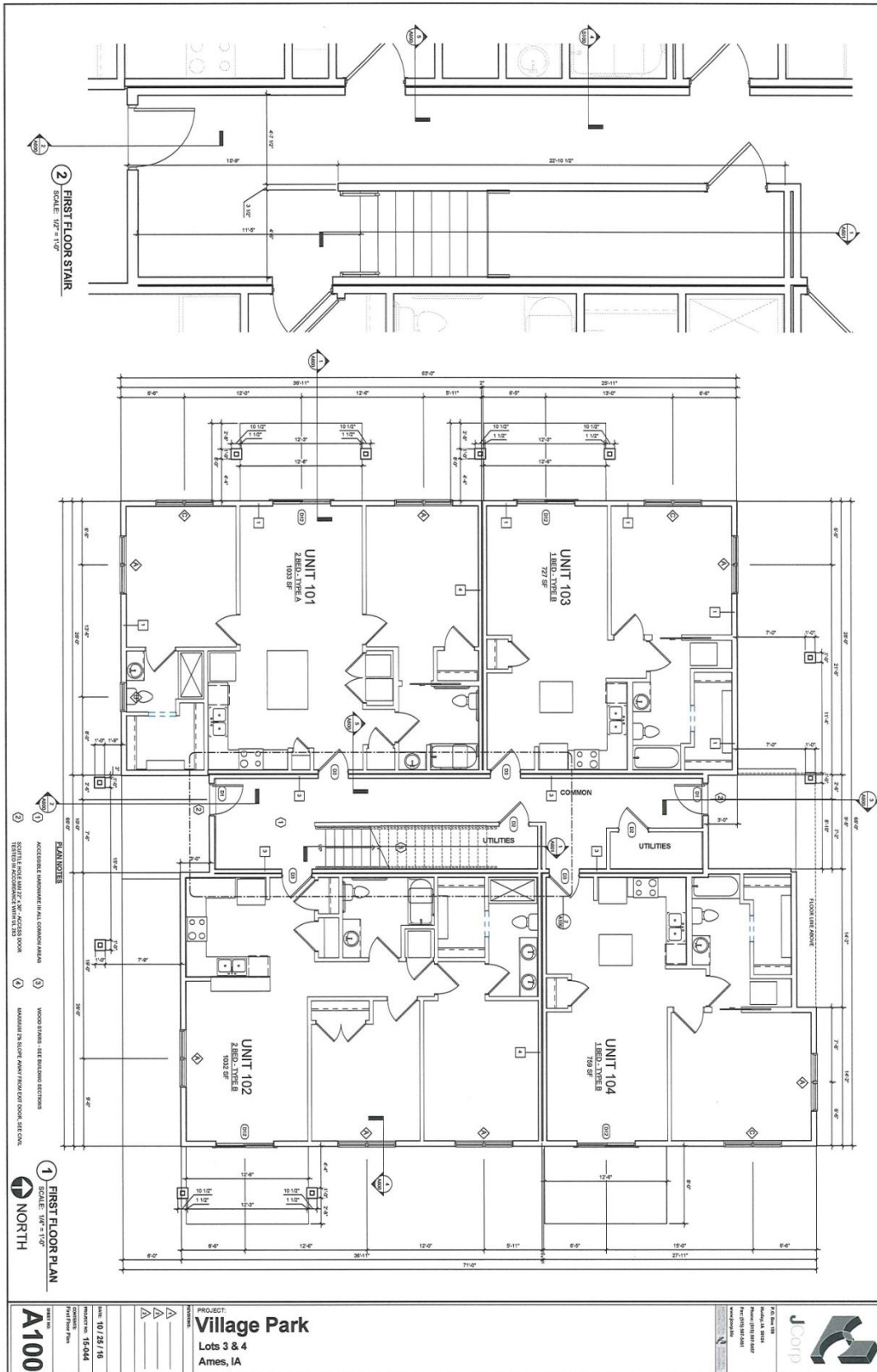


JCorp  
Architectural & Engineering  
1000 East 10th Street  
Ames, IA 50010  
515.281.1111

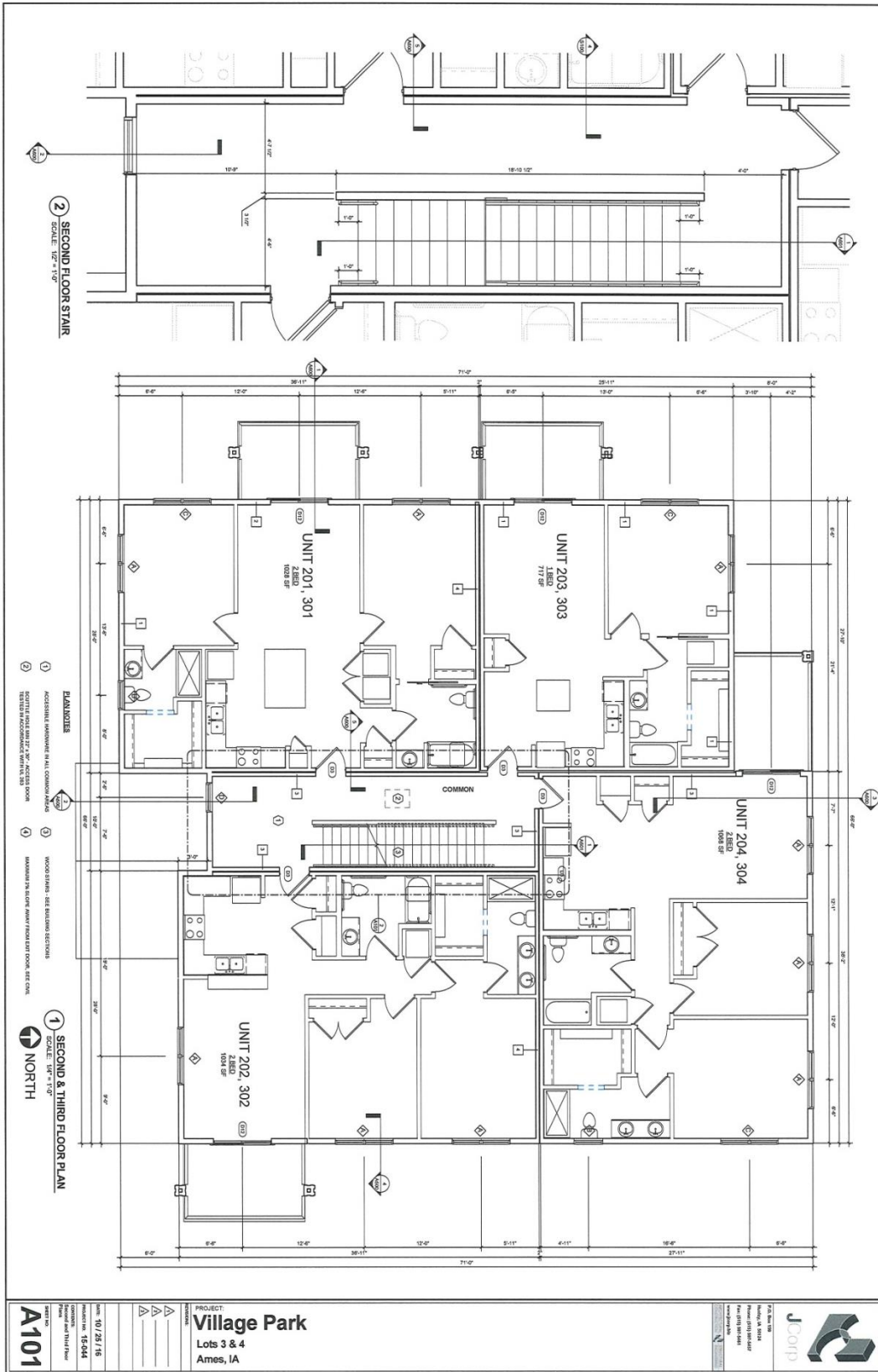
NO.	DATE	DESCRIPTION

DATE: 10/23/18  
DRAWING NO: 18-044  
REVISIONS:

# Attachment E: Floor Plans (First Floor)

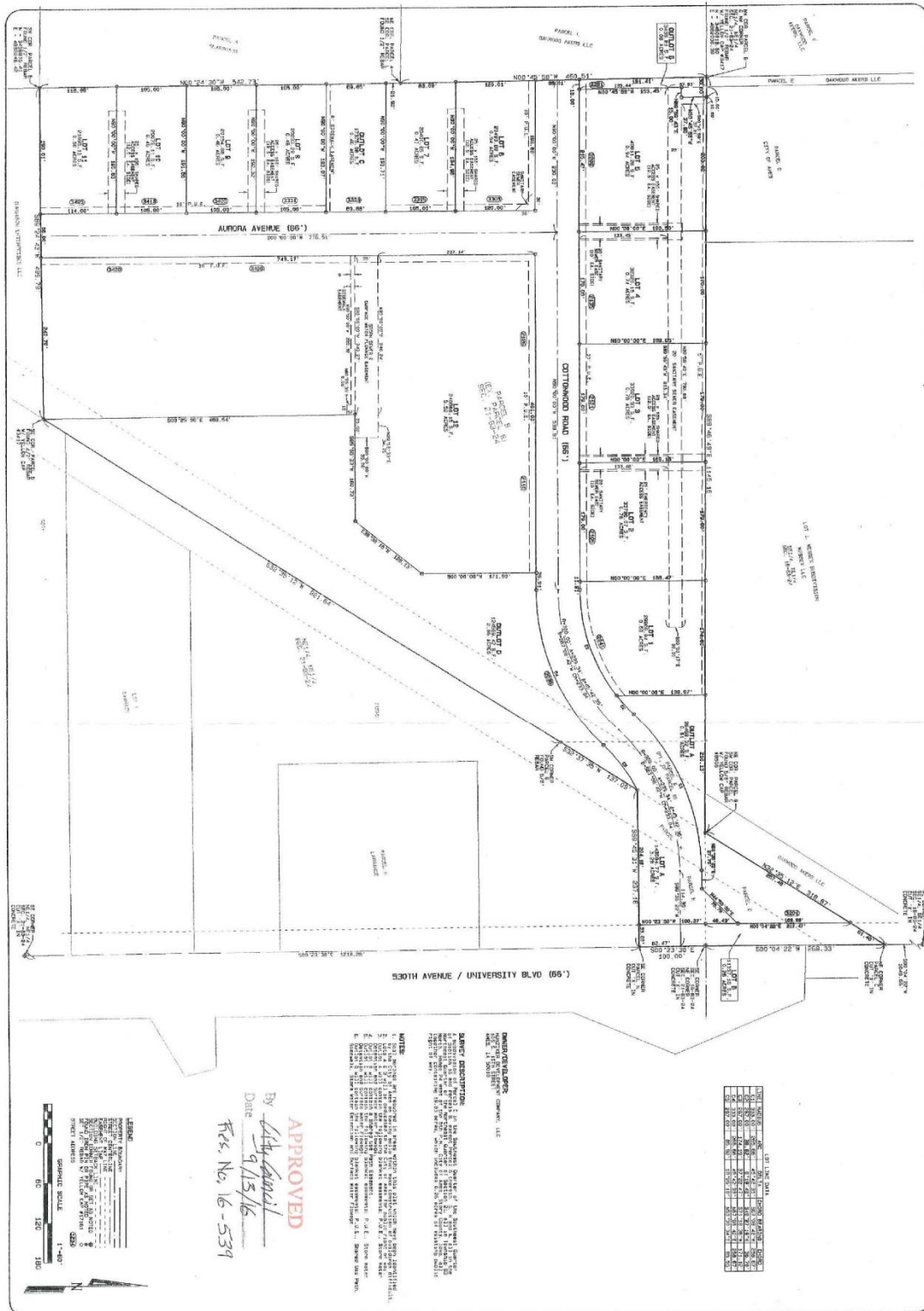


# Attachment E: Floor Plans (Second & Third Floor)





# Attachment F: Village Park Subdivision Final Plat



**APPROVED**

By *City Council*  
Date 9/15/16  
Fkx. No. 16-539

**NOTES:**

1. This plat is subject to the provisions of the Subdivision Control Act, Chapter 463, Iowa Code, and the rules and regulations of the Board of Supervisors of the State of Iowa.
2. The plat is subject to the provisions of the Subdivision Control Act, Chapter 463, Iowa Code, and the rules and regulations of the Board of Supervisors of the State of Iowa.
3. The plat is subject to the provisions of the Subdivision Control Act, Chapter 463, Iowa Code, and the rules and regulations of the Board of Supervisors of the State of Iowa.
4. The plat is subject to the provisions of the Subdivision Control Act, Chapter 463, Iowa Code, and the rules and regulations of the Board of Supervisors of the State of Iowa.
5. The plat is subject to the provisions of the Subdivision Control Act, Chapter 463, Iowa Code, and the rules and regulations of the Board of Supervisors of the State of Iowa.
6. The plat is subject to the provisions of the Subdivision Control Act, Chapter 463, Iowa Code, and the rules and regulations of the Board of Supervisors of the State of Iowa.
7. The plat is subject to the provisions of the Subdivision Control Act, Chapter 463, Iowa Code, and the rules and regulations of the Board of Supervisors of the State of Iowa.
8. The plat is subject to the provisions of the Subdivision Control Act, Chapter 463, Iowa Code, and the rules and regulations of the Board of Supervisors of the State of Iowa.
9. The plat is subject to the provisions of the Subdivision Control Act, Chapter 463, Iowa Code, and the rules and regulations of the Board of Supervisors of the State of Iowa.
10. The plat is subject to the provisions of the Subdivision Control Act, Chapter 463, Iowa Code, and the rules and regulations of the Board of Supervisors of the State of Iowa.

**LEGEND**

Property Boundary	---
Survey Boundary	---
Street Right-of-Way	---
Utility Right-of-Way	---
Other Right-of-Way	---
Other	---

GRAPHIC SCALE 1"=40'

0 50 100 150

LOT	AREA	PERCENTAGE
1	0.0000	0.0000%
2	0.0000	0.0000%
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7	0.0000	0.0000%
8	0.0000	0.0000%
9	0.0000	0.0000%
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98	0.0000	0.0000%
99	0.0000	0.0000%
100	0.0000	0.0000%

**STUMBO & ASSOCIATES**  
LAND SURVEYING  
510 S. 17TH STREET, SUITE 102, AMES, IOWA 50010  
PHONE 515-262-5363 FAX 515-263-4403

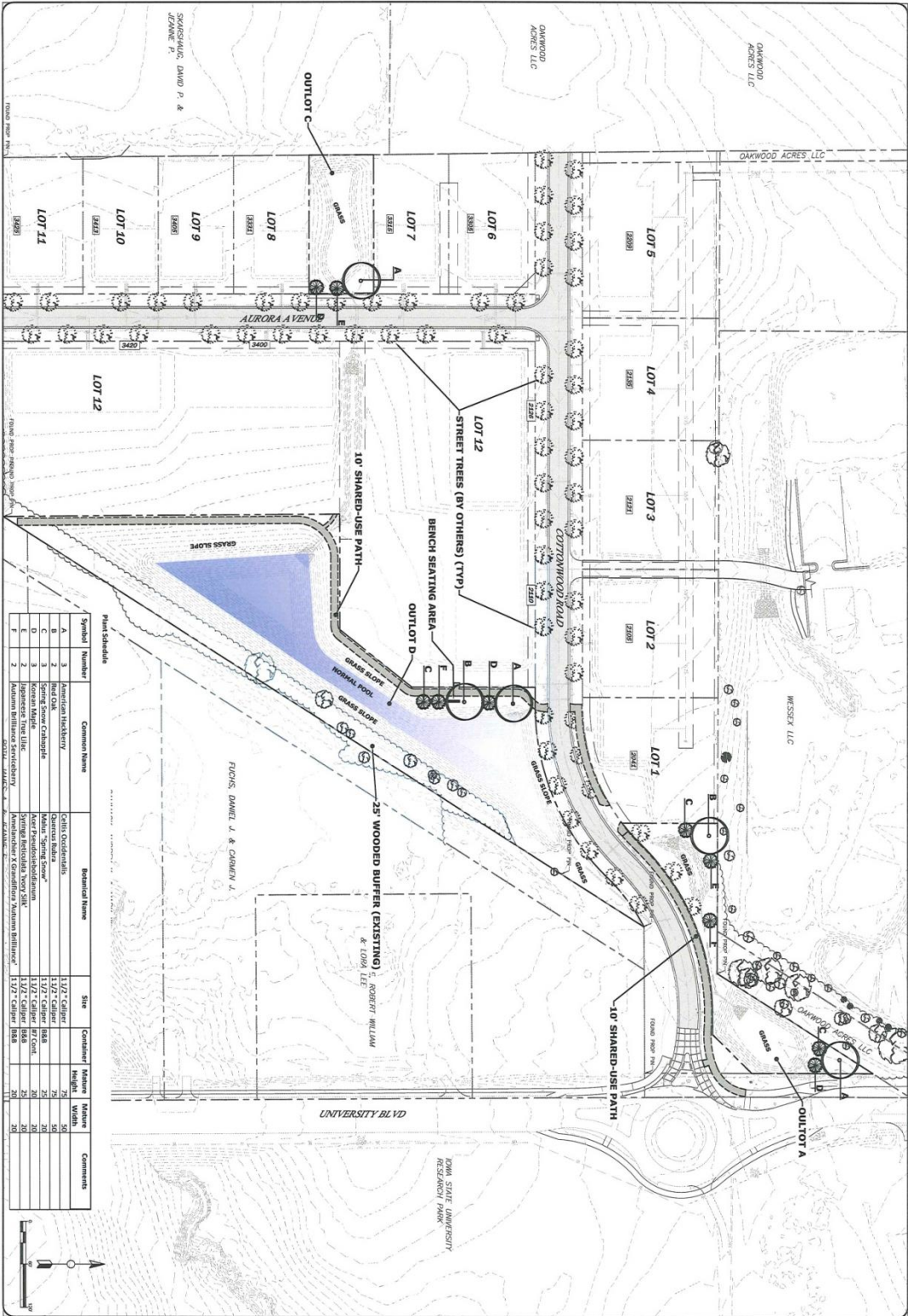
**FINAL PLAT**  
**VILLAGE PARK SUBDIVISION**  
PARCEL C IN THE SE1/4, SE1/4 OF SEC. 16-B3-24  
6 PARCELS B, G, M & N IN THE NE1/4, NE1/4 OF  
SEC. 21-03-24, CITY OF AMES, STORY COUNTY, IOWA  
JOB #16504FP DATE: 8/15/16 PAGE: 1 of 1

Confirmation: I hereby certify that this land surveying record was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Iowa.  
P. R. L. Stumbo Date 8/15/16  
My license renewal date is December 31, 2017





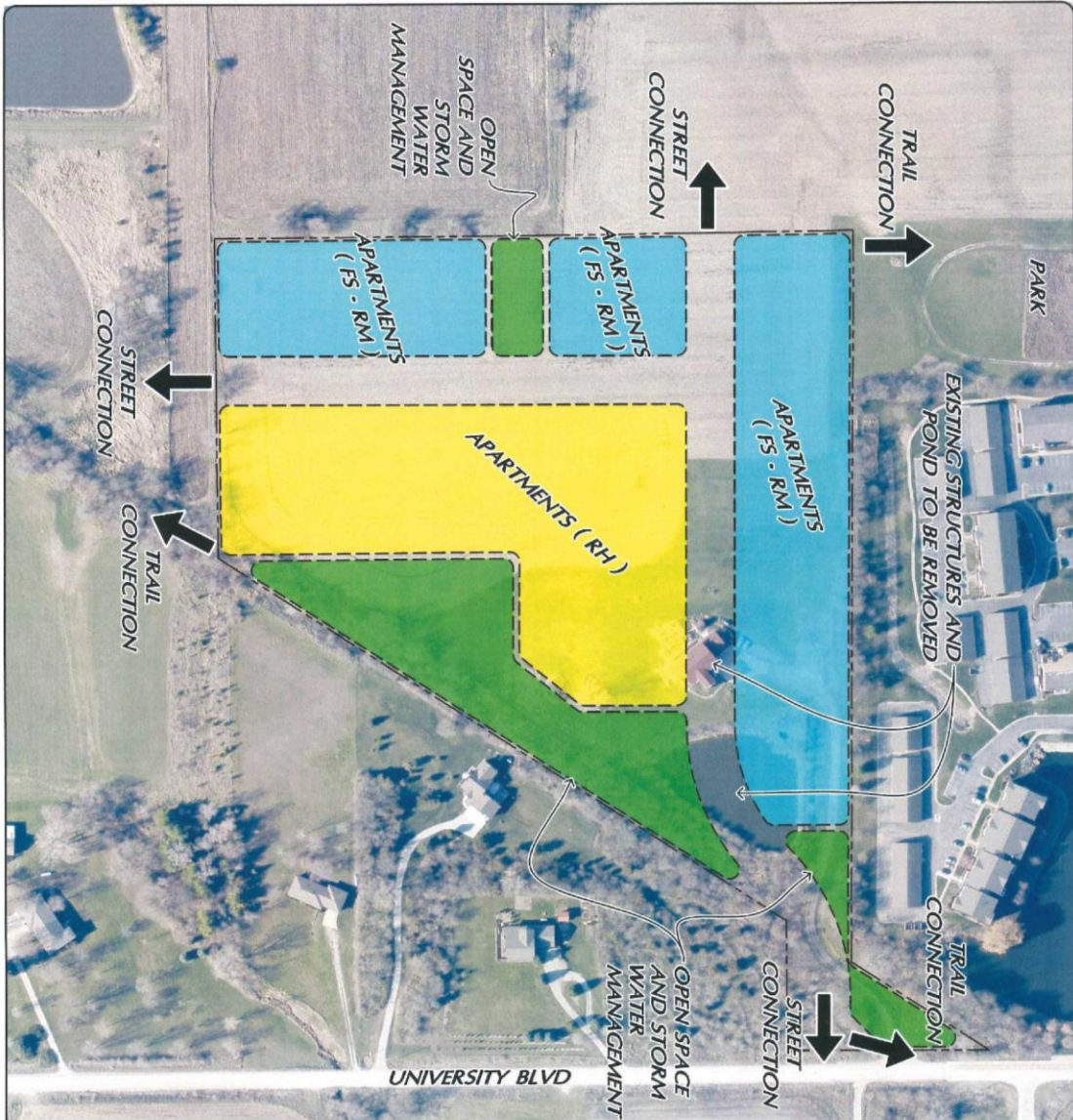
# Attachment G: Landscape Plan for Outlots A & D, Village Park Subdivision



Symbol Number	Common Name	Botanical Name	Size	Container	Mature Height	Mature Width	Comments
A	Amelanchier	Amelanchier	1 1/2" Caliper	18" x 18" x 12"	25'	20'	
B	Red Oak	Quercus rubra	1 1/2" Caliper	18" x 18" x 12"	25'	20'	
C	Spring Snow Crabapple	Malus 'Spring Snow'	1 1/2" Caliper	18" x 18" x 12"	25'	20'	
D	Redbud	Koeleria paniculata	1 1/2" Caliper	18" x 18" x 12"	25'	20'	
E	Redbud	Koeleria paniculata	1 1/2" Caliper	18" x 18" x 12"	25'	20'	
F	Madonia Hillbush	Madonia Hillbush	1 1/2" Caliper	18" x 18" x 12"	25'	20'	
G	Madonia Hillbush	Madonia Hillbush	1 1/2" Caliper	18" x 18" x 12"	25'	20'	

DATE	REVISION	BY	DATE
10/25/14	REVISED PER UNIVERSITY REVIEW 10/21/14	BAW	10/14
		CSM	10/14
		CSM	10/14

# Attachment H: Master Plan for Village Park Subdivision



## VILLAGE PARK SUBDIVISION MASTER PLAN

OWNER/ APPLICANT  
 HUNZIKER DEVELOPMENT CO. LLC.  
 105 S. 16TH STREET  
 SUITE A  
 AMES, IA 50010

PREPARED BY  
 FOX ENGINEERING  
 414 S. 14TH STREET  
 SUITE 107  
 AMES, IA 50010

ZONING  
 EXISTING - AGRICULTURAL (A1)  
 PROPOSED - RESIDENTIAL MEDIUM DENSITY (FS-RM)  
 AND RESIDENTIAL HIGH DENSITY (RH)  
 AS SHOWN

LEGAL DESCRIPTION  
 PARCEL C IN SECTION 16, T83N, R24W; AND PARCELS B, G, M,  
 AND N IN SECTION 21, T83N, R24W; ALL IN THE CITY OF AMES,  
 STORY COUNTY, IOWA

### RESIDENTIAL USE SUMMARY

	APPROX NET AREA (AC)	APPROX # OF UNITS	APPROX DENSITY
APARTMENTS (FS-RM)	7.2	100 - 120	13 - 17
APARTMENTS (RH)*	5.5	135 - 155	25 - 28

\* NOTE: BUILDINGS IN RH WILL BE LIMITED TO 3 STORIES AND 36 UNITS PER BUILDING



DATE	REVISION	BY	DATE
		SKR	03/15
		SKS	03/15
		CHK	
		LAST UPDATE:	03/15/15

FOX Engineering Associates, Inc.  
 414 South 17th Street, Suite 107  
 Ames, Iowa 50010  
 Phone: (515) 233-0000  
 FAX: (515) 233-0103

MASTER PLAN  
 VILLAGE PARK SUBDIVISION  
 HUNZIKER DEVELOPMENT CO.  
 AMES, IOWA

SHEET  
 5000-134  
 1 OF 1

**COUNCIL ACTION FORM**

**REQUEST: MAJOR SITE DEVELOPMENT PLAN (LANDSCAPE PLAN) FOR VILLAGE PARK SUBDIVISION “OUTLOT A” (3201 UNIVERSITY BOULEVARD) AND “OUTLOT D” (2036 COTTONWOOD ROAD)**

**BACKGROUND:**

Hunziker Development Company, LLC is requesting approval of a Major Site Development Plan, consisting of a Landscape Plan for Outlots A and D in the Village Park Subdivision. The Village Park Subdivision includes 19.83 acres (863,794 square feet). The land area included in Outlots A and D combined is equal to 151,038 square feet of land area, which represents 17.48% of the total land area in Village Park Subdivision. The outlots that were created as part of the Village Park subdivision are intended to meet the 10% common open space requirement of the FS-RM zoning district. Open space is defined in the Zoning Ordinance as having qualities of active or passive use. A separate site development plan has been assigned to the improvements of the lots and landscaping as they are required elements of the FS-RM zoning related to the development of the individual FS-RM apartment lots in the subdivision. (See *Attachment B: Landscaping Plan*).

Approval is requested at this time to coordinate with the approval of Major Site Development Plans to construct four 12-unit apartment buildings in the “FS-RM” (Suburban Residential Medium Density) zone, and a Minor Site Development Plan for two 36-unit buildings in the “RH” (Residential High Density) zone portion of Village Park Subdivision. **Installation of landscaping in Outlots A and D is a condition of approval prior to occupancy of the apartment buildings proposed for this subdivision.** Consistent with the Development Principles for Suburban Residential Zoning, common open space must be provided for use by the future tenants of the apartments.

The main purpose of the review is for the grading of the site and configuration of the final landscaping details and improvements. Outlots A and D serve as open space for the subdivision, as well as for storm water detention, surface water flowage, and public utility easements. Outlot A is a “dry detention” area, which will detain storm water during significant rain events. Outlot D is a “wet pond”, which will be partially filled with storm water on a consistent basis. The detention areas occupy almost the entire space in each of all of the outlots.

Outlot D includes an area for the shared use path (10 feet wide) next to the west boundary of Outlot D, and a small area for two trees, three shrubs and a bench. This path connects to the shared use path that will be constructed within the right-of-way on the north side of Cottonwood Drive. The proposed location of the shared use path to the south is approximately two feet from the west boundary of the outlot. The path is

generally within 10 to three feet from the edge of the slope of the stormwater pond. The interface to the west of the path will be with a parking lot of the RH apartment development. The RH apartments will likely have a 5-foot planter with an L3 screen of a fence or high shrubs.

Staff has concerns about the design of the path up against the RH property line due to the interface with the buffering. **The path was originally intended to be on the east side of the outlot, but during the Master Plan and subdivision review residents living east of the site asked that it be placed on the west side.** Staff believes having a greater separation from the RH would better meet the design principles for open well landscaped areas within suburban zoning. The developer is concerned that adjusting the path location further from the property line would affect their stormwater detention design and impact the overall project design

In addition, the Landscape Plan shows the shared-use path terminating short of the southern boundary of Village Park Subdivision. An easement is needed on Lot 12 to provide for the extension of the shared-use path to the southern boundary of Lot 12, and eventually continue outside the Ames corporate limits in rural Story County. This needs to be added as a condition of approval of the Major Site Development Plan (Landscape Plan) for Outlot D, at 2036 Cottonwood Road.

Outlot A abuts the shared use path in the right-of-way for Cottonwood Road. The developer is proposing two groupings of one tree and two shrubs along the northwest perimeter of Outlot A, and a single shrub between the two groupings. Landscaping of the two outlots with trees, shrubs and amenities for the residents of Village Park Subdivision is minimal, beyond the shared use path that is routed through Outlot D. Staff believes that adding two large street trees at the southwest intersection with University Boulevard would tie the site together better than the two open areas that are now proposed.

The attached landscaping Plan identified improvement for Outlot C as well. The improvements to Outlot C are not tied to the initial development of the Cottonwood apartments and will be considered as part of the approvals for development along Aurora Avenue. Outlot C will include stormwater detention and a walkway connection to the west property line for future extension into a subdivision. Outlot B is not identified on the landscape plan. It will be part of the site development plan for Lot 5 and will include a walkway connecting to Christofferson Park to the north.

At its meeting on November 2, 2016, the Planning and Zoning Commission reviewed the proposed Major Site Development Plan, and discussed site landscaping, storm water detention areas, the shared use path, and useable open space for the project. The applicant spoke to the Commission concerning the lack of design flexibility for the outlots, given mandated requirements for storm water detention and treatment. There were no comments by the public. The Commission expressed concern about the general lack of usable space for the overall development due to the amount of stormwater detention facilities, but understood the constraints that currently existed with the design. By a vote of 5-0, the Commission recommended approval of the Major Site

Development Plan (Landscape Plan), with the following conditions, as recommended by staff:

- A. Provide two large overstory street trees (e.g. red oaks) within the southwest corner of the Cottonwood/University right-of-way.
- B. No fencing of the stormwater detention pond along the shared use path.

**Staff has included a third recommended condition of approval, following the action by the Planning and Zoning Commission. The third condition (C) addresses the termination of the path at the south boundary of the outlot. As currently shown, it ends without reaching an abutting property line. To ensure that the path can continue southward, the condition states that the path must end at an easement that allows for future extension.** Due to the “point” of the triangle lot line configuration of the outlot, the continuation of the path must go through an adjoining property, likely Lot 12 of the subdivision where the RH apartments will be built. Staff will include a condition for the minor site development plan of the Lot 12 apartments that an easement and graded area be provided through the lot to allow extension of the path south to the abutting Burgason property. As part of the outlot approval condition, an easement has to allow for the opportunity for the extension to occur on Roth property as well. This allows for two options to extend the path in the future.

#### **ALTERNATIVES:**

1. The City Council can approve the Major Site Development Plan (Landscape Plan) for “Outlot A” (3201 University Boulevard), and Outlot D (2036 Cottonwood Road) in Village Park Subdivision, with the stipulation that the improvements are to be completed in coordination with the FS-RM apartment development of Lots 1,2,3, and 4 and following conditions:
  - A. Provide two large overstory street trees (e.g. red oaks) within the southwest corner of the Cottonwood/University right-of-way.
  - B. No fencing of the stormwater detention pond along the shared use path.
  - C. Extend the path to the south end of the Outlot D and terminate the trail into an easement area that allows the path to be extended to the southern boundary of Village Park Subdivision.
2. The City Council can approve the Major Site Development Plan (Landscape Plan) for “Outlot A” (3201 University Boulevard), and Outlot D (2036 Cottonwood Road) in Village Park Subdivision, with modifications.
3. The City Council can deny the Major Site Development Plan (Landscape Plan) for “Outlot A” (3201 University Boulevard), and Outlot D (2036 Cottonwood Road) in Village Park Subdivision, if it finds the project does not meet the Major Site Development Plan criteria.
4. Action on this request can be postponed and referred back to City staff and/or the applicant for additional information.

### **CITY MANAGER'S RECOMMENDED ACTION:**

The Major Site Development Plan review is to determine conformance with development standards, and appropriate arrangement and design of the use of the site. FS-RM zoning is intended to implement the LUPP vision of landscaped suburban style development that provides for desirable apartment housing choices. The proposed development is consistent with requirement that a minimum of 10% of the gross area of the development be devoted to common open space.

The extension of the shared use path was a requirement of the rezoning Master Plan. The developer believes that the inclusion of the path meets the requirement for common open space and that its location on the common boundary line with the RH apartments is the only practical location to meet the requirement. Staff finds that the path will functionally meet the trail interests of the City and Story County, but that the feel of the space will be tight with the minimal transition to the apartment complex to the west. Although the location of the path on the east side would be more desirable for the path, the neighbors opposed this location with the understanding it can be built on the west side of the outlot as proposed.

**Therefore, it is the City Manager's recommendation that the City Council adopt Alternative #1 as stated above.**



## **ADDENDUM**

**Major Site Development Plan Criteria.** Additional criteria and standards for review of all Major Site Development Plans are found in Ames *Municipal Code* Section 29.1502(4)(d) and include the following requirements.

***When acting upon an application for a Major Site Development Plan approval, the Planning and Zoning Commission and the City Council shall rely upon generally accepted site planning criteria and design standards. These criteria and standards are necessary to fulfill the intent of the Zoning Ordinance, the Land Use Policy Plan, and are the minimum necessary to safeguard the public health, safety, aesthetics, and general welfare.***

- 1. The design of the proposed development shall make adequate provisions for surface and subsurface drainage to limit the rate of increased runoff of surface water to adjacent and downstream property.***

The Public Works Department has reviewed the storm water management plan and finds that the proposed development has met the required storm water quantity and quality measures by use of the proposed regional detention facilities on the southeast and northeast areas of the site.

- 2. The design of the proposed development shall make adequate provision for connection to water, sanitary sewer, electrical, and other utility lines within the capacity limits of those utility lines.***

No public utilities will provide service to the outlots, with the exception of stormwater pipes that outlet into the detention ponds.

- 3. The design of the proposed development shall make adequate provision for fire protection through building placement, acceptable location of flammable materials, and other measures to ensure fire safety.***

Not applicable.

- 4. The design of the proposed development shall not increase the danger of erosion, flooding, landslide, or other endangerment to adjoining and surrounding property.***

It is not anticipated that this proposed development will be a danger due to its site location and proximity to other uses.

**5. *Natural topographic and landscape features of the site shall be incorporated into the development design.***

The site is currently devoid of any significant vegetation. Grading for storm water detention was completed as part of the Preliminary Plat improvements, to direct storm water where required.

**6. *The design of the interior vehicle and pedestrian circulation shall provide for convenient flow of vehicles and movement of pedestrians and shall prevent hazards to adjacent streets or property.***

Access to Outlots A and D is provided through the proposed shared use path.

**7. *The design of outdoor parking areas, storage yards, trash and dumpster areas, and other exterior features shall be adequately landscaped or screened to minimize potential nuisance and impairment to the use of adjoining property.***

An existing grouping of trees along the southeast perimeter of Outlot D will be maintained to provide additional screening for the single-family detached homes abutting the perimeter of Outlot D.

**8. *The proposed development shall limit entrances and exits upon adjacent streets in order to prevent congestion on adjacent and surrounding streets and in order to provide for safe and orderly vehicle movement.***

The shared use path, providing access to Outlots A and D, will cross Cottonwood Road in one location.

**9. *Exterior lighting shall relate to the scale and location of the development in order to maintain adequate security, while preventing a nuisance or hardship to adjacent property or streets.***

No lighting is proposed for the outlots.

**10. *The proposed development shall ensure that dust and other forms of air pollution, noise disturbances, odor, glare, and other nuisances will be limited to acceptable levels as prescribed in other applicable State and City regulations.***

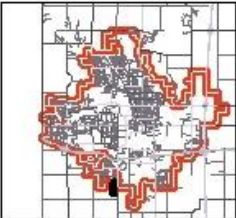
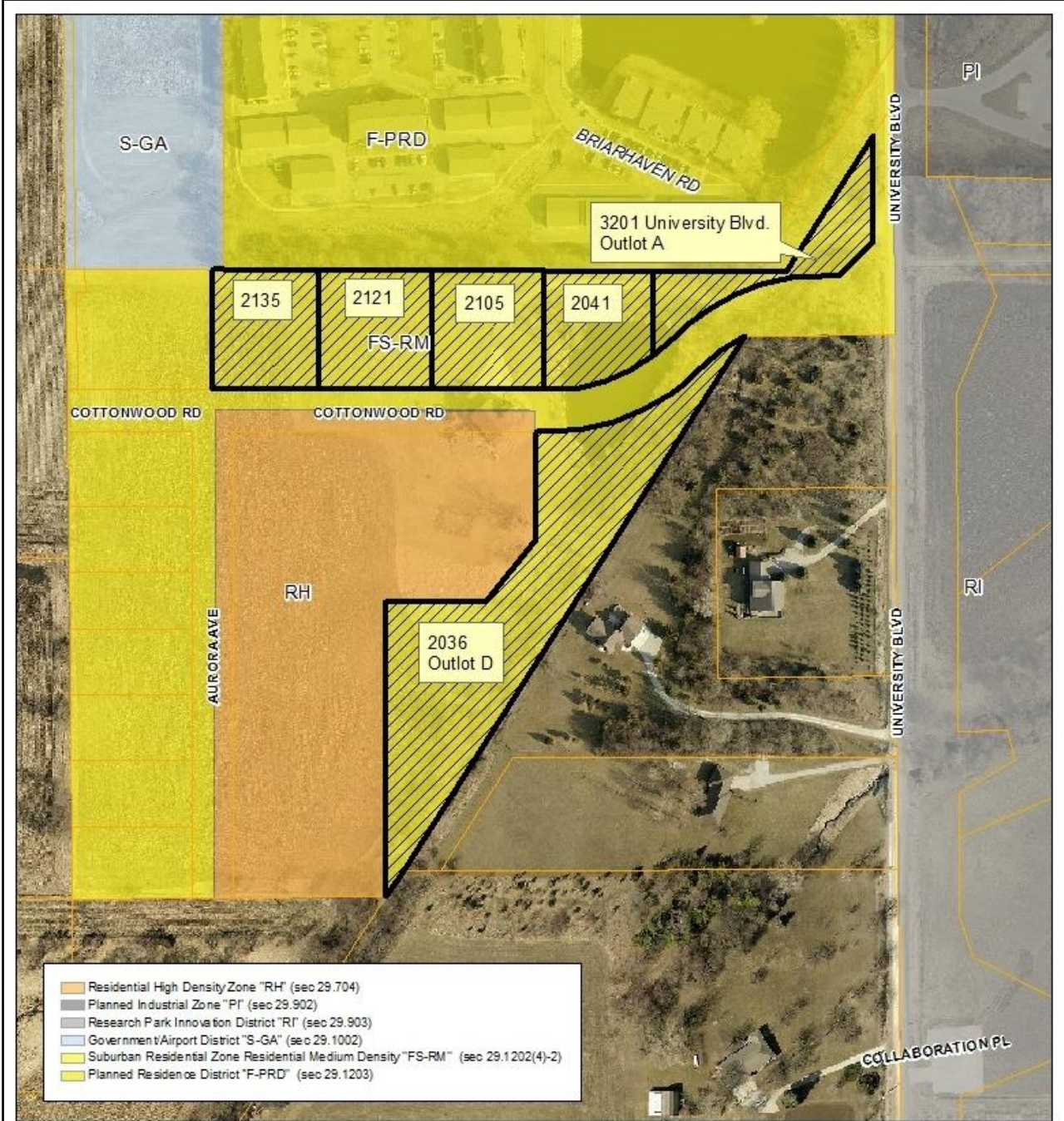
The use of the outlots as open space and storm water detention is not expected to exceed the level of nuisances, typical of this type of development, beyond acceptable levels, as prescribed in other applicable State and City regulations.

***11. Site coverage, building scale, setbacks, and open spaces shall be in proportion with the development property and with existing and planned development and structures, in adjacent and surrounding property.***

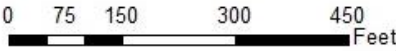
Open areas and landscaped areas meet the quantitative standards of the zoning ordinance with 17% of the site in common open space. The plan does not include space for recreational activities, but does include a trail to meet passive recreation interests.

The Development Review Committee has reviewed the Major Site Development Plan and found that it complies with all other requirements of the Ames Municipal Code.

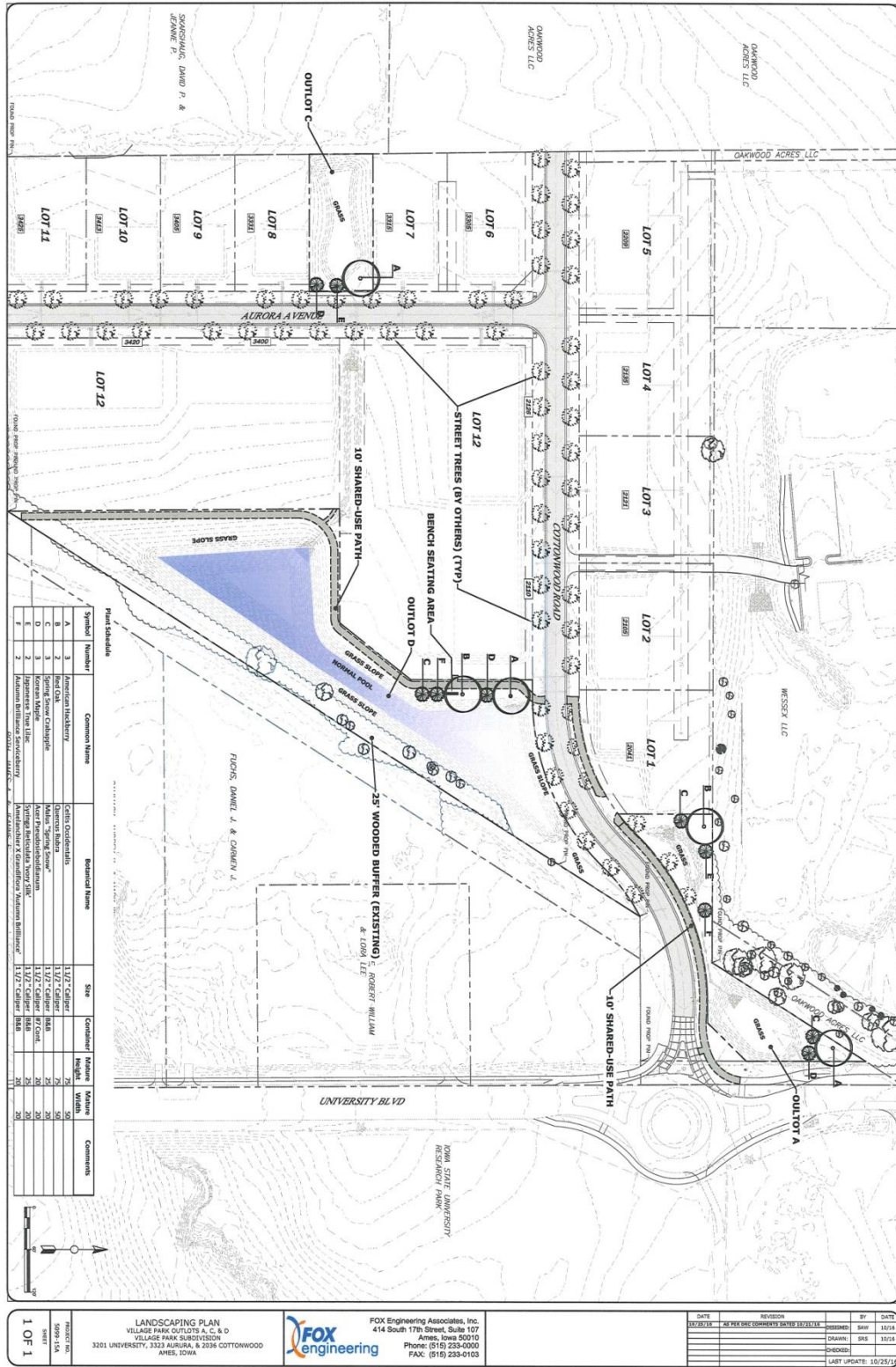
Attachment A: Location & Zoning Map



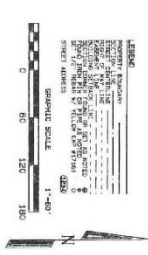
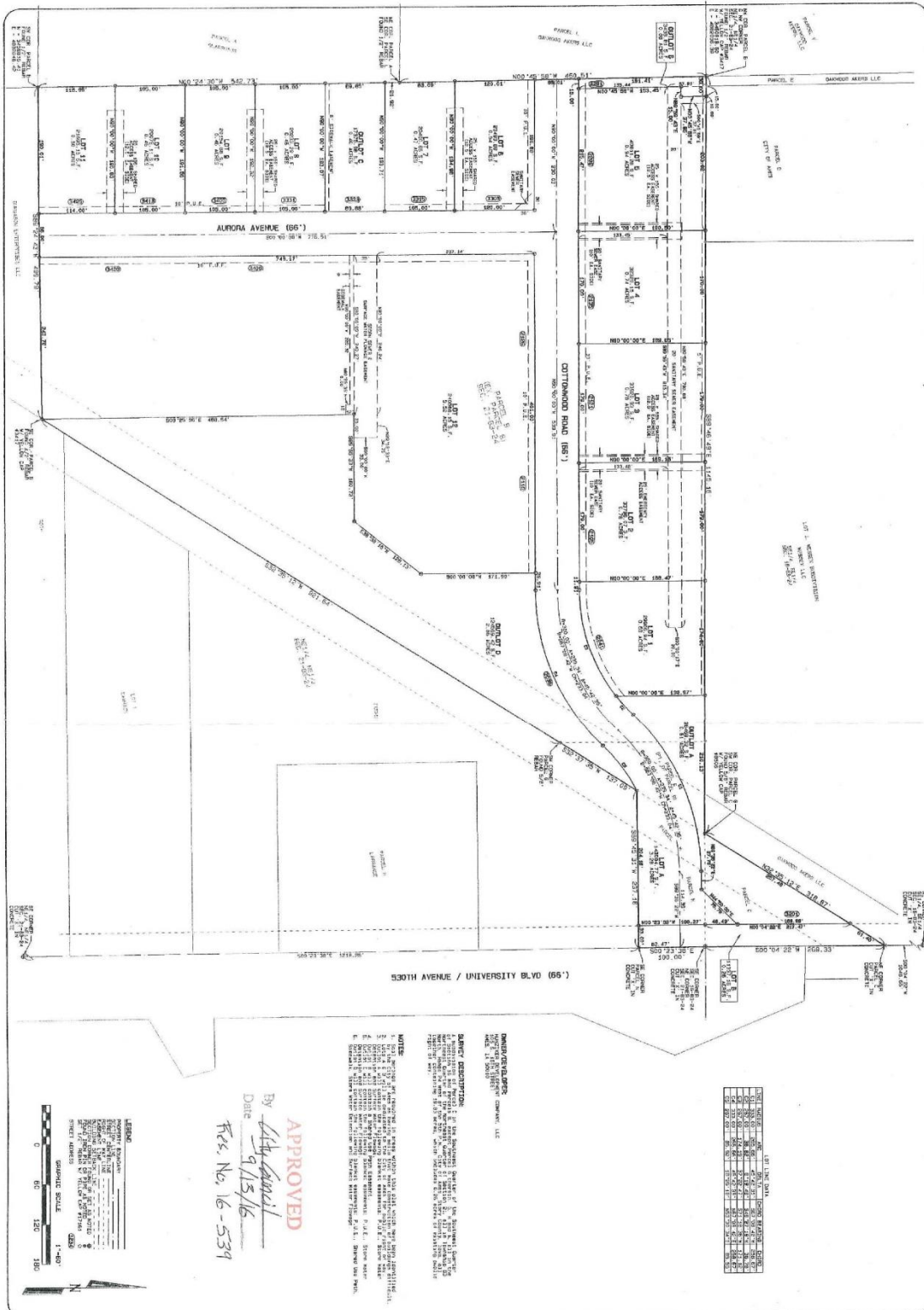
**Location & Zoning Map**  
**2036, 2041, 2105, 2121, 2135**  
**Oakwood Rd. & 3201 University Blvd.**



# Attachment B: Landscaping Plan for Outlots A & D, Village Park Subdivision



# Attachment C: Village Park Subdivision Final Plat



**APPROVED**

By *A. J. Bond*

Date *9/15/16*

File No. *16-539*

**NOTES**

1. THIS PLAT IS THE RESULT OF A SURVEY CONDUCTED BY STUMBO & ASSOCIATES, LAND SURVEYING, INC., UNDER THE SUPERVISION OF THE IOWA BOARD OF SURVEYING AND MAPPING.
2. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE IOWA SURVEYING AND MAPPING ACT AND THE IOWA BOARD OF SURVEYING AND MAPPING RULES AND REGULATIONS.
3. THE SURVEY WAS CONDUCTED USING THE FOLLOWING METHODS AND EQUIPMENT:
4. THE SURVEY WAS CONDUCTED USING THE FOLLOWING METHODS AND EQUIPMENT:
5. THE SURVEY WAS CONDUCTED USING THE FOLLOWING METHODS AND EQUIPMENT:
6. THE SURVEY WAS CONDUCTED USING THE FOLLOWING METHODS AND EQUIPMENT:
7. THE SURVEY WAS CONDUCTED USING THE FOLLOWING METHODS AND EQUIPMENT:

**BLANK DESCRIPTION**

PARCEL C IN THE SE1/4, SE1/4 OF SEC. 16-B3-24 & PARCELS B, G, H & N IN THE NE1/4, NE1/4 OF SEC. 24-B3-24, CITY OF AMES, STORY COUNTY, IOWA

LOT	AREA (SQ. FT.)	AREA (AC.)
LOT 1	10,000	0.23
LOT 2	10,000	0.23
LOT 3	10,000	0.23
LOT 4	10,000	0.23
LOT 5	10,000	0.23
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LOT 99	10,000	0.23
LOT 100	10,000	0.23

**STUMBO & ASSOCIATES**  
LAND SURVEYING  
510 S. 17th STREET, SUITE 102 AMES, IOWA 50010  
PHONE 515-233-3689 FAX 515-233-4403

**FINAL PLAT**  
VILLAGE PARK SUBDIVISION  
PARCEL C IN THE SE1/4, SE1/4 OF SEC. 16-B3-24 & PARCELS B, G, H & N IN THE NE1/4, NE1/4 OF SEC. 24-B3-24, CITY OF AMES, STORY COUNTY, IOWA  
JOB #16604FP DATE: 8/15/16 PAGE: 1 of 1

Certification: I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and the date of the last inspection (date) was on 8/15/16.

*R. R. Bond* Date: 8/15/16  
IOWA LICENSE #17161  
By License Renewal Act of December 31, 2017



**COUNCIL ACTION FORM**

**SUBJECT: CLUBHOUSE WITHIN FS-RM ZONING DISTRICT**

**BACKGROUND:**

The City Council recently approved an amendment to the Zoning Ordinance to allow for clubhouses as an accessory use with the FS-RM zoning district. Council completed the first reading of the ordinance on August 9<sup>th</sup> and the third reading on September 13<sup>th</sup> and the ordinance was subsequently published.

After publication and printing of the ordinance, staff discovered that the wrong table of uses was included in the adopted ordinance. The FS-RL table of uses was used inadvertently, and it now includes the change which had been meant for the FS-RM table. A change just to the FS-RM was what had been intended. The following change was the intended amendment and was what was approved by the City Council based upon the recommendation in the Council Action Form:

**Chapter 29 FS-RM Table 29.1202(4)-2**

Household Living Accessory Use	Status	Approval Required	Approval Authority
Clubhouse	<del>N</del> Y	-- SDP Major	--City Council

**ALTERNATIVES:**

1. The City Council can approve on first reading ordinances to correct this scrivener's error, and to amend the Zoning Ordinance to allow a clubhouse as an accessory use within the FS-RM zoning district subject to approval of a Major Site Development Plan. **Staff also requests second and third reading for approval of the ordinance.**
2. The City Council can decide not to approve on first reading an these ordinances to correct this scrivener's error. However, this decision will elongate the amendment process requiring the restarting of the whole approval process.

**MANAGER'S RECOMMENDED ACTION:**

The proposed ordinance corrects an unintended error in the previous ordinance. Due to City Council's pervious review of this item and direction to make the amendment to the FS-RM zoning district, it is important to correct the scrivener's error to allow for projects to proceed in conformance to the Zoning Ordinance.

**Therefore, it is the recommendation of the City Manager that the City Council accept Alternative #1, thereby approving the text amendment allowing for clubhouses within FS-RM zoning and passing the ordinance on all three readings.**



**ORDINANCE NO.**

**AN ORDINANCE TO AMEND THE MUNICIPAL CODE OF THE CITY OF AMES, IOWA, BY REPEALING SECTION 29 TABLE 1202(4)-2 AND ENACTING A NEW SECTION 29 TABLE 1202(4)-2 THEREOF, FOR THE PURPOSE OF ALLOWING FOR CLUBHOUSES WITHIN FS-RM ZONING; REPEALING ANY AND ALL ORDINANCES OR PARTS OF ORDINANCES IN CONFLICT TO THE EXTENT OF SUCH CONFLICT; PROVIDING A PENALTY; AND ESTABLISHING AN EFFECTIVE DATE.**

**BE IT ENACTED**, by the City Council for the City of Ames, Iowa, that:

Section One. The Municipal Code of the City of Ames, Iowa shall be and the same is hereby amended by repealing Section 29 Table 1202(4)-2 and enacting a new Section 29 Table 1202(4)-2 as follows:

**“Table 29.1202(4)-2  
Suburban Residential Floating Zoning  
Residential Medium Density (FS-RM) Uses**

<b>USE CATEGORIES</b>	<b>STATUS</b>	<b>APPROVAL REQUIRED</b>	<b>APPROVAL AUTHORITY</b>
<b>RESIDENTIAL USES</b>			
<b>Group Living</b>	N, except Hospices, Assisted Living, and Nursing Homes, permitted by Special Permit.	SP	ZBA
<b>Household Living</b>			
Single Family Dwelling	Y	ZP	ZEO
Two Family Dwelling	Y	ZP	ZEO
Single Family Attached Dwelling. Front Driveway Access (5 units or less)	Y	SDP Minor	Staff
Single Family Attached Dwelling. Rear Driveway Access (12 units or less)	Y	SDP Minor	Staff
Apartment Dwelling (12 units or less)	Y	SDP Major	City Council
Family Home	Y	ZP	ZEO
Independent Senior Living Facility (unlimited number of units)	Y	SP	ZBA
<b>Household Living Accessory Uses</b>			
Home Office	Y	HO	ZBA/Staff
Home Business	Y	HO	ZBA/Staff
Clubhouse	Y	SDP Major	City Council
<b>Short Term Lodging</b>	N, except Bed and Breakfast permitted as a Home Occupation.	HO	ZBA
<b>OFFICE USES</b>	N	--	--
<b>TRADE USES</b>			
Retail Sales and Services General	N	--	--
Entertainment, Restaurant and Recreation Trade	N	--	--
<b>INSTITUTIONAL USES</b>			
Colleges & Universities	Y	SP	ZBA
Community Facilities	Y	SP	ZBA
Funeral Facilities	Y	SP	ZBA
Child Day Care Facilities	Y	HO or SP	Staff/ZBA

		(depending on size)	
Medical Centers	N	--	--
Religious Institutions	Y	SP	ZBA
Schools	Y	SP	ZBA
Social Service Providers	Y	SP	ZBA
<b>TRANSPORTATION, COMMUNICATIONS &amp; UTILITY USES</b>			
Basic Utilities	Y	SDP Major	City Council
Essential Public Services	Y	SP	ZBA
Radio & TV Broadcast Facilities	N	---	---
Parks & Open Areas	Y	SDP Minor	Staff
Personal Wireless Communication Facilities	Y	SP	ZBA

Y = Yes: permitted as indicated by required approval.  
N = No: prohibited  
SP = Special Use Permit required: See Section 29.1503  
ZP = Building/Zoning Permit required: See Section 29.1501  
SDP Minor = Site Development Plan Minor: See Section 29.1502(3)  
SDP Major = Site Development Plan Major: See Section 29.1502(4)  
HO = Home Occupation  
ZBA = Zoning Board of Adjustment  
ZEO = Zoning Enforcement Officer  
*(Ord. No. 3825, 03-22-05; Ord. No. 4188, 7-22-14.)*”

Section Two. Violation of the provisions of this ordinance shall constitute a municipal infraction punishable as set out by law.

Section Three. All ordinances, or parts of ordinances, in conflict herewith are hereby repealed to the extent of such conflict, if any.

Section Four. This ordinance shall be in full force and effect from and after its passage and publication as required by law.

Passed this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

\_\_\_\_\_  
Diane R. Voss, City Clerk

\_\_\_\_\_  
Ann H. Campbell, Mayor

**ORDINANCE NO.**

**AN ORDINANCE TO AMEND THE MUNICIPAL CODE OF THE CITY OF AMES, IOWA, BY REPEALING SECTION 29 TABLE 1202(4)-1 THEREOF, AND ENACTING SECTION 29 TABLE 1202(4)-1 FOR THE PURPOSE OF CORRECTION OF ORDINANCE 4269; REPEALING ANY AND ALL ORDINANCES OR PARTS OF ORDINANCES IN CONFLICT TO THE EXTENT OF SUCH CONFLICT; PROVIDING A PENALTY; AND ESTABLISHING AN EFFECTIVE DATE.**

**BE IT ENACTED**, by the City Council for the City of Ames, Iowa, that:

Section One. The Municipal Code of the City of Ames, Iowa shall be and the same is hereby amended by repealing Section 29 Table 1202(4)-1 and enacting a new Section 29 Table 1202(4)-1 as follows:

**Table 29.1202(4)-1  
Suburban Residential Floating Zoning  
Residential Low Density (FS-RL) Uses**

USE CATEGORIES	STATUS	APPROVAL REQUIRED	APPROVAL AUTHORITY
<b>RESIDENTIAL USES</b>			
<b>Group Living</b>	N	--	--
<b>Household Living</b>			
Single Family Dwelling	Y	ZP	ZEO
Two Family Dwelling	Y, if pre-existing	ZP	ZEO
Single Family Attached Dwelling, Front Driveway Access (5 units or less)	Y	SDP Minor	Staff
Single Family Attached Dwelling, Rear Driveway Access (12 units or less)	Y	SDP Minor	Staff
Apartment Dwelling (12 units or less)	N	--	--
Family Home	Y	ZP	ZEO
<b>Household Living Accessory Uses</b>			
Home Office	Y	HO	ZBA/Staff
Home Business	Y	HO	ZBA/Staff
Clubhouse	N	--	--
<b>Short-term Lodging</b>	N, except Bed and Breakfast permitted as a Home Occupation.	HO	ZBA/Staff
<b>OFFICE USES</b>	N	--	--
<b>TRADE USES</b>			
Retail Sales and Services General	N	--	--
Entertainment, Restaurant and Recreation Trade	N	--	--
<b>INSTITUTIONAL USES</b>			
Colleges & Universities	Y	SP	ZBA
Child Day Care Facilities	Y	SP	ZBA
Community Facilities	Y	SP	ZBA
Medical Centers	N	--	--
Religious Institutions	Y	SP	ZBA
Schools	Y	SP	ZBA
Social Service Providers	N	--	--
<b>TRANSPORTATION, COMMUNICATIONS &amp; UTILITY USES</b>			

Basic Utilities	Y	SDP Major	City Council
Radio & TV Broadcast Facilities	N	---	---
Parks & Open Areas	Y	SDP Minor	Staff
Essential Public Services	Y	SP	ZBA
Personal Wireless Service Facilities	Y	SP	ZBA

Y = Yes: permitted as indicated by required approval.

N = No: prohibited

SP = Special Use Permit required: See Section 29.1503

ZP = Building/Zoning Permit required: See Section 29.1501

SDP Minor = Site Development Plan Minor: See Section 29.1502(3)

SDP Major = Site Development Plan Major: See Section 29.1502(4)

HO = Home Occupation

ZBA = Zoning Board of Adjustment

ZEO = Zoning Enforcement Officer

(Ord. No. 3825, 03-22-05; Ord. No. 4188, 7-22-14).”

Section Two. Violation of the provisions of this ordinance shall constitute a municipal infraction punishable as set out by law.

Section Three. All ordinances, or parts of ordinances, in conflict herewith are hereby repealed to the extent of such conflict, if any.

Section Four. This ordinance shall be in full force and effect from and after its passage and publication as required by law.

Passed this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

\_\_\_\_\_  
Diane R. Voss, City Clerk

\_\_\_\_\_  
Ann H. Campbell, Mayor

**COUNCIL ACTION FORM**

**SUBJECT:**            **CYRIDE REROOFING 2016 PROJECT**

**BACKGROUND:**

CyRide included a project in the first year of the 2016-2021 Capital Improvements Plan (CIP) for replacement of the roof over the original portion of its building. The roof is no longer under warranty, was replaced prior to 1999, and has developed multiple leaks in recent years. The specified roof would change from the existing ballasted-type roof to a mechanically fastened PVC roof system, which is similar to what has been installed on new areas of CyRide’s facility. The budgeted cost in the CIP was \$375,000, secured from the following sources:

<b>Funds Available</b>	<b>Dollars</b>
State PTIG Funds (STA-IG-015-FY17)	\$ 320,000
CyRide’s Capital Budget	\$ 55,000
<b>Total Available Funding</b>	<b>\$ 375,000</b>

Since approval of the CIP, CyRide has worked with ASK Studios to develop plans and specifications for this project. Those were approved by the City Council on September 27 and bids were due on October 26, 2016.

Six bids were received from area companies as illustrated on the attached bid form. Academy Roofing & Sheet Metal located in Des Moines, Iowa submitted the low base bid of \$278,500. With a project budget of \$375,000 and a favorable base bid, CyRide will be able to consider accepting the only alternate to the project, which calls for the replacement of existing skylights with new units. Academy Roofing’s bid for Alternate No. 1 was \$28,500. The total project cost to accept the bid and alternate from Academy Roofing is \$307,000, which leaves \$68,000 for contingencies, if needed.

The Ames Transit Agency Board of Trustees approved award of this contract and Alternate #1 to Academy Roofing & Sheet Metal on November 1, 2016. Award of contract is subject to concurrence by the Iowa Department of Transportation’s Office of Public Transit.

**ALTERNATIVES:**

1. Award a construction contract for the CyRide Reroofing 2016 Project to Academy Roofing & Sheet Metal of Des Moines, Iowa for the base bid amount of \$278,500 and Alternate No. 1 for \$28,500, for a total of \$307,000. Award of contract is subject to approval by the Iowa Department of Transportation's Office of Public Transit.
2. Award the contract to one of the other bidders. However, it is very likely that the Iowa Department of Transportation's Office of Public Transit will not approve any bid other than the lowest one.
3. Reject all bids and direct staff to modify the project per the Ames Transit Agency Board of Trustees' and City Council priorities.

**CITY MANAGER'S RECOMMENDED ACTION:**

CyRide's reroofing project will allow it to proceed forward with a needed facility improvement, with grant funds secured from the State of Iowa, under a favorable bid price.

Therefore, it is the recommendation of the City Manager that the City Council adopt Alternative No. 1 as described above.

**CITY OF AMES, IOWA**

Mike Adair, Procurement Specialist II  
 Ph: 515-239-5125 Fax: 515-239-5325

**BID NO. 2017-047**

**CYRide Reroofing 2016**

**BIDDERS**

	5% Bid Bond	Bidders Status Form	Addendum #1	Provide all labor, equipment, materials, and other components necessary to complete the CYRide Reroofing 2016 in accordance with Plans and Specifications.	Proposed Start Date:	Proposed Completion Date:	ALTERNATE No. 1: Replace all existing skylights with new units and accessory items such as protection screen, specified in 08 6200.
Academy Roofing & Sheet Metal	Yes	Yes	Yes	\$278,500.00	60 Days from contracts	5/1/2017	\$28,500.00
Central States Roofing	Yes	Yes	Yes	\$294,000.00	3/15/2017	5/20/2017	\$28,300.00
Black Hawk Roof Company	Yes	Yes	Yes	\$321,200.00	12/12/2016	3/13/2017	\$39,800.00
T & K Roofing & Sheet Metal Inc.	Yes	Yes	Yes	\$362,355.00	3/13/2017	4/8/2017	\$27,300.00
Wood Roofing Company	Yes	Yes	Yes	\$382,178.00	12/1/2016	5/31/2017	\$39,980.00
Brockway Mechanical & Roofing	Yes	Yes	Yes	\$393,780.00	1/3/2017	5/30/2017	\$30,400.00

COUNCIL ACTION FORM

**SUBJECT: RURAL PLAT OF SURVEY FOR BOUNDARY LINE ADJUSTMENT  
AT 3615 ZUMWALT STATION ROAD**

**BACKGROUND:**

The City's subdivision regulations are found in Chapter 23 of the Ames Municipal Code. These regulations include the process for creating or modifying property boundaries and for determining if any improvements are required in conjunction with the platting of property. The regulations also describe the process for combining existing platted lots or conveyance parcels in order to create a parcel for development purposes. A plat of survey is allowed by Section 23.309 as a boundary line adjustment.

3615 Zumwalt Station Road is located within Story County and the Urban Services Area Designation of the Ames Urban Fringe Plan. The site is approximately one quarter of a mile west of the intersection of State Street and Zumwalt Station Road (see Attachment A, Location Map). The 3615 Zumwalt property contains a home owned by the Sanders. The larger farmland to the north and west is owned by Champlin Farms LLC and has no residence on the property. **The proposed boundary line adjustment resolves a dispute of ownership of approximately 60 feet of land along the rear property line of the 3615 Zumwalt Station Road property. (See applicant letter Attachment C) As part of the survey approval, the applicant requests the City Council waive the requirement to completely survey the existing boundaries of both properties that are part of the boundary line adjustment and accept the complete survey of the smaller adjusted property at 3615 Zumwalt Station Road.** City standards require a complete survey while County Auditor's recording requirements do not require a complete survey of both original parcels that are part of a plat of survey.

The Champlin Lloyd Farm LLC own multiple properties in this area. The subject Champlin property with this plat of survey is approximately 60 acres and surrounds the Sanders' 1.6 acre parcel on the west and to the north. The Sanders seek to increase their parcel size as a result of a settlement between the two property owners giving the Sanders legal title to a strip of land they thought they already owned. To do so requires moving of the north property line approximately 60 feet further north. Approximately 0.93 acres would be exchanged between the two sites as part of the boundary line adjustment. (See Plat of Survey as Attachment B)

The Ames Urban Fringe Plan designates the future use of this property as Urban Residential. For property in Story County with this land use designation, the area is to be urban in character and become part of a municipal jurisdiction as it develops, under the 28-E Intergovernmental Agreement with Story County. The Urban Residential designation is to be annexed and then developed at an urban density with infrastructure and subdivision. Development of property, including subdivision, is typically required to be annexed to the City prior to approval of development. Authority to approve subdivisions within the Urban



Residential area has been delegated exclusively to the City as part of the 28-E agreement. **However, both property owners do not wish to annex at this time and request that the plat of survey be approved without annexation.** The Sanders have provided a signed covenant agreeing to future annexation as is customary by the City for rural development. The Champlin property owner has not signed such a covenant and does not desire to do so as part of this process.

There are no additional parcels being created with the Plat of Survey, therefore, City subdivision standards do not require any additional infrastructure with the proposed plat of survey. Waiving the infrastructure requirement for a subdivision is usually the basis for requiring the property owner to sign three customary agreements pertaining to future annexation, assessment, and water buyout. The only agreement that is necessary in this situation is an Annexation Agreement, since it is a boundary line adjustment that does not permit additional development. There is no plan at this time, by either owner, to further urbanize this area. The Champlin property combined with the other holdings in the area would be a prime development area within the Southwest Growth Area in the future.

The applicant requests waiving of Section 23.308(3), which necessitates the adjacent property owned by Champlin to be surveyed along with the Sanders' parcel (see Attachment C, Applicant's letter). Section 23.103 of the Subdivision Code does allow waivers of the Subdivision Code if approved by the City Council. The Champlin parcel is not included in this proposed plat of survey. Usually, a boundary line adjustment would result in a plat drawing of two parcels. In this instance, however, the applicant is requesting a waiver of Section 23.308(3) to create a survey of only the resulting Sanders parcel. The applicant believes that requiring the Champlin property to be surveyed presents an extraordinary hardship on the Sanders, due to the size and configuration of the Champlin property.

The two parcels are located in the "Urban Service Area (USA)" of the Urban Fringe. This particular area is designated in the LUPP as part of the SW Growth Area. Story County has waived the exercise of its subdivision authority in areas designated as USA. The USA is the area adjacent to the City limits and is planned for urban development. Land in the USA should be protected from any form of development that would constrain the efficient growth of the community. Inappropriate development in USA would include low-density development lots served by on-site wastewater treatment systems and other forms of rural development. The proposed Plat of Survey is not for the purpose of additional, or development that would be inconsistent with the USA.

Approval of this plat of survey will allow the applicant to prepare the official plat of survey, submit it to the Planning and Housing Director for review. The Director will sign the plat of survey confirming that it fully conforms to all conditions of approval. The prepared plat of survey may then be signed by the surveyor, who will submit it for recording in the office of the County Recorder.

### **ALTERNATIVES:**

1. The City Council can adopt the resolution approving the proposed plat of survey and waiver of Section 23.308(3), exempting the Champlin property from being surveyed as

part of the Plat of Survey for 3615 Zumwalt Station Road, and accepting the annexation covenant from the Sanders.

2. The City Council can adopt the resolution approving the proposed plat of survey and waiver of Section 23.308(3), exempting the Champin property from being surveyed as part of the Plat of Survey for 3615 Zumwalt Station Road, and require the Sanders to sign all three customary agreements pertaining to future annexation, assessment, and water buyout, if necessary.
3. The City Council can deny the proposed plat of survey if the City Council finds that the requirements for plats of survey as described in Section 23.308 have not been satisfied.
4. The City Council can deny the proposed plat of survey and require both property owners to apply for annexation.
5. The City Council can refer this back to staff and/or the owner for additional information.

**MANAGER'S RECOMMENDED ACTION:**

Staff has determined that the proposed plat of survey for a boundary line adjustment does not trigger City infrastructure requirements. Waiving the requirement for surveying of both properties would reduce the cost for the Sanders to complete the process.

Due to the overall size and number of properties under Champlin ownership it appears that a larger annexation plat would have to be completed and that a survey of one of the Champlin properties is not essential at this time. A covenant agreeing to voluntary annexation, has already been received by the City and signed by the Sanders in support of the proposed plat of survey.

Due to the broader land holdings in the area, the Champlin property is expected to be part of a larger annexation process in the future when the property is able to be developed within the City. The proposed boundary line adjustment has no effect on the ability to complete future annexation. Any future subdivision or development to either property would have to be approved by the City of Ames since it is a designated Urban Service Area in the Ames Urban Fringe Plan. Staff finds that the proposed plat of survey is not inconsistent with the Ames Urban Fringe Plan intent for new development to occur with the City and maintaining agricultural areas on the perimeter of the City would not inhibit future urbanization of the area.

**Therefore, it is the recommendation of the City Manager that the City Council accept Alternative #1, thereby adopting the resolution approving the proposed plat of survey, waiving the requirement of a complete survey of both original properties, and accept a covenant for future annexation for the Sanders property.**

**ADDENDUM  
PLAT OF SURVEY FOR 3615 ZUMWALT STATION ROAD**

Application for a proposed plat of survey has been submitted for:

- Conveyance parcel (per Section 23.307)
- Boundary line adjustment (per Section 23.309)
- Re-plat to correct error (per Section 23.310)
- Auditor's plat (per Code of Iowa Section 354.15)

The site is located at:

Owners: Francis D. & Suzanne J. Sanders

Existing Street Addresses: 3615 Zumwalt Station Road

Assessor's Parcel #: 0917400380

Legal Description: Parcel 'H':A part of the Southwest Quarter of the Southeast Quarter of Section 17, Township 83 North, Range 24 West of the 5th P.M., Story County, Iowa, being more particularly described as follows: Commencing at the Southeast Corner of said Southwest Quarter of the Southeast Quarter; thence N00°30'24"W, 251.81 feet along the East line thereof to its intersection with the northerly line of the former railroad and the point of beginning; thence continuing N00°30'24"W, 205.20 feet; thence S86°34'24"W, 346.88 feet to an existing fence line; thence S00°04'21"E, 399.85 feet along said line to the north right of way line of Zumwalt Station Road; thence S89°26'29"E, 45.59 feet along said line to the northerly line of said former railroad; thence N54°26'41"E, 371.18 feet along said line to the point of beginning, containing 2.53 acres

**Public Improvements:**

The preliminary decision of the Planning Director finds that approval requires all public improvements associated with and required for the proposed plat of survey be:

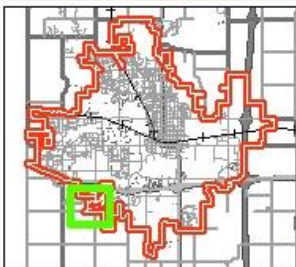
- Installed prior to creation and recordation of the official plat of survey and prior to issuance of zoning or building permits.
- Delayed, subject to an improvement guarantee as described in Section 23.409.
- Not Applicable.

Note: The official plat of survey is not recognized as a binding plat of survey for permitting purposes until a copy of the signed and recorded plat of survey is filed with the Ames City Clerk's office and a digital image in Adobe PDF format has been submitted to the Planning & Housing Department.

**ATTACHMENT A: LOCATION MAP**



**3615 Zumwalt Station Rd**



**ATTACHMENT B: PROPOSED PLAT OF SURVEY**

# PLAT OF SURVEY

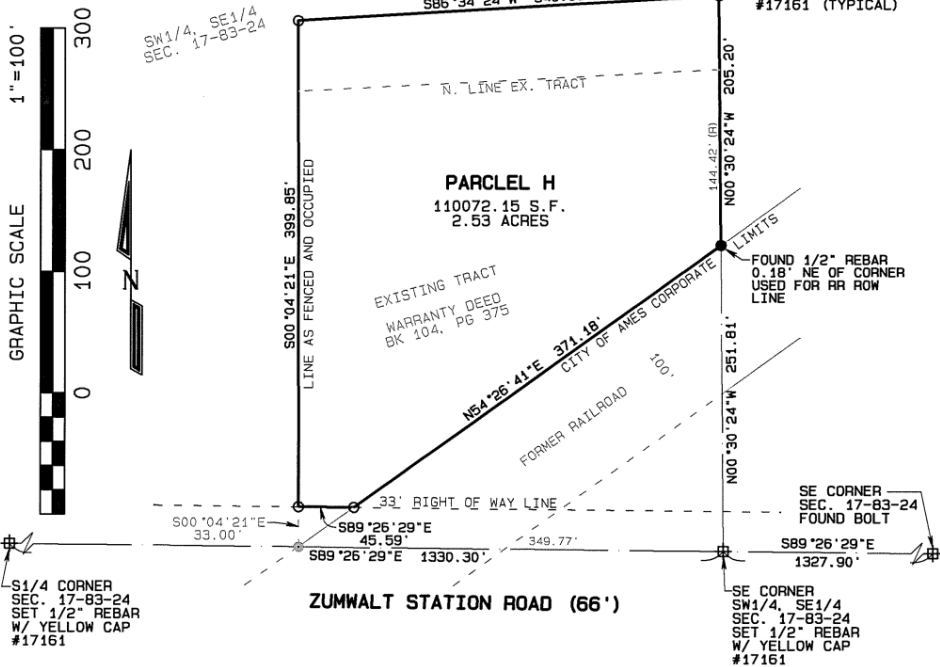
**LOCATION:** IN THE SW1/4, SE1/4, SEC. 17-83-24  
 STORY COUNTY, IOWA  
**PROPRIETORS:** EXISTING TRACT:  
 FRANCIS D. & SUZANNE J. SANDERS  
 REMAINDER:  
 CHAMPLIN LLOYD FARM, LLC  
**REQUESTED BY:** JOHN TILLO, PASLEY & SINGER LAW  
**SURVEYOR:** R. BRADLEY STUMBO, PLS #17161  
 STUMBO & ASSOCIATES LAND SURVEYING  
 P.O. BOX 1664  
 AMES, IA 50010  
 515-233-3689

**Survey Description-Parcel 'H':**  
 A part of the Southwest Quarter of the Southeast Quarter of Section 17, Township 83 North, Range 24 West of the 5th P.M., Story County, Iowa, being more particularly described as follows: Commencing at the Southeast Corner of said Southwest Quarter of the Southeast Quarter; thence N00°30'24"W, 251.81 feet along the East line thereof to its intersection with the northerly line of the former railroad and the point of beginning; thence continuing N00°30'24"W, 205.20 feet; thence S86°34'24"W, 346.88 feet to an existing fence line; thence S00°04'21"E, 399.85 feet along said line to the north right of way line of Zumwalt Station Road; thence S89°26'29"E, 45.59 feet along said line to the northerly line of said former railroad; thence N54°26'41"E, 371.18 feet along said line to the point of beginning, containing 2.53 acres.

This plat was prepared to amend the boundary of an existing tract as described in the Warranty Deed filed on August 23, 1971, in Book 104, Page 375. A new deed is required for the new parcel.

The Ames City Council approved this Plat of Survey on \_\_\_\_\_, 2017, with Resolution No. \_\_\_\_\_. I certify that it conforms to all conditions for approval.

\_\_\_\_\_  
 Planning and Housing Director



I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Professional Land Surveyor under the laws of the State of Iowa.

R. Bradley Stumbo License #17161 Date: \_\_\_\_\_  
 My license renewal date is December 31, 2017  
 Job #16944 Date: 10/17/16 Fieldwork Completed: 9/14/16 Page 1 of 1



STUMBO & ASSOCIATES LAND SURVEYING

## ACHMENT C: APPLICANT'S LETTER

### PASLEY AND SINGER LAW FIRM, L.L.P.

— ESTABLISHED 1906 —

JOHN L. TIMMONS  
JANE M. MATHISON  
FRANKLIN J. FEILMEYER  
JOHN A. TILLO

AMANDA HASSID  
STACEY C. ROGERS

323 SIXTH STREET  
P.O. BOX 664  
AMES, IOWA 50010-0664  
TELEPHONE: (515) 232-4732  
FAX: (515) 232-4756

SENDER'S EMAIL:  
JTILLO@SINGERLAW.COM

C. H. PASLEY (1875-1952)  
R. G. PASLEY (1915-2007)  
W. A. SINGER (1917-2011)  
LARRY R. CURTIS (1945 - 2016)  
G. A. PASLEY (RETIRED)  
S. A. HOLM (RETIRED)  
SCOTT L. HIPPEN (RETIRED)

September 21, 2016

Julie Gould  
Planning and Housing Dept.  
City of Ames  
515 Clark Ave. P.O. Box 811  
Ames, IA 50010

Re: Plat of Survey for Real Estate Locally Known as 3615 Zumwalt Station Road;  
Request for Waiver Pursuant to Section 23.103, City Code

Dear Ms. Gould:

As you know, I represent Francis (Dean) and Suzanne Sanders ("Sanders"). The Sanders own real estate locally known as 3615 Zumwalt Station Road, Ames, IA. For your reference, the Sanders have good, unencumbered legal title to the parcel legally described in the attached copy of the warranty deed filed in the Story County Recorder's Office at Book 104, Page 375. The Plat of Survey Application Form executed by my clients on September 19, 2016 and submitted to the City Planning and Housing Department by Stumbo & Associates Surveyors on September 20, 2016, demonstrates the proposed new boundary for this parcel. Please refer to the "North Line Existing Tract" dotted line in that Plat of Survey application for graphical reference of the existing boundary line for which they have legal title.

I write to request a waiver of the requirement of City Municipal Code Section 23.308 which would necessitate, in the absence of a waiver, the adjacent property owned by Champlin Lloyd Farm, LLC ("Champlin") to be surveyed along with the Sanders' parcel. It is the Sanders' belief that requiring survey of the Champlin property would place an extraordinary hardship on the Sanders, or, in the alternative, would prove inconsistent with the purpose of the Regulations due to other conditions when attempting to adjust the legal boundary lines between the Sanders' real estate and Champlin's real estate. Section 23.103(1) allows waiver of the Regulations in total, not just waiver of the application of one provision of the Regulations, and the fact that the Sanders are only asking for the waiver of one provision of the Regulations (namely, the requirement that the surveyor survey the adjacent Champlin property), and have agreed to consent to future annexation shows their good faith approach to this process.

WWW.SINGERLAW.COM

**PASLEY AND SINGER LAW FIRM, L.L.P.**

September 21, 2016

Letter to Julie Gould, City of Ames Planning and Housing Department

Page 2

It is the Sanders' belief that requiring the surveyor to survey the adjacent Champlin property would cause an extraordinary hardship or prove inconsistent with the purpose of the Regulations because, for one, the Champlin property at issue is unusually and extraordinarily large. It dwarfs the Sanders' small little homestead. The Champlin property is a swath of 61.31 acres, of which less than approximately 5% (by my calculation) of the Champlin parcel's boundaries would be affected by this adjustment. The parcels are not remotely close in size.

Secondly, it would cause extraordinary hardship and prove inconsistent with the purpose of the Regulations because providing the funds to pay the surveyors' fees to survey the Champlin property in addition to the Sanders' property would cause unnecessary financial difficulty for the Sanders. The Sanders are both retired, have modest means, and have spent a significant amount of their funds already on attorneys' fees in attempting to resolve this legal title issue. So little of this large property borders the boundary at issue between the Sanders and Champlin. The Sanders are not developers, but merely long-time residents of Story County (they lived at this address for more than 45 years as the City grew outward to them) who are getting roped into the Subdivision Regulations.

Furthermore, City Council may waive the requirements of the Regulations so that "substantial justice may be done and the public interest secured." This would seem to be just the sort of situation where that would be the case.

It is also my understanding there is not an established policy for how the City will move forward with boundary line adjustments. It is my understanding the City granted a Plat of Survey for a Boundary Line very similar to this one in another case. In fact, I believe the parcel involved was much larger in that previous case and may have been slated for actual subdivision (in the colloquial sense) and building of residences (I could be mistaken here though). Regardless, these are not the facts here.

In the simplest form, this is just an exercise to clear legal title to a strip of land running along the northern boundary of my clients' real estate between two represented parties. We are essentially just trying to clear up long-standing occupational lines between the parties and legally transfer title to real estate my clients have openly occupied, improved, and otherwise maintained since 1971. There will be no change to street frontage, no change to access, and we're not proposing the creation of a new lot.

The Sanders moved to this parcel in 1971 and believed they owned up to the pre-existing fenceline which was already in place upon their arrival. This narrow strip of land is legally owned by Champlin Lloyd Farm, LLC ("Champlin") as part of a greater contiguous tract, but Champlin and Sanders agreed to transfer title to this parcel to Sanders pursuant to a

**PASLEY AND SINGER LAW FIRM, L.L.P.**

September 21, 2016  
Letter to Julie Gould, City of Ames Planning and Housing Department  
Page 3

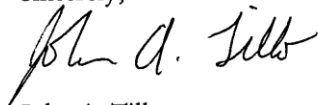
settlement agreement. There are absolutely no plans to develop this small property upon which the Sanders' homestead sits. I do not think the Subdivision Code was written with the intent to apply unnecessary burdens to single-family landowners, but rather to do "substantial justice." Sec. 23.103(1).

I note that Sec. 23.102(1)(b) states that one of the purposes of the Subdivision Regulations is to "provide for a balance between the use rights of individual landowners and the economic, social, and environmental concerns of the public when the City is developing or enforcing its land use regulations." I think the City has accomplished this balance already by exacting my clients' agreement to enter into a written covenant with the City agreeing to future annexation of this property and waiver of any future owner's right to withdraw the annexation request. If the City does not allow this Plat of Survey including solely the Sanders' parcel to proceed, particularly without waiver of just one requirement of the Regulations requiring survey of the adjacent Champlin parcel, and essentially puts a stop to my clients' plans to purchase legal title to a strip of land they have actually occupied since 1971, they will be greatly disappointed and I, frankly, don't know what they (or I) can do next.

Additionally, I would like to reiterate (as I have informed you over the phone and was alluded to above) that my clients agree to enter into a written covenant with the City agreeing to future annexation of this property. It is my understanding City staff has not formally prepared this agreement yet, but the sample form sent by you, Julie, suffices, and the Sanders would be willing to insert their names into the agreement where provided in that form.

Thank you for your time; I look forward to hearing from the City with its decision soon.

Sincerely,



John A. Tillo  
Attorney at law

enc.



FEE \$2.50

FOR THE LEGAL EFFECT OF THIS FORM, CONSULT YOUR LAWYER. IOWA

STORY COUNTY IOWA  
FILED FOR RECORD  
AUG 23 1971 P.M.  
By ELLA M. HUGENBACHER, Recorder

# WARRANTY DEED — JOINT TENANCY

Know All Men by These Presents: That Alva Taylor and Maude Taylor, husband and wife

of Story County, State of Iowa, in consideration of the sum of ONE DOLLAR AND OTHER GOOD AND VALUABLE CONSIDERATIONS in hand paid do hereby Convey unto Francis D. Sanders and Suzanne J. Sanders, husband and wife.

As Joint Tenants with Full Rights of Survivorship, and not as Tenants in Common, the following described real estate, situated in Story County, Iowa, to-wit:

Commencing at a point on the East line of the West Half of Southeast Quarter of Section 17, Township 83 North, Range 24 West of the 5th P. M. Iowa, where the said line or boundary intersects the North boundary line of the right-of-way of the Fort Dodge, Des Moines and Southern Railroad, thence due North on said East Boundary line of said West half 144 Feet and 5 inches, thence due West at a right angle 350 feet, thence due South at right angle 342 feet to the North line or boundary of the public road, thence due East at a right angle on the said North boundary line of said road to a point where the said north line of said road intersects the North boundary line of said right of way, thence northeast along the said North line of the said right-of-way to place of beginning.

And the grantors do Hereby Covenant with the said grantees, and successors in interest, that said grantors hold said real estate by title in fee simple; that they have good and lawful authority to sell and convey the same; that said premises are Free and Clear of all Liens and Encumbrances whatsoever except as may be above stated; and said grantors Covenant to Warrant and Defend the said premises against the lawful claims of all persons whomsoever, except as may be above stated.

Each of the undersigned hereby relinquishes all rights of dower, homestead and distributive share in and to the above described premises.

Words and phrases herein, including acknowledgment hereof, shall be construed as in the singular or plural number, and as masculine, feminine or neuter gender, according to the context.

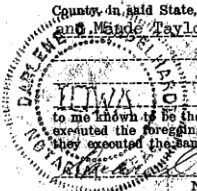
Signed this 20th day of August, 19 71

Alva Taylor *Alva Taylor*

Maude Taylor *Maude Taylor*

STATE OF IOWA }  
COUNTY OF Story } ss.

On this 20th day of August, A.D. 19 71 before me, the undersigned, a Notary Public in and for said County, in said State, personally appeared Alva Taylor and Maude Taylor, husband and wife



to me known to be the identical persons named in and who executed the foregoing instrument, and acknowledged that they executed the same as their voluntary act and deed.

Notary Public in and for said County



BOOK 104 PAGE 325

## Staff Report

**LANDSCAPE ORDINANCE POINTS SYSTEM UPDATE**

October 25, 2016

**BACKGROUND:**

At the August 16<sup>th</sup> City Council Workshop, staff provided a comprehensive overview of a draft 50-point scoring system and a presentation on the intent of its categories and individual points. ([Background Information- Planning Division What's New](#)) At the conclusion of the meeting, staff was directed to meet with the landscape workgroup to further refine the scoring system and consult with the workgroup on flexibility of the system and clarifying or simplifying its requirements. This report provides the feedback requested by Council from the August 16<sup>th</sup> meeting. With the two new points based system options included in this report, staff believes that the concept of a points based has been completely explored. **City Council is now asked to provide direction to staff to proceed with a points based ordinance or to complete alternative text amendments that revise planting requirements and add staff discretion for unique circumstances.**

**The landscape points system proposal from August would eliminate the traditional prescriptive requirements and replace it with a scoring system based upon combinations of key design points that achieve the intent and purpose of desired landscaping.** The intent is to give developers more options in their design of a site while directing those options to a set of criteria that the Council has deemed as important to help address environmental effects of development, appropriate transitions and screening, increased diversity and visual interest, more flexibility for property owner planting options, and reduced maintenance issues for property owners. In general, staff believes that with individual scoring categories and a requirement for an overall point total, this proposal provides the most comprehensive approach to evaluating landscaping within a wide range of options. The August system also divided sites in large or small (< 0.5 acres) with different point total requirements. The initial categories that are part of the August draft include:

- Soil Conditions
- Environmental Design
- Front Yard and Parking Screening
- Planting Design
- Groundcover
- Amenities/Bonus

Staff estimated that current landscape requirements yield between 16 and 36 points assuming soil condition points. Staff believes that with minimal changes to development practices most sites can exceed 30 points, but this does yield significantly different landscaping on sites compared to current requirements. When reviewing developer sites for Walnut Ridge Mixed Use, Bell warehouse, and Mortenson Heights/Crane Apartments scores were between 42 and 52 points with adjustments to their approved plans to incorporate additional landscape materials.

Staff met with the workgroup on September 27<sup>th</sup> and discussed options for modifying the total points required for project approval as well as changes to the requirements for individual categories. The workgroup meeting included discussion about why have landscaping requirements, the relative costs of the points based system, and what the minimum requirements could be to create even more flexibility. **Feedback from the stakeholder group indicated a desire for a simplified scoring system that consisted of a lower overall required point total and either simplified categories or a lesser number of categories. Specifically, the group believed that achieving the proposed 50 point total would be problematic under the current proposal with the categories and presents a large increase in costs depending on the circumstance. Additionally, there were comments to try and have an achievable total point requirement when the ordinance is adopted initially and then review its performance after a year to evaluate changes in scoring and if the points need to be increased. There was some discussion about having no categories and just a broad suite of points. Staff also questioned at what point the system framework is too involved or lacked predictability for the benefit of creating flexibility.**

**From staff's review of the comments at the August 16<sup>th</sup> City Council workshop and from the September workgroup meeting, staff has prepared two additional scoring system options.** Both proposals offer a different variation to the August draft and rely on categories and total points, but emphasize a different approach to prioritizing points. Each option is a viable option to achieve stakeholder and Council goals, depending on the priorities of the City Council. These options have not been reviewed in detail by the workgroup and may not have meet all of their interests fully due to staff's effort to balance other goals of the update to enhance landscaping and address parking lot sustainability.

#### **Option #1 August Scoring System 50-Point Proposal (Attachment A)**

Staff has not significantly adjusted the system from August in an effort to keep it as benchmark for comparison. The August scoring system requires 50 points total with a minimum categorical scores totaling 44 points for large sites. Small sites are required to achieve 33 points. There are five categories and one optional category with a total of approximately 130 points to choose from among all criteria listed. The 50-point version with categories was designed to have some predictability that each landscaping issue would be addressed and that landscape design would be augmented overall. Developers and staff have found in review of this option that it stretches developers to achieve each category and point totals compared to current practices. One of the primary concerns related to costs are a function of the Planting Design category and its

requirements for mandatory planting of vegetation besides groundcover. The application of this category could be narrowed to mandatory open spaces or some degree of reduction in planting ratios address costs.

### **Option #2 Reduced Point Requirements with Greater Optional Points Attachment B)**

The required category point total has been altered to focus on the most important points with and to lessen the required score required to satisfy each criterion. The minimum category totals are 25 and the total has been lowered to 42 points. With lowered point total requirements, this is believed to present the developers a wider range of options that can be combined together on a site to provide sufficient landscaping designs and potentially alleviate concerns about project costs due to the wider array of choices, even though the points are essentially the same. With the increased flexibility, the small site and large site total point differentiation has been removed, but small sites do not have to meet category minimums. This approach includes the same prerequisites as the August version.

### **Option #3 Simplified Categories and Focused Requirements (Attachment C)**

This option adjusts the total available points and categories to simplify the process and focus on priorities. The system is designed for all sites to achieve 30 points total with a minimum score of 26 points in categories. The categories have been adjusted to address Environmental Design, Front Yard and Parking Screening, and Planting Design. Each set of criteria offers numerous options with 8-10 point totals required per category. Importantly, minimum soil condition requirements (e.g. remove debris, 3% organic matter) would become prerequisites and other desirable soil condition remain as choices for points. Most non-planting related points have been removed, i.e. provide bike parking. Staff sees this narrowed down approach with the three remaining criteria as vital to achieving the overall goals of the landscape ordinance update. It also builds in more flexibility to develop a site in the manner of how planter areas can be configured and more options of what can be planted.

### **Option #4 Modify Existing Standards**

At the outset of this update process there was mutual interest in amending landscaped standards. **If the points system is not deemed to be workable or desirable, there is still an interest to have changes to the ordinance because there is a common belief among the staff and development community that the status quo is undesirable.** Staff believes a more balanced and traditional standards based requirement can address most of the key issues discussed as part of the update process. Revision to the Zoning Ordinance could revise the current “L” planting requirements, parking lot standards, and open spaces to create some flexibility in planting requirements and to allow staff additional discretion to make adjustments for unique circumstances. However, no specific changes are proposed at this time as staff has been focused on the points based options. Staff would only initiate work on this option at the direction of the City Council.

## **STAFF COMMENTS:**

If City Council indicates a preference for one of the three approaches to a landscaping point system, staff will then draft an ordinance for adopting new standards. If City Council decides that its goals are not met with one of the scoring system options, staff recommends that City Council direct staff to prepare a revision to the Zoning Ordinance that includes stated requirements for landscaping and to allow staff additional discretion to make adjustments for unique circumstances.

For whichever option is selected, there is a substantial amount of work related to amending the Zoning Ordinance. As mentioned previously, staff will also review the site inspection requirements and how non-conforming sites will be reviewed. Staff will meet with the workgroup again with the draft ordinance as amendments work through the public hearing process with the Planning and Zoning Commission and the City Council. With direction tonight, Staff would target a Planning and Zoning Commission review of draft ordinance in December and City Council review in January.

# Attachment A- Option Proposal #1

**City of Ames: Landscape Ordinance - Ranking System (Draft Proposal)**

44 minimum category points, **50 points overall**  
(Small Sites 33 points required)

1. **Pre Design Site Assessment:** (Pre-Requisite)
  - Storm Water Analysis of pre-developed site.
    - o Discharge points
    - o Swale locations
    - o Existing wetlands
    - o Calculate pre-development runoff
  - Document existing topsoil depths
  - Documentation of existing 'trees of significance'
  
2. **Project Design:**
  - Developer agrees to submit written and photographic verification that they completed the tasks agrees upon prior to construction. (Pre-requisite)
  - It is understood that designers will use best planting and design practices. Plant spacing to allow for growth, mulch additional areas as necessary to minimize maintenance, eliminate the use of nuisance and invasive species, etc.
  - Developer agrees that all plant sizes must adhere to the following size restrictions. (Pre-requisite)
    - o Overstory Trees – Min. 2" Caliper, Max. 3.5" Caliper
    - o Understory Trees – Minimum 1.5" Caliper, Max. 2.5" Caliper
    - o Evergreen Trees – Min. 6' Height
    - o Shrubs – Minimum three (3) Gallon
    - o Ornamental Grasses – Minimum one (1) Gallon
    - o Prairie Plantings – Must use at least three (3), but no more than five (5) varieties of native short grass prairie species. Must reach a minimum 3 feet in height. Can be combined with similar height native wildflowers, but is limited to 10 species per development. 'Small sites' only required to provide 2 types of prairie plantings
    - o Pollinator Species Planting – Must use the US Governments' required species mix for the Conservation Reserve Program - (CP42)
    - o Commercial uses abutting a residential or industrial use must provide a combination of grasses, high shrubs and trees to screen. Evergreen trees required when abutting residential. Fencing can be no higher than 8 feet
    - o Industrial uses abutting a residential or commercial use must provide a combination of grasses, high shrubs and trees to screen. Evergreen trees required when abutting residential. Fencing can be no higher than 8 feet
    - o Apartment Building foundation plantings required utilizing a tree with shrub and/or grass mixture
    - o Identify which landscape ordinance criteria are being used on site plan and total generated points
    - o Parking Lots adjacent to residential zones require minimum 5 foot landscape screening area
    - o Minimum Landscaping/Open Space requirement by percentage of lot area in commercial and industrial zones. FS-RM, V-R, RM, RH require 5% of lot area as usable open in addition to required landscape and yard areas.  
\*(Note that Open Space and Landscaped area terminology may include storm water treatment facilities, Usable Open Space would likely not allow for storm water facilities to meet its definition)
    - o 'Large Site' is defined as being at or over 25,000 square feet. 'Small site' is defined as being under 25,000 square feet
    - o Rock mulch is prohibited in required landscape areas
    - o Reconstruction of existing sites must include a functional equivalent replacement of existing landscaping with regard to diversity, totals, etc.
  
  - **Soil Management Plan** (minimum score - 8 points all size sites) (Self Certification of soil prep by contractor required)
    - o Stockpile topsoil on site 1
    - o Verify removal all construction debris 1
    - o Verify removal of excess gravel in planting areas 1
    - o Protect Drip Line of all existing trees of significance (Must retain at least 50% of Significant Trees) 1
    - o Rip sub-surface to 8" depth, prior to re-spread of topsoil 2
    - o Restore topsoil to recorded pre-development depth 4
    - o Replace the topsoil to a minimum 6" depth (submittal of soils test required) 2
    - o Till the soil to a minimum 8" Depth 3
    - o Soil must have minimum organic makeup in the top 8"
      - 3% organic makeup in the top 8" 1
      - 5% organic makeup in the top 8" 3
  
  - **Environmental Design** (minimum score - 8 points)(Small sites- minimum score 6 points)
    - o Provide no more than 10% additional parking than necessary beyond base requirements (*Shopping Centers not to exceed 5 per 1000*) 1

- Minimize hard surface parking lot area (In addition to the required Storm Water Management Plan)
    - Maximize green space (over 25% of the site) Outside of Floodway 2
    - Parking Islands at the end of all parking rows 1
    - No more than 10 continuous parking stalls in any row (7 X16 islands.) 2
  - Install Bio-retention to manage water quality and quantity 3  
(In areas where Bio-retention are proposed, landscape area requirements will be waved.)
  - Reduce and/or eliminate the use of storm water intakes and piping. 2  
(Encourage designers to use overland flow) (Narrative required)
    - Elimination of piping 2
  - Design and construct a Green Roof 1
  - Heat Island Effect
    - Islands not designated as bio-swales: plant a minimum of 1 Overstory tree in each. 3
    - Parking Lot Shading
      - 35% within 15 years 2
      - 50% within 15 years 4
- **Front Yard Landscaping & Parking Lot Screening** (minimum score - 10 points) (Small sites- 8 points)
- Diversity of genus (No more than 25% of any genus of plant) 2
  - Leave a 3'-0" zone of planter area with no plantings directly in front of all parking stalls 1
  - Provide 1 Overstory tree for every 50LF of street frontage in front setback (See note A) 1
  - Provide 2 Understory trees for every 50LF of street frontage in front setback (See note A) 1
  - 6 shrubs per 50 LF of drive isle outside of parking lot areas. 1
  - Provide 9 shrubs, for every 100 LF of front setback street frontage 2
  - Provide 20 ornamental grasses for every 50LF of frontage in front setback (See note A) 1
  - Use of clustered thoughtful plantings (layering of colors and textures with variety of plants) 4
  - Provide grasses or shrubs with Bio-Swale in required landscape areas between parking and ROW 3
  - Provide minimum 10 foot screening area adjacent to residential uses utilizing the criteria listed above. 2
  - Parking separation from lot line with minimum 10 ft. wide planting area (excluding alleys) 2
  - Provide landscape berming between the parking area and the street 2  
(Must be a minimum of 30" high and cover 75% of parking lot frontage.)  
OR
  - Provide landscape berming between the parking area and the street 3  
(Must be a minimum of 30" high and cover 95% of parking lot frontage.)
- **Planting Design** (minimum score - 8 points)(Small sites- 4 points)
- Diversity of genus (No more than 25% of any genus of plant in all categories of plantings) 2
  - Provide .2 Overstory tree for every 1000SF of Open Space 1
  - Provide .4 Understory trees for every 1000SF of Open Space 1
  - Provide 6 shrubs for every 1000SF of Open Space 1
  - Provide 10 ornamental grasses for every 1000SF of Open Space 1
  - Provide 10 grasses or 3 shrubs per 50 LF of building foundation 1
  - Undulating large open space 1
  - Provide added visual interest to the open spaces with the creation of berms and hills. (large sites) 2  
(Must be a significant impact on the site to be considered.) Additional submittals will be required.
  - Incorporate existing significant vegetation (Trees must be at least 12 inches in diameter)
    - 50% of existing vegetation 2
    - Planning may authorize for high value wetland, riparian and native areas 2
  - Use of clustered thoughtful plantings that include ornamental grasses, shrubs and over story trees 2
  - Designer Choice: Thoughtful planting plan that generally meets the intent of the items listed 8  
above, but goes beyond the basic requirements. It would include signature green spaces, outdoor gardens, rain gardens, seating areas, etc. Note- All items listed above need to be incorporated in some capacity to achieve this (See Note D) (Developments with more than Four (4) Acres of open space will want to use this method as it will likely decrease the number of required plantings)
    - 15% of open area must contain either an outdoor garden or rain garden
    - At least 2 seating areas required in front or side yards
    - Must provide a summary of vegetation and its significance to the planting plan
    - Must contain at least 2 signature green spaces
    - Must be designed and certified by a professional landscape architect

- **Groundcover** (minimum score - 10 points)(Small sites- 7 points)
  - o No turf/lawn in areas less than 5-0' in width. 1
  - o Eco-lawn mixture 1
  - o Use of hardwood Mulch beneath all trees, shrubs and decorative grasses 2
  - o Clustering of shrubs and grasses so that maintenance can operate around them easily 2
  - o 6' diameter mulch bed around all Overstory Trees, 4' on Understory 1
  - o Turf Grass / Lawn to cover less than 50% of the Open Space provided 2
  - OR
  - o Turf Grass / Lawn to cover less than 25% of the Open Space provided 3
  - o Combination of Shortgrass Prairie grasses and ornamental grasses to cover 60% or more of the open space provided 4
  - OR
  - o Use of Shortgrass Prairie grasses to cover 25% of the open space provided 1
  - o Addition of plantings to attract pollinator species in select areas 2
  
- **Site Amenities "Bonus Category"** (*no required minimum score*)
  - o Provide a public hardscape plaza (minimum of 200SF) 2
  - o Provide public seating opportunities (Bench or Cut Stone) (1 point for every 3 benches) (2 pt Max) 2
  - o Irrigation installed in required landscape areas 2
  - o Use of an alternate paving material for 80% of the designated plaza space (DG pavers, stamped concrete, etc.) 2
  - o Incorporation of publically visible Art Piece (must be approved by City Staff) 2
  - o Addition of Publicly accessible bike parking (5% of required parking or minimum 5 spots) 2
  - o Use of Decorative pedestrian scale lighting (Must be in addition to standard parking lot lighting) 2
  - o Recreational or private amenity 2
  - o Perennial flower beds 1
  - o Edible Landscaping 1



## Attachment B- Option Proposal #2

City of Ames: Landscape Ordinance - Ranking System (Draft Proposal)

25 minimum points, 42 points overall required  
(Small site 42 points required- No categories required)

3. **Pre Design Site Assessment:** (Pre-Requisite)
  - Storm Water Analysis of pre-developed site.
    - o Discharge points
    - o Swale locations
    - o Existing wetlands
    - o Calculate pre-development runoff
  - Document existing topsoil depths
  - Documentation of existing 'trees of significance'
  
4. **Project Design:**
  - Developer agrees to submit written and photographic verification that they completed the tasks agrees upon prior to construction. (Pre-requisite)
  - It is understood that designers will use best planting and design practices. Plant spacing to allow for growth, mulch additional areas as necessary to minimize maintenance, eliminate the use of nuisance and invasive species, etc.
  - Developer agrees that all plant sizes must adhere to the following size restrictions. (Pre-requisite)
  - Developer agrees that staff may refuse certain designs regardless of score total.
  - Developer agrees to a 10% additional point penalty for failing to achieve category minimums thereby increasing overall points required.
    - o Overstory Trees – Min. 2" Caliper, Max. 3.5" Caliper
    - o Understory Trees – Minimum 1.5" Caliper, Max. 2.5" Caliper
    - o Evergreen Trees – Min. 6' Height
    - o Shrubs – Minimum three (3) Gallon
    - o Ornamental Grasses – Minimum one (1) Gallon
    - o Prairie Plantings – Must use at least three (3), but no more than five (5) varieties of native short grass prairie species. Must reach a minimum 3 feet in height. Can be combined with similar height native wildflowers, but is limited to 10 species per development. 'Small sites' only required to provide 2 types of prairie plantings
    - o Pollinator Species Planting – Must use the US Governments' required species mix for the Conservation Reserve Program - (CP42)
    - o Till the soil to a minimum 8" Depth
    - o Commercial uses abutting a residential or industrial use must provide a combination of grasses, high shrubs and trees to screen. Evergreen trees required when abutting residential. Fencing can be no higher than 8 feet
    - o Industrial uses abutting a residential or commercial use must provide a combination of grasses, high shrubs and trees to screen. Evergreen trees required when abutting residential. Fencing can be no higher than 8 feet
    - o Apartment Building foundation plantings required utilizing a tree with shrub and/or grass mixture
    - o Identify which landscape ordinance criteria are being used on site plan and total generated points
    - o Parking Lots adjacent to residential zones require minimum 5 foot landscape screening area
    - o Minimum Landscaping/Open Space requirement by percentage of lot area in commercial and industrial zones. FS-RM, V-R, RM, RH require 5% of lot area as usable open in addition to required landscape and yard areas.  
\*(Note that Open Space and Landscaped area terminology may include storm water treatment facilities, Usable Open Space would likely not allow for storm water facilities to meet its definition)
    - o 'Large Site' is defined as being at or over 25,000 square feet. 'Small site' is defined as being under 25,000 square feet
    - o Rock mulch is prohibited in required landscape areas
    - o Reconstruction of existing sites must include a functional equivalent replacement of existing landscaping with regard to diversity, totals, etc.
  
  - **Soil Management Plan** (minimum score - 5 points) (Self Certification of soil prep by contractor required)
    - o Verify removal all construction debris 1
    - o Verify removal of excess gravel in planting areas 1
    - o Rip sub-surface to 8" depth, prior to re-spread of topsoil 2
    - o Replace the topsoil to a minimum 6" depth (submittal of soils test required) 2
    - o Soil must have minimum organic makeup in the top 8"
      - 3% organic makeup in the top 8" 1
      - 5% organic makeup in the top 8" 3

- **Environmental Design** (minimum score - 5 points)
  - o Provide no more than 10% additional parking than necessary beyond base requirements (*Shopping Centers not to exceed 5 per 1000*) 1
  - o Minimize hard surface parking lot area (In addition to the required Storm Water Management Plan)
    - Maximize green space (over 25% of the site) Outside of Floodway 2
    - Parking Islands at the end of all parking rows 1
    - No more than 10 continuous parking stalls in any row (7 X16 islands.) 2
    - Install Bio-retention to manage water quality and quantity 3  
(*In areas where Bio-retention are proposed, landscape requirements will be waved.*)
    - Reduce and/or eliminate the use of storm water intakes and piping. 2  
(*Encourage designers to use overland flow*) (*Narrative required*)
      - Elimination of piping 2
  - o Heat Island Effect
    - Islands not designated as bio-swales: plant a minimum of 1 Overstory tree in each. 2
    - Parking Lot Shading
      - 35% within 15 years 2
      - 50% within 15 years 4
- **Front Yard Landscaping & Parking Lot Screening** (minimum score - 5 points)
  - o Diversity of genus (No more than 25% of any genus of plant) 2
  - o Provide minimum 10 foot screening area adjacent to residential uses. 2
  - o Use of clustered thoughtful plantings (*layering of colors and textures with variety of plants*) 3
  - o Provide grasses or shrubs with Bio-Swale in required landscape areas between building and ROW 3
  - o Parking separation from lot line with minimum 10 ft. wide planting area (*excluding alleys*) 2
- **Planting Design** (minimum score - 5 points)
  - o Provide .2 Overstory tree for every 1000SF of Open Space 1
  - o Diversity of genus (No more than 25% of any genus of plant in all categories of plantings) 2
  - o Provide 10 grasses or 3 shrubs per 50 LF of building foundation 1
  - o Use of clustered thoughtful plantings that include ornamental grasses, shrubs and over story trees 2
  - o Designer Choice: Thoughtful planting plan that generally meets the intent of the items listed 8  
above, but goes beyond the basic requirements. It would include signature green spaces, outdoor gardens, rain gardens, seating areas, etc. Note- All items listed above need to be incorporated in some capacity to achieve this (*See Note D*) (*Developments with more than Four (4) Acres of open space will want to use this method as it will likely decrease the number of required plantings*)
    - 15% of open area must contain either an outdoor garden or rain garden
    - At least 2 seating areas required in front or side yards
    - Must provide a summary of vegetation and its significance to the planting plan
    - Must contain at least 2 signature green spaces
    - Must be designed and certified by a professional landscape architect
- **Groundcover** (minimum score - 5 points)
  - o No turf/lawn in areas less than 5-0' in width. 1
  - o Turf Grass / Lawn to cover less than 50% of the Open Space provided 2  
OR
  - o Turf Grass / Lawn to cover less than 25% of the Open Space provided 3
  - o Combination of Shortgrass Prairie grasses and ornamental grasses to cover 60% or more of the open space provided 4  
OR
  - o Use of Shortgrass Prairie grasses to cover 25% of the open space provided 1  
OR
  - o Ornamental grasses to cover 25% of the open space provided 1

Additional Criteria for Landscape Options

○ Irrigation installed in required landscape areas	2
○ Design and construct a Green Roof	1
○ Provide 1 Overstory tree for every 50LF of street frontage in front setback <i>(See note A)</i>	1
○ Provide 2 Understory trees for every 50LF of street frontage in front setback <i>(See note A)</i>	1
○ 9 shrubs per 50 LF of drive isle outside of parking lot areas.	
○ Provide 9 shrubs, for every 100 LF of front setback street frontage <i>(See note A)</i>	2
○ Parking separation from lot line with minimum 10 ft. wide planting area <i>(excluding alleys)</i>	2
○ Provide landscape berming between the parking area and the street <i>(Must be a minimum of 30" high and cover 75% of parking lot frontage.)</i>	2
OR	
○ Provide landscape berming between the parking area and the street <i>(Must be a minimum of 30" high and cover 95% of parking lot frontage.)</i>	3
○ Provide .2 Overstory tree for every 1000SF of Open Space	1
○ Provide .4 Understory trees for every 1000SF of Open Space	1
○ Provide 6 shrubs for every 1000SF of Open Space	1
○ Provide 10 ornamental grasses for every 1000SF of Open Space	1
○ Edible Landscaping	1
○ Undulating large open space	1
○ Provide added visual interest to the open spaces with the creation of berms and hills. <i>(large sites)</i> <i>(Must be a significant impact on the site to be considered.) Additional submittals will be required.</i>	2
○ Incorporate existing significant vegetation (Trees must be at least 12 inches in diameter)	
▪ 50% of existing vegetation	2
○ Planning may authorize for high value wetland, riparian and native areas	2
○ Eco-lawn mixture	1
○ Perennial flower beds	1
○ Use of hardwood Mulch beneath all trees, shrubs and decorative grasses	2
○ Clustering of shrubs and grasses so that maintenance can operate around them easily	2
○ 6' diameter mulch bed around all Overstory Trees, 4' on Understory	1
○ Addition of plantings to attract pollinator species in select areas	2
○ Stockpile topsoil on site	1
○ Protect Drip Line of all existing trees of significance	1
○ Restore topsoil to recorded pre-development depth	4
○ Leave a 3'-0" zone of planter area with no plantings directly in front of all parking stalls	1
○ Till the soil to a minimum 8" Depth	3
▪ Minimize hard surface parking lot area (In addition to the required Storm Water Management Plan)	
• Maximize green space (over 25% of the site) Outside of Floodway	2
• Parking Islands at the end of all parking rows	1

## Attachment C- Option Proposal #3

City of Ames: Landscape Ordinance - Ranking System (Draft Proposal)

26 minimum points. **30 Points overall required,  
no small site difference**

5. **Pre Design Site Assessment:** (Pre-Requisite)
  - Storm Water Analysis of pre-developed site.
    - o Discharge points
    - o Swale locations
    - o Existing wetlands
    - o Calculate pre-development runoff
  - Document existing topsoil depths
  - Documentation of existing 'trees of significance'
  
6. **Project Design:** (Pre-Requisite)
  - Developer agrees to submit written and photographic verification that they completed the tasks agrees upon prior to construction. (Pre-requisite)
  - It is understood that designers will use best planting and design practices. Plant spacing to allow for growth, mulch additional areas as necessary to minimize maintenance, eliminate the use of nuisance and invasive species, etc.
  - Developer agrees that all plant sizes must adhere to the following size restrictions. (Pre-requisite)
  - Developer agrees that staff may refuse certain designs regardless of score total.
    - o Overstory Trees – Min. 2” Caliper, Max. 3.5” Caliper
    - o Understory Trees – Minimum 1.5” Caliper, Max. 2.5” Caliper
    - o Evergreen Trees – Min. 6’ Height
    - o Shrubs – Minimum three (3) Gallon
    - o Ornamental Grasses – Minimum one (1) Gallon
    - o Prairie Plantings – Must use at least three (3), but no more than five (5) varieties of native short grass prairie species. Must reach a minimum 3 feet in height. Can be combined with similar height native wildflowers, but is limited to 10 species per development. ‘Small sites’ only required to provide 2 types of prairie plantings
    - o Pollinator Species Planting – Must use the US Governments’ required species mix for the Conservation Reserve Program - (CP42)
    - o Commercial uses abutting a residential or industrial use must provide a combination of grasses, high shrubs and trees to screen. Evergreen trees required when abutting residential. Fencing can be no higher than 8 feet.
    - o Industrial uses abutting a residential or commercial use must provide a combination of grasses, high shrubs and trees to screen. Evergreen trees required when abutting residential. Fencing can be no higher than 8 feet
    - o Apartment Building foundation plantings required utilizing a tree with shrub and/or grass mixture
    - o Identify which landscape ordinance criteria are being used on site plan and total generated points
    - o Parking Lots adjacent to residential zones require minimum 5 foot landscape screening area
    - o Verify removal all construction debris
    - o Verify removal of excess gravel in planting areas
    - o Minimum Landscaping/Open Space requirement by percentage of lot area in commercial and industrial zones. FS-RM, V-R, RM, RH require 5% of lot area as usable open in addition to required landscape and yard areas.  
\*(Note that Open Space and Landscaped area terminology may include storm water treatment facilities, Usable Open Space would likely not allow for storm water facilities to meet its definition)
    - o Rock mulch is prohibited in required landscape areas
    - o Reconstruction of existing sites must include a functional equivalent replacement of existing landscaping with regard to diversity, totals, etc.
    - o Minimum 3% organic makeup in soils.
  - **Environmental Design** (minimum score - 8 points)
    - o Provide no more than 10% additional parking than necessary beyond base requirements (*Shopping Centers not to exceed 5 per 1000*) 1
    - o Soil- 8% organic makeup in the top 8” 3
    - o Protect Drip Line of all existing trees of significance 1
    - o Rip sub-surface to 8” depth, prior to re-spread of topsoil 2
    - o Replace Top soil to minimum 6” depth 2
    - o Maximize green space (over 25% of the site) Outside of Floodway 2

○	Parking Islands at the end of all parking rows	1
○	No more than 10 continuous parking stalls in any row (7 X16 islands.)	2
○	Install Bio-retention to manage water quality and quantity	3
	<i>(In areas where Bio-retention are proposed, landscape requirements will be waved.)</i>	
Reduce and/or eliminate the use of storm water intakes and piping.		
<i>(Encourage designers to use overland flow) (Narrative required)</i>		
○	Elimination of piping	2
○	Design and construct a Green Roof	1
○	Heat Island Effect	
▪	Islands not designated as bio-swales: plant a minimum of 1 Overstory tree in each.	2
▪	Parking Lot Shading	
	35% within 15 years	2
	50% within 15 years	4
-	<b>Front Yard Landscaping &amp; Parking Lot Screening</b> (minimum score - 8 points)	
○	Diversity of genus (No more than 25% of any genus of plant based on number of total plants)	2
○	Leave a 3'-0" zone of planter area with no plantings directly in front of all parking stalls	1
○	Provide 1 Overstory tree for every 50LF of street frontage in front setback <i>(See note A)</i>	1
○	Provide 2 Understory trees for every 50LF of street frontage in front setback <i>(See note A)</i>	1
○	6 shrubs per 50 LF of drive isle outside of parking lot areas.	1
○	Provide 9 shrubs, for every 100 LF of front setback street frontage <i>(See note A)</i>	2
○	Provide 20 ornamental grasses for every 50LF of frontage in front setback <i>(See note A)</i>	1
○	Use of clustered thoughtful plantings <i>(layering of colors and textures with variety of plants)</i>	4
○	Provide grasses or shrubs with Bio-Swale in required landscape areas between parking and ROW	3
○	Provide minimum 10 foot screening area adjacent to residential uses.	2
○	Parking separation from lot line with minimum 10 ft. wide planting area <i>(excluding alleys)</i>	2
○	Provide landscape berming between the parking area and the street <i>(Must be a minimum of 30" high and cover 75% of parking lot frontage.)</i>	2
	OR	
○	Provide landscape berming between the parking area and the street <i>(Must be a minimum of 30" high and cover 95% of parking lot frontage.)</i>	3
-	<b>Planting Design</b> (minimum score - 10 points)	
○	Plant Variety- No more than 50% of one plant type. Minimum 5 types of plants.	2
○	Provide .2 Overstory tree for every 1000SF of Open Space	1
○	Provide .4 Understory trees for every 1000SF of Open Space	1
○	Provide 5 shrubs for every 1000SF of Open Space	1
○	Provide 8 ornamental grasses for every 1000SF of Open Space	1
○	No turf/lawn in areas less than 5-0' in width.	1
○	Turf Grass / Lawn to cover less than 50% of the Open Space provided	2
○	Combination of Shortgrass Prairie grasses and ornamental grasses to cover 60% or more of the open space provided	2
○	Use of Shortgrass Prairie grasses to cover 25% of the open space provided	1
○	Addition of plantings to attract pollinator species in select areas	1
○	Provide 3 shrubs or 10 grasses per 50 LF of building foundation (Must be designed and planted in a manner that shows a connection to an adjacent building)	1
○	Undulating large open space	1
○	Provide added visual interest to the open spaces with the creation of berms and hills. <i>(large sites) (Must be a significant impact on the site to be considered.) Additional submittals will be required.</i>	2
○	Incorporate existing significant vegetation (Trees must be at least 12 inches in diameter)	
▪	50% of existing vegetation	2
▪	Planning may authorize for high value wetland, riparian and native areas	2
○	Use of clustered thoughtful plantings that include ornamental grasses, shrubs and over story trees <i>(Plantings must be out of the front yard or in addition to the front yard)</i>	2
○	Designer Choice: Thoughtful planting plan that generally meets the intent of the items listed above, but goes beyond the basic requirements. It would include signature green spaces, outdoor	8

gardens, rain gardens, seating areas, etc. Note- All items listed above need to be incorporated in some capacity to achieve this (*See Note D*) (*Developments with more than Four (4) Acres of open space will want to use this method as it will likely decrease the number of required plantings*)

- 15% of open area must contain either an outdoor garden or rain garden
- At least 2 seating areas required in front or side yards
- Must provide a summary of vegetation and its significance to the planting plan
- Must contain at least 2 signature green spaces
- Must be designed and certified by a professional landscape architect

## Staff Report

**PLANNING AND HOUSING DEPARTMENT  
WORK PLAN PRIORITIES**

November 15, 2016

**BACKGROUND:**

The Planning and Housing Department has provided an updated status of projects within its Work Plan and is now requesting direction on the City Council's next set of priorities. The past 11 months have included work on a number of development driven requests and continued work on City Council's priorities from September 2015. Staff most recently provided an update on the Work Plan in June of 2016 to receive direction on immediate requests for Council's review this past summer. It has been 13 months since City Council prioritized additional projects for the Planning Department and it is appropriate to plan now for new projects in 2017.

**COMMITTED PROJECTS AND STATUS**

- 1) East Industrial Annexation and Master Plan (Master Planning & Zoning steps Summer 2017)
- 2) Lincoln Way Corridor Plan (Council adoption March 2017, zoning and design implementation to follow)
- 3) Landscape and Parking Sustainability Update Ordinance (Adopt in March 2017)
- 4) 321 State Avenue Affordable Housing Development (Old Middle School) (Review RFP Winter 2016-17)
- 5) Housing Background Report (combination of prior Council goals and referrals, on hold)
- 6) Wireless Ordinance Update (state and federal law changes 2015, on hold)
- 7) North Growth Gap Area Sewer Extension Analysis (Public Works Consultant Draft Findings December, Council to provide further direction)
- 8) 2700 Block Lincoln Way Project (Complete in November 2016)
- 9) Transitional Housing Text Amendment (Complete in December 2016)
- 10) Trinitas Student Housing West Ames (Fringe Plan Amendment Hearing November 22<sup>nd</sup>, annexation initiation January 2017, PRD process March 2017)

**PREVIOUSLY COMMITTED, NOT YET STARTED:**

- 11) SW Growth Master Plan (Prepare RFP, described below)
- 12) New Comprehensive Plan (1<sup>st</sup> Step Prepare Council background summer 2017, RFP Winter 2017)

**ADDITIONAL PROJECTS:**

In addition to the 12 projects listed above, City Council through its establishment of Council Goals, referrals, and prior work plan priorities have a list of 25 other projects to consider in prioritizing the Planning Division work plan. **Attachment A is complete**

**Work Plan chart that indicates the current status of committed projects and the list of projects that have not yet been prioritized.** Although not all of the project scopes are well defined, staff has added a column to the work plan with estimates the range of hours needed for each project. This estimate is intended to help Council have an understanding of the order of magnitude of Planning Division resources needed for a project. City Council should note that often there are additional city staff resources needed to complete the project e.g. City Attorney's Office and the Public Works Department that are not reflected on this chart.

### **PENDING REFERRAL REQUESTS**

Staff is aware of two text amendment referral requests that have been transmitted to the City Council as non-agenda packet items in the past three weeks. City Council has not indicated whether these items will be referred or not. Council could choose to add these requests to the work plan and prioritize them for review or choose to not consider the requests at this time.

- Kum & Go has requested a text amendment to allow for vehicle service stations with a special use permit in Campustown for a site along the 200 Block of Welch Avenue.
- Iowa State Ready-Mix has requested the City revise its solar energy system requirements to allow for taller ground mounted systems than currently allowed.

### **2016-2017 COUNCIL GOALS**

City Council established as part of its biannual goal setting process two additional topics that are not already part of the committed projects. Below is an outline recently related activities to each of these goals and staff suggested tasks for each issue.

#### **STRENGTHEN DOWNTOWN & CAMPUSTOWN**

- Explore public/private improvements (e.g., entertainment, parking, housing, amenities) for public/private space in Campustown and Downtown)
  - Downtown Housing Options (MSCD interest to inventory buildings for 2nd floor housing options, task by MSCD)
  - Downtown housing development site 5th Street (Sub-committee reviewed options, site is not available, task completed)
  - Campustown parking Lot X easement for access granted to 122 Hayward in June 2016.
- Staff Suggested Related Tasks for Campustown Objective
  - Identify priorities for partnering on redevelopment projects along public property.
  - Suspend the URA for new projects until review of public lands priorities are accepted (This is potentially a significant issue for the 100 and 200 Blocks of Welch and 2500 Block of Lincoln Way)



- Comprehensive reassessment of the CSC Zoning standards and property tax abatement incentives criteria of the URA.
  - Focus on revised standards for commercial layout and design, street and sidewalk design and width, parking standards that support commercial businesses.
  - Coordinate the reconfiguration of Welch Avenue street improvements with zoning standards intended to support a walkable commercial district.
- Staff Suggested Related Tasks For Downtown Objective
    - Provide background report on public land ownership and current use.
    - Hold public forum workshop with the City Council to discuss needs and opportunities for public lands.

## **PROMOTE ECONOMIC DEVELOPMENT**

- Analyze current planning and building code approval processes to help decision making be more predictable, more strategic and more timely
  - Attached to this report is an outline of the most common permits and their approval authority as a reference for Planning approval processes.
- Staff Suggested Task For This Objective
  - Staff proposes to bring staff reports on a semi-monthly basis to allow Council to assess current practices and provide direction for any changes that may be desired. Council could pick a set of process from the attached list or review all.

## **STAFF SUGGESTED NEW PROJECTS**

Staff has also identified priorities for changes to the Zoning Ordinance that would provide better service to our customers and to clarify the City's policies and procedures.

### **1. Add definition to the meaning of Two-Family Dwelling, Permitted, "Y, if pre-existing" and how to address previous single-family conversion homes that are non-conforming.**

The Planning and Rental Inspection staff are frequently asked questions about single-family rental property that may have once been a two-family dwelling and if it could be converted or reestablished as a two-family dwelling. Mostly commonly this is a question at the time of purchase of a home by a potential investor or at the time of listing of the home by a realtor. Often the records for these properties are scarce which makes it difficult to provide consistent interpretations.

Interpreting current Zoning Ordinance language that relies upon the phrase "Y, if pre-existing" for two-family homes is confusing as we are now 16 years past when the ordinance was adopted and how the intent for the wording of "pre-existing" was meant

to be applied. **Staff believes we should clarify that the intent as a more traditional non-conforming use that is only permitted if it has been continuously used as a two-family home and that if the use has ceased it is not eligible to be reestablished despite what was its condition in 2000.** Under current language a two-family home, if determined to be pre-existing physically in 2000, may stop being rented for any length of time and could be reestablished as two rental units. Staff believes that in most neighborhoods reestablishing a duplex would be a surprise to a neighborhood and it affects the availability of homes that could provide for homeownership versus rental investment potential. Staff would also clarify that previous “conversion permits” are not two-family homes as they were a separate type of dwelling prior to 2000 that was no longer an allowed use in 2000 when the current zoning standards were established.

## **2. Revise permitting standards for home daycare to allow for staff approval and to match limits on children to state licensing definitions.**

Home daycare often triggers a special home occupation permit reviewed by the Zoning Board of Adjustment because of the mix of children in their care and the number of children exceeds six. State licensing would typically allow for up to 8 before triggering a different category for the proposed use. Staff is interested in adjusting the permitting process to make home daycare that is less than 8 children and consistent with state licensing requirements a permitted home occupation reviewed by staff. This is very straight forward adjustment that would be beneficial to customer interests and staff resources with little or no effect on neighborhoods.

## **3. Revisit the CSC zoning standards and the Campustown Urban Revitalization Plan Criteria to meet the City’s goals for commercial development and independent/eclectic character of Campustown.** (See also Campustown Council Goal Tasks listed above)

As redevelopment has progressed in Campustown to large student housing redevelopments, it appears we are potentially losing the independent feel and character of Campustown. The recently created Façade Program promotes a different set of values and character than the more economically valuable Urban Revitalization Area program incentive for complete redevelopment of a property. Additionally, our current zoning standards and URA criteria do not articulate priorities for desirable public spaces along streets or for well designed and usable commercial spaces. **The 100 Block of Welch and the 2500 Block of Lincoln Way are the only remaining blocks with a substantial amount of small businesses and an eclectic character making it appropriate to address these issues before a redevelopment project could erode the character of the area.** Tasks are part of the Campustown Council Goal listed above.

### **STAFF COMMENTS:**

With the recent development approvals for multi-family and single-family housing that provide available land for 3-10 years of growth, the City has the opportunity to initiate tasks that relate to creating new opportunities for specialized needs or interests of the City and refinements to the Zoning Ordinance to address the next round of development applications. **Staff recommends completing the already committed projects**

identified reflected above over the next few months and to identify the next set of priorities for 2017.

The most important new project in the Work Plan is the start of the process in 2017 for updating the Comprehensive Plan. The budget for 2017-18 will include request for \$250,000 for this project. Staff will plan a workshop to review the style of comprehensive plans and contemporary topics and issues that are commonly addressed in Comprehensive Plans. The City Council will be asked to provide feedback on an approach or style for the Plan before initiating the update process and preparing a RFP to hire a consultant for the project.

The second significant long range planning related project is a Master Plan for Southwest Allowable Growth Area that is south of Highway 30. The horizon for implementation of a SW Plan would be within the next three to five years. To meet a 3-5 year horizon the planning would start in 2017. Staff believes that investing in this plan now is a priority as the area appears ripe for development as a planned residential neighborhood with a commercial core, natural features with trails and parks, and a focus on new housing choices for smaller homes in concentrated nodes and corridors with a blend of larger lots and homes in the more sensitive natural and fringe areas of the plan.

The Southwest Master Plan would review the prior analysis of infrastructure needs and costs to serve different areas of the Southwest, establish a financial strategy prioritizing improvements and how to distribute developer and city costs, and establish an expectation for the housing variety and character of development. Working with the University and their land interests for this area is also critical to realizing any goals for development. With a cohesive plan for the Southwest, it would become an identifiable and marketable district of the City that could spur investment and support continued growth of the City in the south with the best access to our planned job bases.

Due to the extensive amount of previous preliminary engineering work, using a focused charrette process with local property owners and the public may be the most effective means of creating options for a land use plan. Staff will provide a detailed RFP, if this item is prioritized, that highlights what activities can be completed by staff and what potential costs for a consultant may be. Alternatively, the City Council could decide that reviewing the priority of expanding to the southwest is an issue best resolved as part of the Comprehensive Plan update process where it could be evaluated with other ideas and interests for growth and where to make the next commitment as a City to support infrastructure investments.

## **PRIORITIES FOR 2017**

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Staff recommends that the City Council take this opportunity to edit or delete any of the referrals that are on the current Work Plan list. Staff believes that a minimum five items can be deleted due to lack of need at this time or overlap with other projects. This includes deleting:

**Table 1: Recommended to Delete**

Rental concentration standard in low density residential zones (reported 2-2015)	Council tabled the item in February 2015
--	--

Reevaluate building and zoning codes to determine if changes should be made to improve the existing housing stock at a lower cost	Former 2014 Council Goal.
National Register Nomination for Downtown Main Street	Project has been transferred to MSCD.
Expand airport protection area for land uses outside of the city	Reconsider with Public Works at time of next Airport Master Plan update.
Hotel Floor Area Ratio (FAR) Text Amendment to Increase Allowance (report provided 2014)	Requested by developer, City Council declined to initiate at that time. No known need at this time.

Staff proposes the following list of projects for 2017 based on its understanding of tasks and interests either described in this report or as represented on the Work Plan. The prioritized Table 2 identifies the most likely accomplishments for the next six months with our current devotion of hours to current planning, customer service, and neighborhood association support. Staff estimates that there are up to 1,000 hours available in the next six month period for policy planning related activities.

**Table 2: January through June 2017**

Project Description	Status	Est. Hours
East Industrial Park opportunity (Fringe Plan, Annex, Zoning and Master Plan)	Coordinate utility study findings with PW, review zoning options with PZ & CC	90
Lincoln Way Corridor Plan	Complete the Plan in March	140
Landscaping Standards and Parking Lot Sustainability	Adopt ordinance in March	120
Housing Background Information	Staff Report in January	25
321 State Affordable Housing Development	Issue RFP, review proposals for developer or City subdivision	120
Southwest Growth Master Plan	Issue RFP select consultant	180
Text Amendment for two-family homes pre-existing	Adopt ordinance in April	30
Text Amendment home daycare permitted home occupation	Adopt ordinance in February	10
Analyze current planning and building code approval processes to help decision making be more predictable, more strategic and more timely	Plan for three meetings to present overview of processes, Council to provide further direction	80
Review North Growth Gap Area sanitary sewer extension modeling results in conjunction with the Public Works Department	Provide staff report February, Council to provide further direction	15
Campustown priorities for partnering and review of standards	Workshop on Interests March 2017, Suspend URA for new projects April 2017	80
Wireless Ordinance Revisions	Adopt ordinance in May	30
<b>TOTAL HOURS ALLOCATED</b>		<b>960</b>

A number of the above items also will carry over into the 2<sup>nd</sup> half of 2017. Additionally, some of the items listed above will likely have supplementary tasks as a result of completing the current task. For example, the outcome of adopting the Lincoln Corridor Plan will result in City Council direction on further planning efforts with zoning standards

or streetscape and transportation improvements.

Staff has included the carryover items from Table 2 to Table 3 to help identify available resources for prioritizing the remain items.

**Table 3: July through December 2017**

<b>Project Description</b>	<b>Status</b>	<b>Est. Hours</b>
<b>East Industrial Park opportunity (Fringe Plan, Annex, Zoning and Master Plan)</b>	Finalize planning and zoning strategy for the area.	80
<b>321 State Affordable Housing Development</b>	Approval of zoning and subdivision plans	100
<b>Southwest Growth Master Plan</b>	Complete Infrastructure Strategy and Design Plan	250
<b>Comprehensive Plan Update Process</b>	Background on Comprehensive Plans, Prepare RFP	150
<b>Campustown priorities for partnering and review of standards (Placeholder)</b>	Continued work on identified interests.	40-200
<b>Analyze current planning and building code approval processes to help decision making be more predictable, more strategic and more timely</b>	Follow up from prior meetings	?
<b>Review findings of the Downtown Housing Inventory</b>	Meet with MSCD to review their findings, discuss their goals for housing. Provide a staff report to Council.	60
<b>Lincoln Corridor Implementation(Placeholder)</b>	Follow up on desired implementation measures	50-200
<b>TOTAL HOURS ALLOCATED</b>		650 - 1000

The following is a list of the remaining items that are not listed above or recommended to be deleted, but could be prioritized sooner if the Council so desires.

**Table 4: Remaining Items**

<b>Project Description</b>	<b>Comments</b>	<b>Est. Hours</b>
<b>LUPP Policy for RH Land Use</b>	Review effectiveness of RH Checklist, add policies for High Density development preferences	120
<b>RH Zoning Standards and Design Guidelines</b>		75-200
<b>Sign Code for Digital Signs and Billboards</b>	Update Digital Messaging sign standards	150-250
<b>Review demolition criteria in the E-IOU in general, including hardship elements</b>		80-150
<b>Review demolition criteria in the E-IOU to add criteria for historic preservation and to evaluate sustainability (life cycle evaluation) of demolition vs. rehabilitation.</b>		80-150

<b>Update the Planned Residential Development Zoning District</b>		90-180
<b>Ames Urban Fringe Plan Review with Story County and Gilbert on potential update land use classifications and future growth areas</b>	Story County request to review classifications and policies	?
<b>Revise Group Living and Front Yard Parking Terms</b>	Follow up from prior meetings	10
<b>North Growth Fringe Plan and LUPP Amendment Evaluation</b>	Potential follow up from sewer extension study	80-180
<b>Review Downtown Façade Program Requirements and consider "Development Grants"</b>		50-200
<b>Transportation Chapter Update</b>	Planned to be coordinated with Complete Streets Policy and Public Works	120
<b>Other Referrals</b>		?
<b>TOTAL HOURS ALLOCATED</b>		850-1500

Due to the high number of items that on the referral list the City Council can choose to prioritize its immediate interests and decide to keep the remaining items on the list for future consideration. It is not necessary to attempt to prioritize the whole list of issues for those items that are not likely to be addressed in 2017.

The hours estimates are built upon what staff believes is the amount of time needed to prepare information and reports for the City Council and for larger projects to include efforts for outreach. If City Council believes a certain level of outreach is required for any of the items that are on the Work Plan it would be helpful to review this as part of the hours estimate for each project. If City Council is satisfied with Table 2 as its priorities for the first half of 2017 no further prioritization is necessary. Alternatively, City Council can provide direction on a modified list of priorities for Table 2 and or Table 3 for those issues that are clearly priorities to the City Council at this time.

**Attachment:  
Common Planning and Zoning Related Approvals:**

**Staff Approvals-**

- Zoning/Building Permits
- Minor Site Development Plans
- Flood Plain Development Permits
- Historic Review-Certificates of Compliance
- Home Occupations

**Historic Preservation Commission-**

- Historic Review-Certificates of Compliance

**Zoning Board of Adjustment (ZBA)-**

- Variances
- Special Use Permits
- Flood Plain Conditional Uses
- Special Home Occupations
- Exceptions
- Appeals of Zoning Enforcement Officer determinations

**City Council- Recommendations by Planning and Zoning Commission**

- Annexation-Public Hearing
- Text Amendments- Public Hearing
- Land Use Policy Plan Major and Minor Amendments
- Rezoning and Rezoning with Master Plan- Public Hearing
- Major Site Development Plans- Public Hearing
- Major Subdivisions Preliminary Plat
- Planned Residential Development (PRD)-includes rezoning, site plan, and preliminary plats- Public Hearing
- Adaptive Reuse Plans-Public Hearing

**City Council- Only**

- Plats of Survey
- Final Plats
- Minor Subdivisions Final Plat
- Urban Revitalization Areas- Public Hearing
- Rural Subdivision Waivers
- Joint and Remote Parking





**COUNCIL ACTION FROM**

**SUBJECT: PARKING REGULATIONS AND SPEED LIMIT ON HYDE AVENUE**

**BACKGROUND:**

As part of a developer's agreement between the City of Ames and the landowners in the North Growth Area, the gravel section of Grant Avenue from the northern limits of the Bloomington Heights subdivision to 190th Street was paved. The street was designed for a posted speed limit of 35 MPH based upon several factors including safety, access, and topography. Grant Avenue was under the jurisdiction of Story County, thus there is not a City ordinance setting the speed limit along Grant Avenue (defaults to State of Iowa statutory speed limits). The speed limit will remain at 25 MPH through Bloomington Heights to the Bloomington Road intersection.

Now that the project is complete, the long-term maintenance of the street will be taken over by the City of Ames. In doing so, the street will be incorporated into the City's greater street network, thereby becoming an extension of Hyde Avenue. Therefore, an ordinance will also be required to establish parking regulations from Harrison Road to 190<sup>th</sup> Street. The Ames Municipal Code currently prohibits parking on the east side of Hyde Avenue. The new ordinance will prohibit parking on the west side as well, from 190<sup>th</sup> Street to Harrison Road.

**ALTERNATIVES:**

1. Approve first passage of the ordinance to:
  - a. Establish "No Parking" regulations at all time on both sides of Hyde Avenue from Harrison Road to 190th Street.
  - b. Establish a 35 MPH speed limit on Hyde Avenue from 190th Street to a point one mile south of 190th Street.
2. Direct Staff to make modifications to the proposed speed limit and "no parking" regulations.

**CITY MANAGER'S RECOMMENDED ACTION:**

By approving first passage, the City will integrate Hyde Avenue into the City's network and establish the appropriate parking regulations and operating speeds along this newly paved section of street, thereby promoting safe and efficient travel in this area of Ames.

Therefore, it is the recommendation of the City Manager that the City Council adopt Alternative No. 1, as shown above.

**ORDINANCE NO.**

**AN ORDINANCE TO AMEND THE MUNICIPAL CODE OF THE CITY OF AMES, IOWA, BY REPEALING SECTION 18.31(128) AND ENACTING A NEW SECTION 18.31(128) THEREOF, FOR THE PURPOSE OF ESTABLISHING PARKING REGULATIONS FOR HYDE AVENUE; REPEALING ANY AND ALL ORDINANCES OR PARTS OF ORDINANCES IN CONFLICT TO THE EXTENT OF SUCH CONFLICT; PROVIDING A PENALTY; AND ESTABLISHING AN EFFECTIVE DATE.**

**BE IT ENACTED**, by the City Council for the City of Ames, Iowa, that:

Section One. The Municipal Code of the City of Ames, Iowa shall be and the same is hereby amended by repealing Section 18.31 (128) and enacting a new Section 18.31 (128) as follows:

**“Sec. 18.31. REGULATIONS FOR SPECIFIC STREETS OR LOCATIONS.**

...

(128) **HYDE AVENUE.** Parking is prohibited at all times on the east side of Hyde Avenue, and on the west side of Hyde Avenue from 190th Street to Harrison Road.”

...

Section Two. Violation of the provisions of this ordinance shall constitute a municipal infraction punishable as set out by law.

Section Three. All ordinances, or parts of ordinances, in conflict herewith are hereby repealed to the extent of such conflict, if any.

Section Four. This ordinance shall be in full force and effect from and after its passage and publication as required by law.

Passed this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

\_\_\_\_\_  
Diane R. Voss, City Clerk

\_\_\_\_\_  
Ann H. Campbell, Mayor

**ORDINANCE NO.**

**AN ORDINANCE TO AMEND THE MUNICIPAL CODE OF THE CITY OF AMES, IOWA, BY REPEALING CHAPTER 26.39 SECTION (hh) AND ENACTING A NEW CHAPTER 26.39 SECTION (hh) THEREOF, FOR THE PURPOSE OF SPECIFICALLY DESIGNATED SPEED LIMIT ON HYDE AVENUE; REPEALING ANY AND ALL ORDINANCES OR PARTS OF ORDINANCES IN CONFLICT TO THE EXTENT OF SUCH CONFLICT; PROVIDING A PENALTY; AND ESTABLISHING AN EFFECTIVE DATE.**

**BE IT ENACTED**, by the City Council for the City of Ames, Iowa, that:

Section One. The Municipal Code of the City of Ames, Iowa shall be and the same is hereby amended by repealing Chapter 26.39 Section (hh) and enacting a new Chapter 26.39 Section (hh) as follows:

**“Sec. 26.39. SPECIFICALLY DESIGNATED SPEED LIMITS ON CERTAIN STREETS.**

...

(hh) Hyde Avenue: Thirty-five (35) miles per hour between 190th Street and Harrison Road.”

...

Section Two. Violation of the provisions of this ordinance shall constitute a municipal infraction punishable as set out by law.

Section Three. All ordinances, or parts of ordinances, in conflict herewith are hereby repealed to the extent of such conflict, if any.

Section Four. This ordinance shall be in full force and effect from and after its passage and publication as required by law.

Passed this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

\_\_\_\_\_  
Diane R. Voss, City Clerk

\_\_\_\_\_  
Ann H. Campbell, Mayor