

COUNCIL ACTION FORM

**SUBJECT: REQUEST TO INITIATE VACATION AND CONVEYANCE OF CITY
RIGHT OF WAY ON SOUTH SHELDON AVENUE**

BACKGROUND:

River Caddis, Inc, contract purchaser and developer, of property located at 2700, 2702, 2718 & 2728 Lincoln Way, 112 & 114 S. Hyland Avenue, and 115 S. Sheldon Avenue, is requesting that the City Council initiate the vacation and sale of excess right-of-way along the west side of South Sheldon Avenue in Campustown. The developer currently has the seven noted properties totaling 1.8 acres under purchase contract with the intent to develop a six-story mixed use development. **During the recent Site Development Plan review for the project, the developer requested placement of stormwater treatment measures within the right-of-way. Staff was not able to authorize such a facility, but noted that the right-of-way area fronting the property at 115 S. Sheldon Avenue could potentially be excess right-of-way that the developer could offer to purchase and then use for stormwater treatment.**

Public Works staff has reviewed the subject right-of-way area with the current street configurations of South Sheldon Avenue and has determined that the area being requested for purchase is an area of excess right-of-way width not needed for any future street expansion. The area is approximately 15 feet wide and 137 feet long. The sale of this portion of right-of-way would align the property line with the existing property to the north. A location map is included as Attachment 1.

If City Council agreed to initiate the vacation and sale of this portion of City right-of-way, staff would perform a valuation of the requested area for purchase by the developer. In accordance with City policy, Public Works staff would initiate the process of contacting all right-of-way users to determine any utilities within the area for the purpose of vacation of the area and would return to City Council in October to set a public hearing date for the vacation and future sale of the property.

Any easements needed in this area for sidewalk or future utility connections would be addressed and recorded as part of the Site Development Plan for the project.

ALTERNATIVES:

1. Direct staff to initiate the process for the vacation and sale of a portion of right-of-way along the west side of South Sheldon Avenue abutting the property at 115 S. Sheldon Avenue.

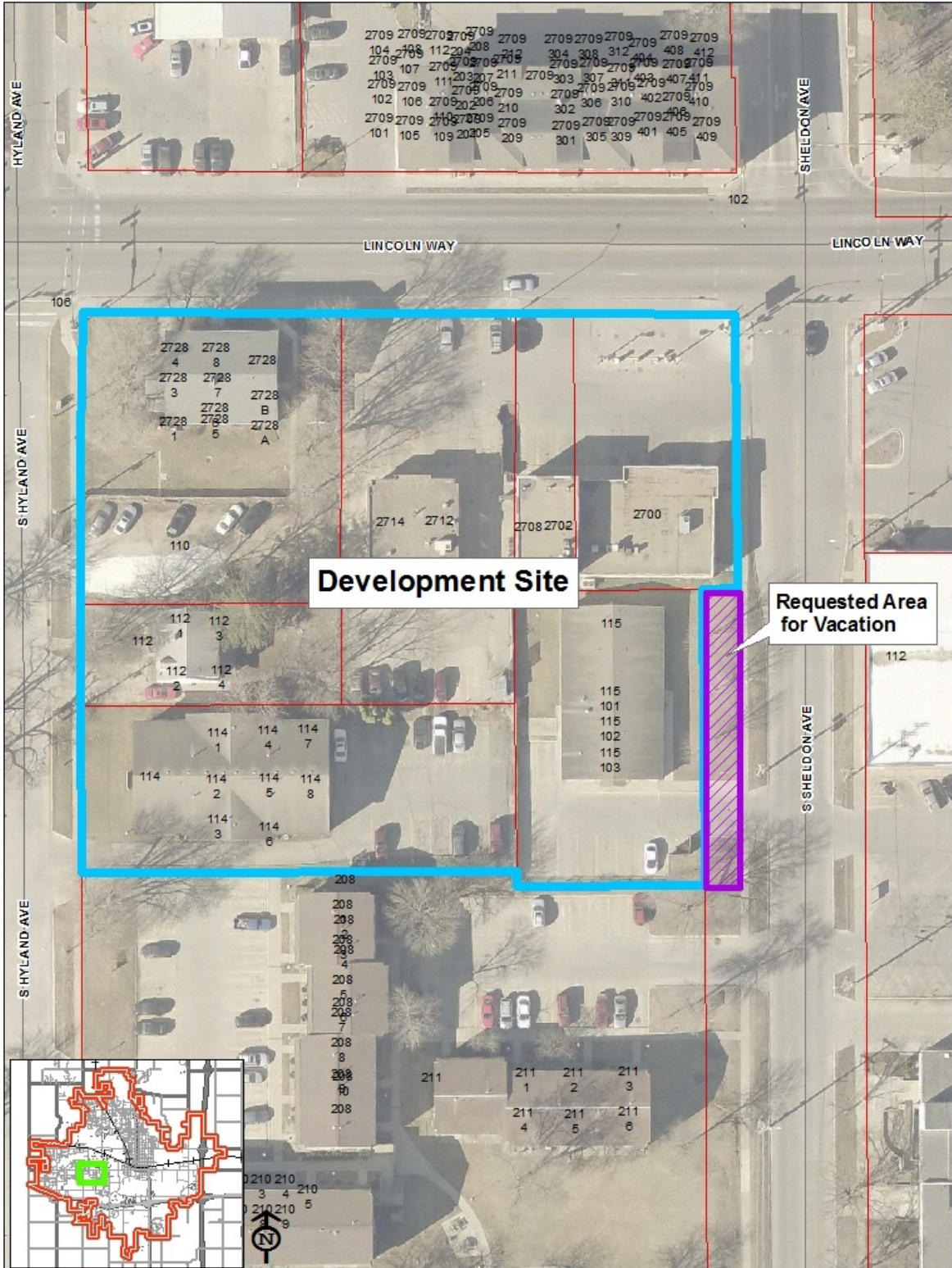
2. Retain the land and deny the initiation of the vacation process for the right-of-way along South Sheldon Avenue.

MANAGER'S RECOMMENDED ACTION:

This area of right-of-way along South Sheldon Avenue is an area of excess width and is not intended for future public street purposes.

Therefore, it is the recommendation of the City Manager that the City Council adopt Alternative # 1 as described above.

Attachment 1 Location Map





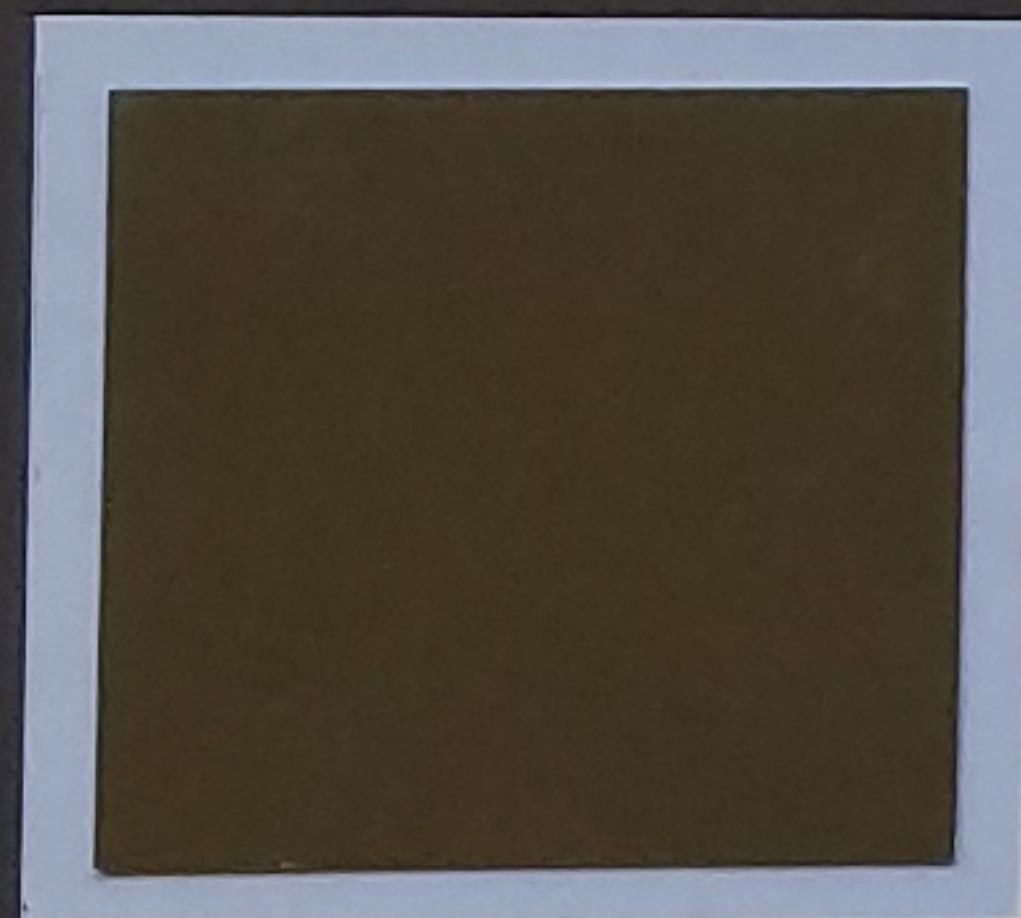
OPUS
THE SPUR GROUP

River Caddis Mixed Use Development
Ames, Iowa

Sheldon Avenue and Lincoln Way
09.23.2016



4 FABRIC CANOPY
Black



5 ALUMINUM WINDOW FRAME
Storefront
Bronze



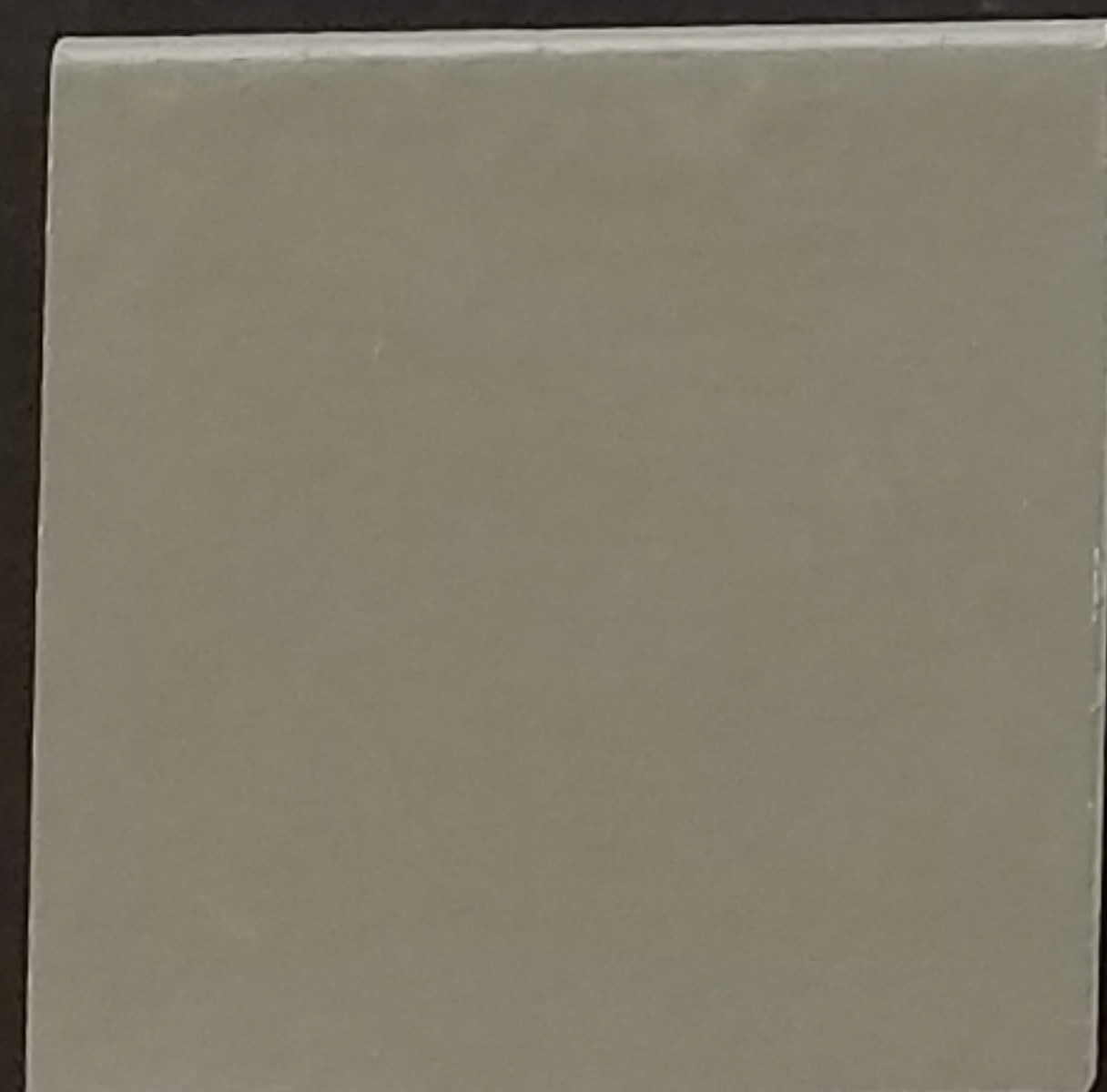
6 PREFINISHED METAL
PANEL
White



7 VINYL WINDOW FRAME
White



8 FIBER CEMENT PANEL
Color 1
White



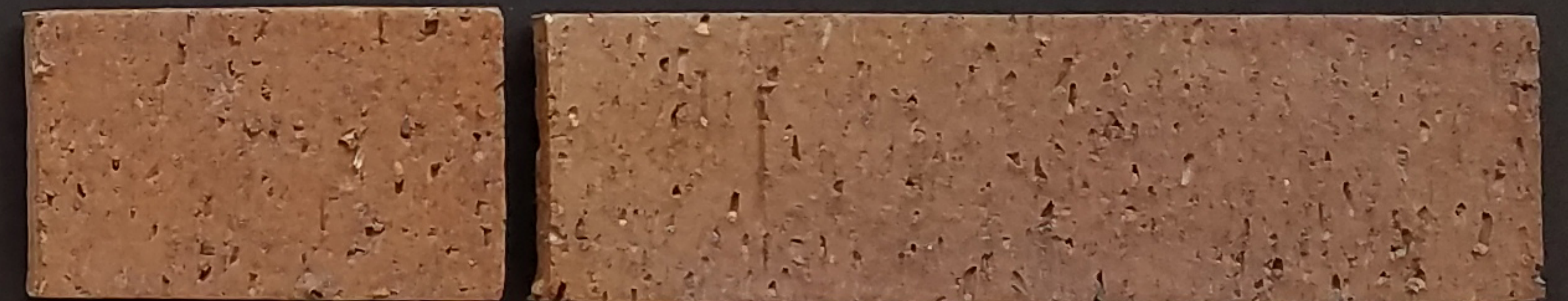
9 FIBER CEMENT PANEL
Color 2
Aged Powder



10 VISION GLASS
Lo E Clear



1 BRICK
Color 1 - Dark Brown
Norman Size - Smooth Finish

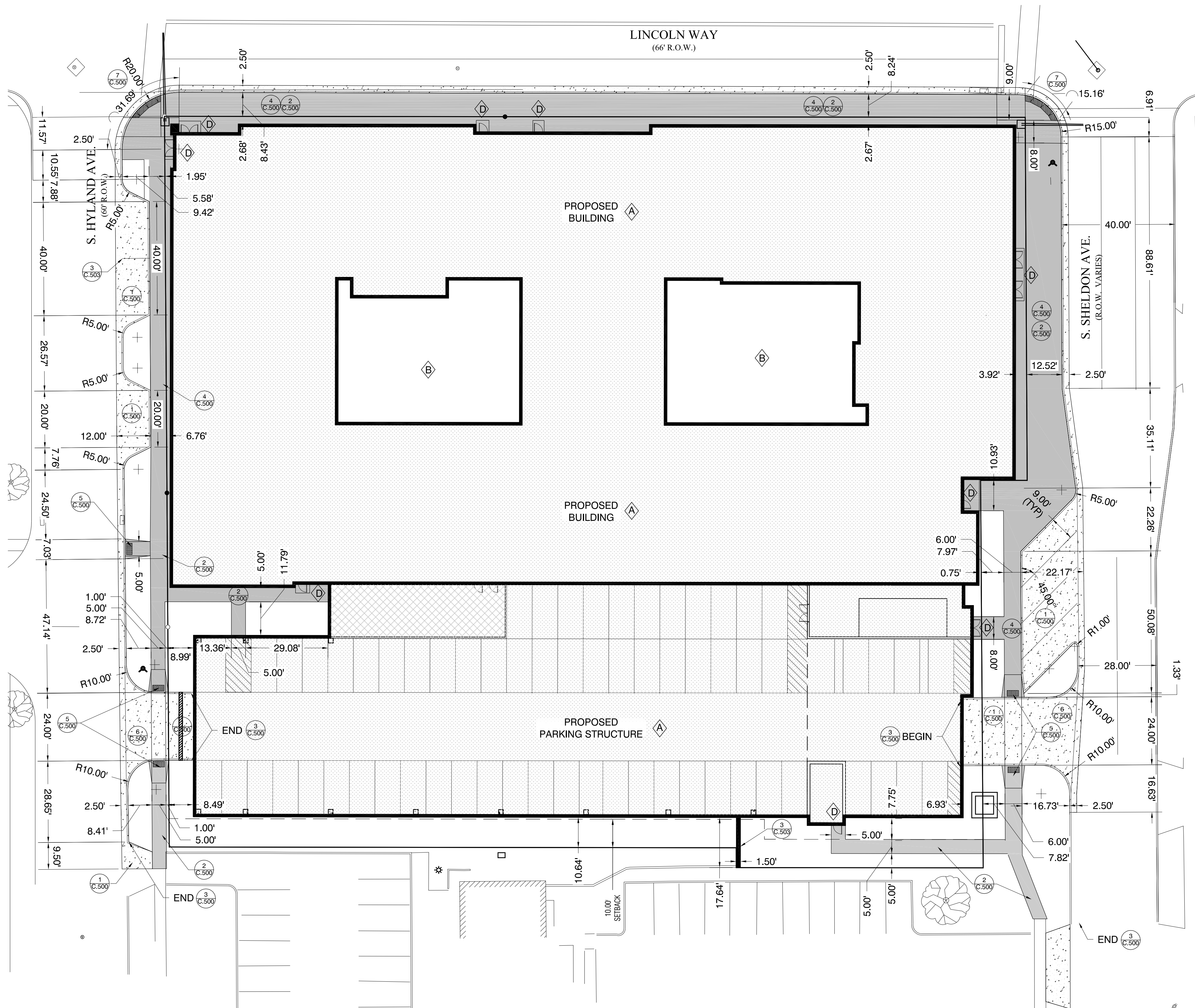


2 BRICK
Color 2 - Medium Red
Norman Size - Velour



3 BRICK
Color 3 - Ash
Norman Size - Velour

PLOT DATE: 9/1/2016 12:08:16 PM



GENERAL LAYOUT NOTES:

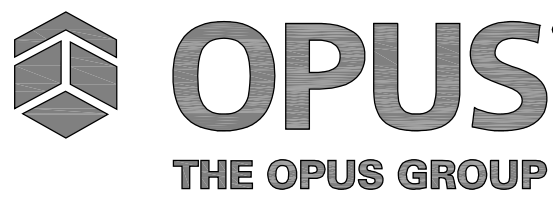
1. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES & STANDARDS. NOTHING INDICATED ON THESE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH APPROPRIATE SAFETY REGULATIONS.
3. ALL DISTURBED AREAS SHALL BE SEEDED, FERTILIZED & MULCHED UNLESS OTHERWISE NOTED IN PLANS. REFER TO LANDSCAPING PLAN.
4. ANY DAMAGE TO THE PAVEMENT NOT SHOWN FOR REMOVAL ON THE PLANS DUE TO CONSTRUCTION ACTIVITIES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE. ALL EFFORTS SHALL BE MADE TO NOT DISTURB EXISTING PAVEMENT.
5. COORDINATE GAS, ELECTRIC, TELEPHONE, & FIBER OPTIC WITH RESPECTIVE UTILITY COMPANIES.
6. TRASH ROOM LOCATED INSIDE BUILDING. REFER TO ARCHITECTURAL PLANS.

CONSTRUCTION NOTES

- Ⓐ REFER TO THE ARCHITECTURAL AND STRUCTURAL PLANS FOR PARKING STRUCTURE SUBGRADE, SUBBASE, FOUNDATION, AND SLAB DETAILS. REFER TO MECHANICAL PLANS FOR PARKING GARAGE SPINKLER SYSTEM (PER 2009 INTERNATIONAL FIRE CODE STANDARDS)
- Ⓑ LEVEL 1 COURTYARD. REFER TO ARCHITECTURAL PLANS.
- Ⓒ RELOCATE TRAFFIC SIGNAL POLE (BY CITY). SETBACK REQUIREMENTS LINCOLN WAY (ARTERIAL 30MPH) = 7 FT (MIN) FROM EDGE OF TRAVELED WAY
S. SHELDON AVE. & S. HYLAND AVE. (25MPH COLLECTOR) = 5.5 FT (MIN) FROM EDGE OF TRAVELED WAY
- Ⓓ INSTALL STOOPS. REFER TO ARCHITECTURAL PLANS

CONSTRUCTION DETAILS

- 1 INSTALL 7" PCC PAVEMENT
- 2 INSTALL 5" PCC SIDEWALK
- 3 INSTALL STANDARD 6" CURB & GUTTER UNIT
- 4 INSTALL CLASS A SIDEWALK
- 5 INSTALL ACCESSIBLE SIDEWALK RAMP
- 6 INSTALL CONCRETE DRIVEWAY TYPE 'B' WITH RADII
- 7 INSTALL CURB RAMPS FOR CLASS A SIDEWALK
- 8 BLOCK RETAINING WALL



Opus AE Group, L.L.C.
10350 Bren Road West
Minnetonka, MN 55343-0110
952-696-4444

Opus Design Build, L.L.C.
1820 NW 118th St. Suite 150
Clive, IA 50325
515-440-1482

CONSULTANT
CLAPSADDLE-GARBER
ASSOCIATES, INC.
1523 S. BELL AVE., SUITE 101
AMES, IOWA 50010

PROJECT
**River Caddis
Mixed-Use
Development**
PROJECT ADDRESS
2700 LINCOLN WAY
AMES, IOWA

PROJECT NUMBER
30984

ISSUE RECORD
09/06/2016 Minor Site Dev Plan

NOT FOR
CONSTRUCTION

DATE
09/06/16
PROJECT MANAGER
30984
DRAWN BY
LAW / RWA
CHECKED BY
MMB

REGISTRATION

SHEET TITLE
**LAYOUT
PLAN**

SHEET NUMBER

C.200

CONSULTANT

PROJECT

**River Caddis
Mixed-Use
Development**

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2700 LINCOLN WAY
AMES, IOWA

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CONSTRUCTION**

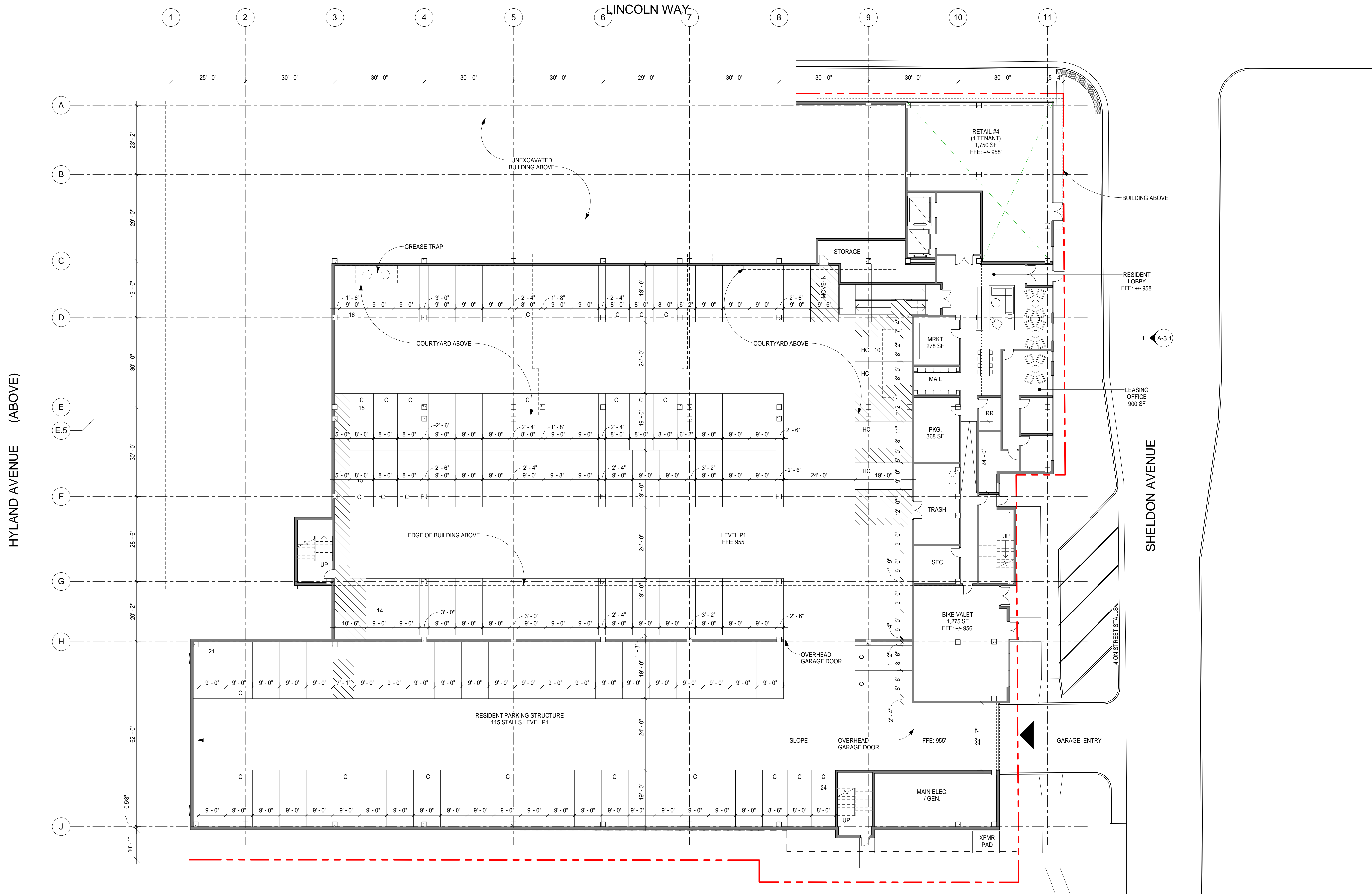
DATE
09/06/16
PROJECT MANAGER
30984
DRAWN BY
M. Hart
CHECKED BY
J. Fourniea

REGISTRATION

SHEET TITLE
**P-1 PARKING
LEVEL PLAN**

SHEET NUMBER

A-2.1



HYLAND AVENUE (ABOVE)

SHELDON AVENUE

1 LEVEL P1
1/16" = 1'-0"

CONSULTANT

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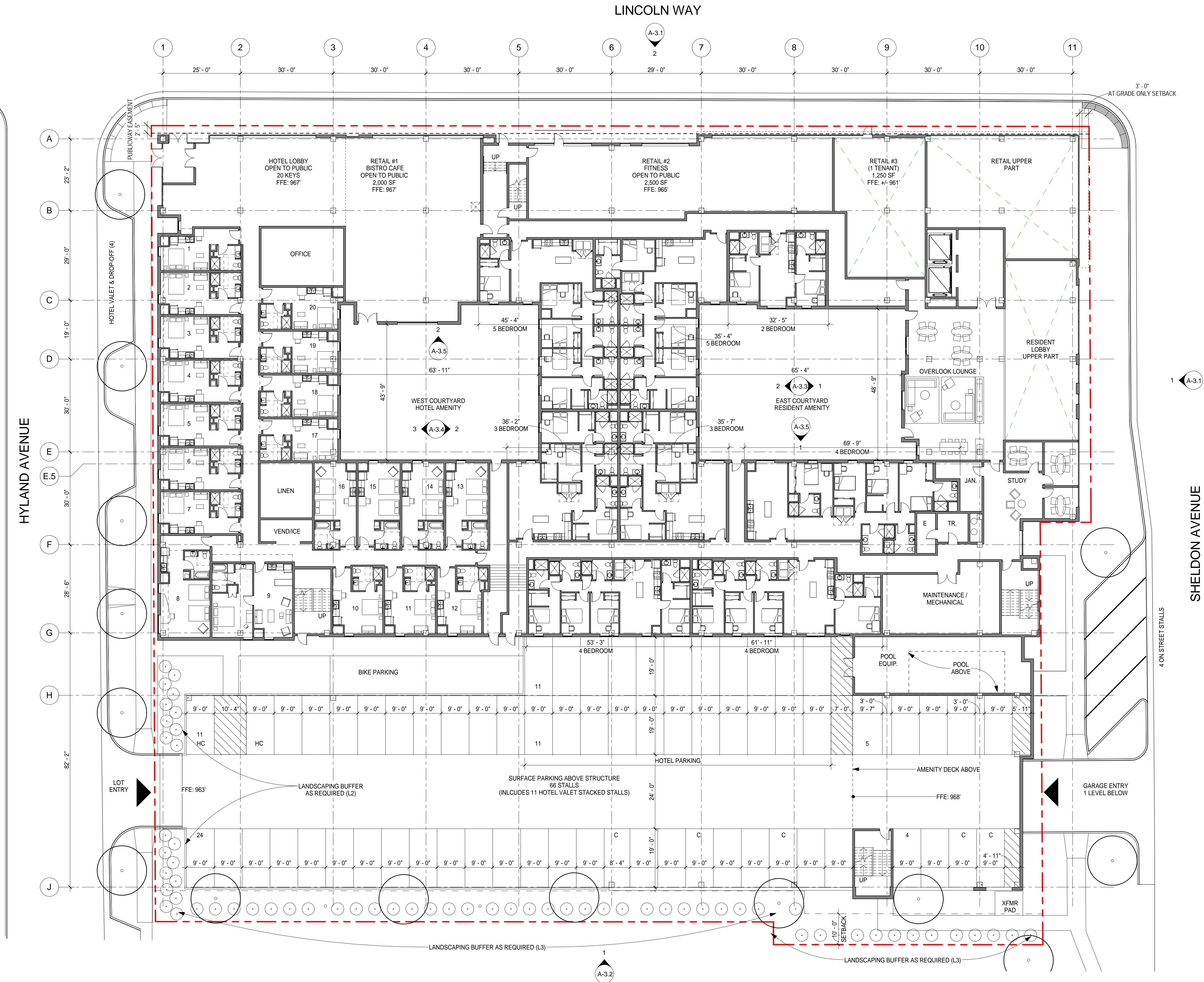
DATE
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30984
DRAWN BY
M. Hart
CHECKED BY
J. Fourniea

REGISTRATION

SHEET TITLE
LEVEL 1 PLAN

SHEET NUMBER

A-2.2



1 LEVEL 1
1/16" = 1'-0"

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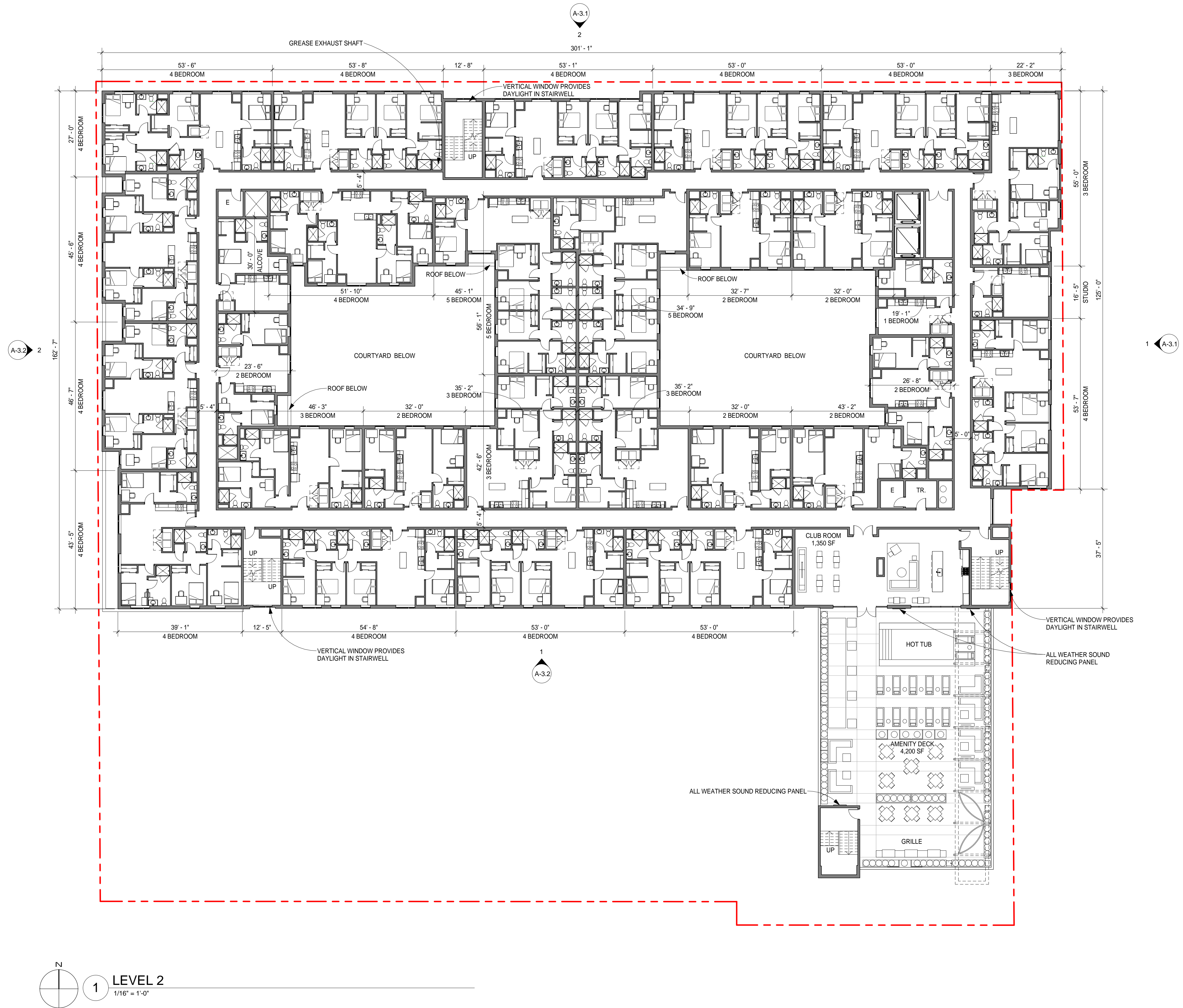
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M. Hart
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J. Fourniea

REGISTRATION

SHEET TITLE
LEVEL 2 PLAN

SHEET NUMBER

A-2.3



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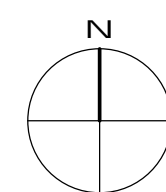
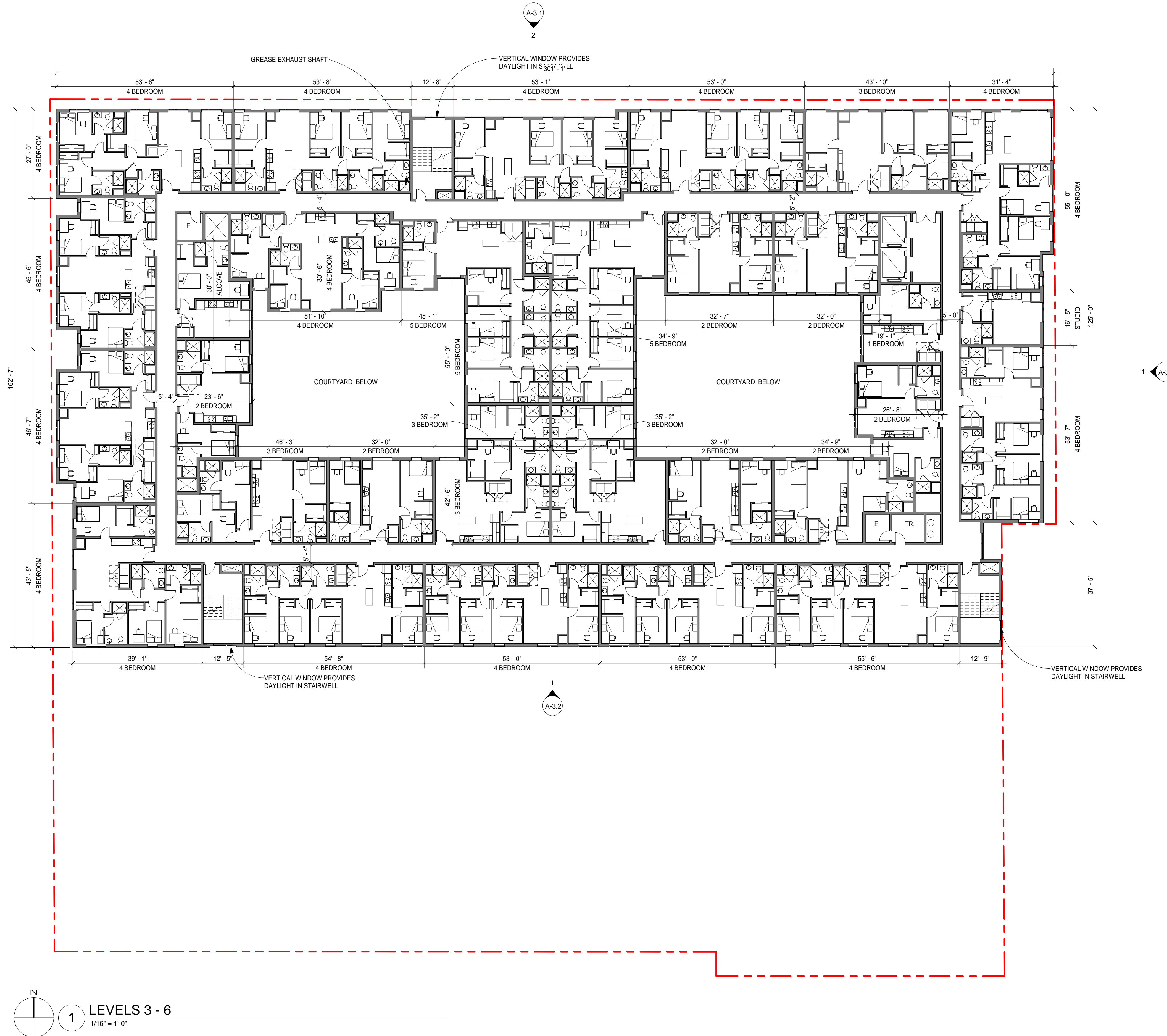
DATE
09/06/16
PROJECT MANAGER
30984
DRAWN BY
M. Hart
CHECKED BY
J. Fourniea

REGISTRATION

SHEET TITLE
LEVELS 3 - 6 PLAN

SHEET NUMBER

A-2.4



1 LEVELS 3 - 6
1/16" = 1'-0"

**NOT FOR
CONSTRUCTION**



EAST ELEVATION 1/16" = 1' - 0"



NORTH ELEVATION 1/16" = 1' - 0"

CONSULTANT

PROJECT

**River Caddis
Mixed-Use
Development**

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AMES, IOWA

PROJECT NUMBER
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ISSUE RECORD

09/06/2016 Minor Site Dev Plan

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DRAWN BY
M. Hart
CHECKED BY
J. Fourniea

REGISTRATION

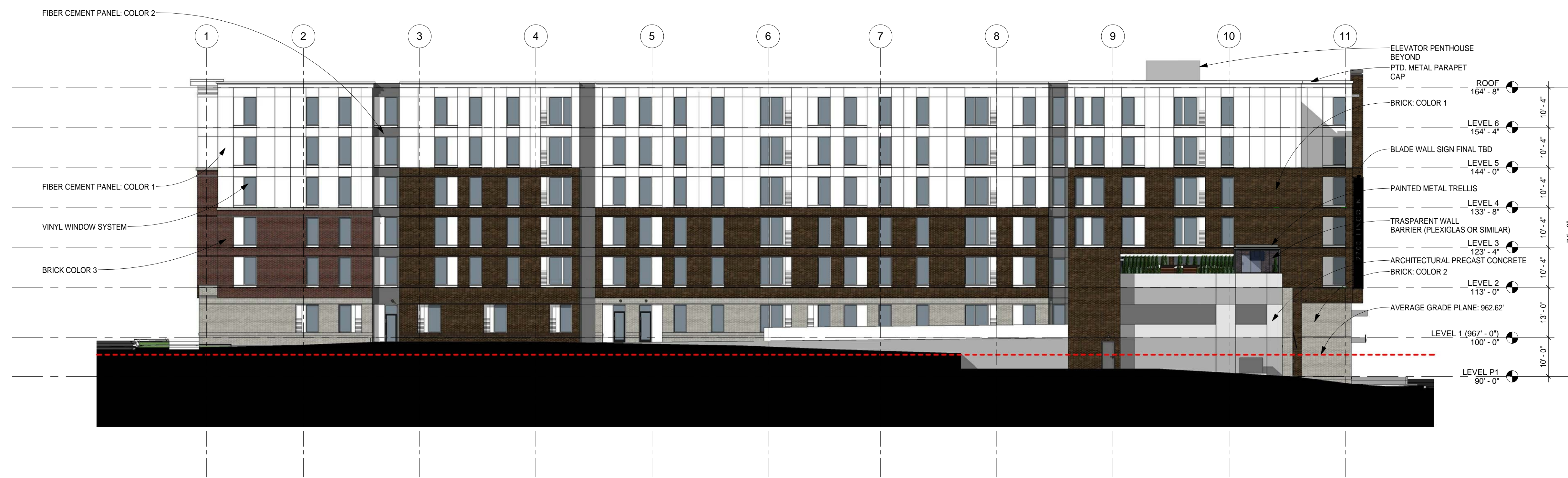
SHEET TITLE
**EXTERIOR
ELEVATIONS**

SHEET NUMBER

A-3.2



WEST ELEVATION 1/16" = 1' - 0"



SOUTH ELEVATION 1/16" = 1' - 0"



THE RUSTY BICYCLE

EXIT

ENTER

