

ITEM #: 39a
DATE: 04-26-16

COUNCIL ACTION FORM

SUBJECT: MAJOR SITE DEVELOPMENT PLAN FOR 205 S. WILMOTH AVENUE

BACKGROUND INFORMATION:

Breckenridge Group Ames Iowa, LLC is requesting approval of a Major Site Development Plan for property located at 205 S. Wilmoth Avenue (Attachment A). The lot proposed for development contain 8.91 acres and is currently zoned Residential High Density (See *Attachment A, Location and Current Zoning Map.*) The developer of the site proposes a residential and mixed-use residential and commercial development. (See *Attachment B, Major Site Development Plan*)

Development of the property is required to be with consistent the contract rezoning agreement for the property that allows for residential use of up to 422 beds and requires the development of between 15,000 and 40,000 square feet of commercial development with a mixed-use format. The property owner has also agreed to a three-story height limit for development of the site. Typically, development within an RH zoning district would not trigger a Major Site Development Plan review, but in this case the inclusion of a mixed use development in excess of 5,000 square feet requires a Major Site Development Plan approval. The property has also been designated an Urban Revitalization Area with a plan for revitalization that includes standards that are above and beyond minimum zoning standards, which the project must accomplish to be eligible for future partial property tax abatement (Attachment E).

The site abuts low-density zoned development to the south, a majority of the land to the west is low-density residential with one commercial site along Lincoln Way, to the north across Lincoln Way is split zoning of low-density residential (R-L) and highway oriented commercial (HOC), and properties to the east are mostly low-density residential with RH West University Impact zoning along Lincoln Way. There is one lone R-H parcel surrounded by the site along Lincoln Way. (See Attachment B)

The proposed plan includes four buildings with parking located around each building. The total number of apartment units is 122 units totaling 422 bedrooms with approximately 2/3 of the units configured as 4 bedroom units, 1/4 as 3 bedroom units, and the remaining number as 2 bedroom units. (Attachment C Excerpt of Plan Documents) The mixed-use building along Lincoln Way is labeled as Building A, includes approximately 15,000 square feet of commercial square footage on the ground floor and 20 apartment units above for a total of 64 bedrooms. The three apartment buildings are located in the middle of the property. Building B is located along Wilmoth Avenue and includes 36 units with 126 bedrooms. Building C is centrally located apartment building and has 30 units and 106 bedrooms. Building D is the western apartment building and has 36 units and 126 bedrooms. Additionally there is a one-story 7,000 square foot clubhouse building with leasing offices and recreation space located at the corner of Wilmoth and Lincoln Way.

There is access into the development from Lincoln Way for the commercial mixed-use

building with a driveway situated across from Colorado Avenue. This location was dictated by spacing requirements by the City's Traffic Engineer. Access from Wilmoth Avenue occurs near the clubhouse and also south of the apartment buildings across from Lettie Street. No access is provided from the dead-end street of Hilltop. Pedestrian access is provided to Wilmoth on the south side of the apartments, through to the clubhouse, and via the walkway along the commercial building. The apartment buildings are interconnected with an internal walkway system. The developer has proposed a 20-foot easement along the south boundary of the site to accommodate a future bicycle facility in anticipation of the requirement as part of the City's missing infrastructure ordinance requirements of Chapter 5 and Chapter 22 of the Ames Municipal Code, construction of facility would not occur with this development.

The buildings are all designed as three-story buildings with the appearance of a hipped roof that includes mechanical equipment wells in the center of the roof. The mixed-use building uses a commercial storefront glazing system along the ground level of the building and incorporates case stone base, brick, and horizontal cementitious board siding for the residential level above. The building includes two breaks in the roof line and elements of visual relief along Lincoln Way with two recessed facades and a pattern of recessed windows on the upper floors. The ground level includes metal awnings as well to help identify the building as commercial.

The apartment buildings are similar to the commercial buildings in use of materials and design techniques. The buildings also include brick and horizontal cementitious board siding. Each apartment building is configured in a U-shape with an internal courtyard that is approximately 30 feet in width. However, the U-shaped pattern is only visible for the central apartment building as viewed from Lincoln Way. Each of the apartment buildings is separated from the adjacent building by 20 feet with a walkway between buildings.

The mixed-use building is oriented with its main commercial frontage along Lincoln Way, but has access into the commercial tenant spaces and upper floor apartments from the rear parking lot located south of the building. The commercial tenant spaces may or may not have direct access to Lincoln Way and will be based on future tenant's desires. The individual apartment buildings will have access from both the north and south sides of the buildings with the eastern most building along Wilmoth also having an entrance to the street (east). The project includes a 6-foot wood fence around the west and south perimeter of the site as part of a 10-foot wide L3 landscape buffer. The developer has proposed a decorative 6-foot metal fence along the north and eastern perimeter. Access to the apartment area is secured with gates at all driveways and pedestrian walkways.

The project has a requirement for 465 parking spaces by zoning standards; however the Urban Revitalization Area Plan criteria require extra commercial parking that brings the minimum expectation up to 489 parking spaces. The project has a total of 492 parking spaces per the civil plan dated revisions 4.20.16. The parking is designed to segregate the commercial parking from the majority of apartment parking. There are 72 spaces adjacent to the commercial area and an additional 63 spaces to the east for apartment occupants. The clubhouse has 8 parking spaces and a drop-off area adjacent to it. The remaining 349 parking spaces are located around the apartments and behind the security fencing.

The landscape design includes the standard parking lot screening requirements for 5-foot L2 shrubs and trees, placement of street trees, and inclusion of apartment foundation and front yard landscape units (mix of trees and shrubs by linear footage). In addition, the proposed plan includes L3 plantings along the perimeter of the site in accordance with the URA criteria. The main features of the west buffer are the 6-foot wood fence with an alternating pattern of shrubs and 10 to 15-foot tall evergreen juniper trees approximately every 35 feet. The intent of the design is to provide a screening that exceeds the fence height, but there were limitations due to existing overhead power lines. The south L3 buffer utilizes larger deciduous trees along with the fence due to the greater separation of the apartments from the homes.

The developer requests a deviation from the parking lot landscaped median requirement. The Major Site Development Plan process allows for alternative landscape schemes to be approved for parking lot design when the intent of the ordinance has been met. In this instance, the very southeast corner of the site triggers a requirement for a 15-foot landscape median due to the presence of a third double loaded aisle of parking. Including the median would eliminate a minimum of 7 parking spaces and run the total length of 63 feet. The developer believes the smaller area does not warrant such a median and that the overall landscape plan appropriately landscapes the parking lot along Wilmoth where the deviation is requested.

PLANNING AND ZONING COMMISSION RECOMMENDATION:

At its meeting of April 6, 2015, the Planning and Zoning Commission reviewed the proposed site development plan and discussed site layout, access, and design of the project. The Commission noted concern over the proposed fences/gated residential development as that is not a typical occurrence in Ames. The Commission also discussed a safety concern about resident access to the site from the westbound CyRide stops along the north side of Lincoln Way. The Commission noted the western most stop at the controlled intersection of Franklin Avenue is the safest option of the residents and asked the developer if a sidewalk connection was feasible along the west property boundary of the project to encourage residents to cross at Franklin and access the residential portion of the property for the NW corner of the site rather than crossing at Wilmoth where crossing control is not in place.

Five residents and surrounding property owners spoke at the meeting raising similar concerns for the fencing and safety of the pedestrian access to the site. Comments also included concerns for increased traffic along Wilmoth Avenue and neighborhood cut through traffic on streets parallel to Lincoln Way. Issues of bike parking, safety of onsite recreation facilities, access to commercial tenant from Lincoln Way, and staffing of the facilities were also raised by the residents. One resident noted his acceptance of the plan by the developers but noted a safety concern for vehicles on westbound Lincoln Way trying to access the site or turning south onto Wilmoth Avenue due to the grades of Lincoln Way as you approach the site from the east.

The Commission ultimately recommended approval of the project with a vote of 7-0, recommending that the City Council approve the Major Site Development Plan to explore adding an additional pedestrian connection to Lincoln Way and with the following conditions and stipulations as were recommended by staff:

- a) The developer shall enter into an agreement for the costs associated with the design and construction of the extension of a turn lane from Franklin Avenue to the east through the project driveway at Colorado Avenue. The developer would contribute funds to the City for the project construction and be completed by the City in the summer of 2017.
- b) Provide an easement as shown on the site plan for the reconstruction of the shared use path along Lincoln Way.
- c) Allow for the deviation of the 15-foot landscaped median with the southeast corner of the parking lot.
- d) Adjust the height of the front yard fence along Wilmoth to a height of four feet or move Building B to 25-foot setback line to keep the six-foot fence out of the front yard.
- e) Allowance for construction of carports primarily south of the apartments, subject to staff approval of a complimentary design to the apartment buildings in terms of colors and finishes and to include a sloped roof.
- f) Allow the landscaped corner within the parking lot of the mixed-use building to be hardscaped to function as outdoor space for seating, if desired by the developer.
- g) Provide additional parking lot screening for the northwest corner of the residential parking lot along Lincoln Way and include trees along the driveway landscape strip.
- h) Modify the location of the transformer along Wilmoth to meet Electric Department access requirements and zoning standards for location and screening.
- i) Allow for the shrub plantings between the mixed use building and Lincoln Way to be substituted with decorative grasses or flowering annuals in recognition of the ground floor as commercial space rather than apartments.
- j) Continue to work with staff on includes enhancing the visual interest of the Building B along the Wilmoth facade to include a more substantial covered entry element and elements of roof variation or relief. The commercial storefront glazing shall not be covered by tenants as uncovered storage areas or with internal demising walls. Tenants may use window coverings to treat window areas for the purpose of providing for privacy and screening of internal operations.
- k) Approval of signage program as a separate Major Site Development Plan application prior to the installation of signs.
- l) Determination of adequate sanitary sewer capacity by the Public Works Department prior to the issuance of a building permit.
- m) Proceed with revised elevations for the commercial building, Building A, as presented and discussed during the April 6, 2016 Planning and Zoning Commission meeting, and
- n) Explore the viability of one or more additional north/south pedestrian connections to Lincoln Way to improve access and travel throughout the site.

Since the time of the Planning and Zoning Commission meeting the applicant has made revisions to the plan to address some of the site and building concerns noted at the meeting as well as in the staff recommended conditions for the project. The revised plans currently reflect the noted conditions of letters: d, f, g, portions of j, m, and n as requested by the Planning and Zoning Commission. Staff believes the changes that have been incorporated by the applicant meet the intent of the conditions recommended by the Commission and staff.

The proposed project is unique in its attempt to integrate a commercial mixed-use building along with normal apartment buildings on the same site. Staff focused discussions during

the Development Review Committee (DRC) process on Lincoln Way access, orientation of the project, open space and landscaping, and the architecture of the buildings. The applicant addressed comments regarding access, parking configurations, landscape materials, stormwater design, and façade design to make the proposal as presented in this report.

Staff finds that the project meets the standards of the RH zoning district and can be found to be consistent with the criteria for a Major Site Development Plan with recommended conditions. The conditions and allowances for developer options are enumerated in detail under Alternative 1. A complete analysis of the development with the Major Site Development Plan criteria and other zoning standards is included in the addendum.

ALTERNATIVES:

1. The City Council can approve the Major Site Development Plan for 205 S. Wilmoth Avenue, subject to the following conditions and allowances:
 - a) The developer shall enter into an agreement for the costs associated with the design and construction of the extension of a turn lane from Franklin Avenue to the east through the project driveway at Colorado Avenue. The developer would contribute funds to the City for the project construction and be completed by the City in the summer of 2017.
 - b) Provide an easement as shown on the site plan for the reconstruction of the shared use path along Lincoln Way prior to the occupancy of any building..
 - c) Allow for the deviation of the 15-foot landscaped median with the southeast corner of the parking lot.
 - d) Allowance for construction of carports primarily south of the apartments, subject to staff approval of a complimentary design to the apartment buildings in terms of colors and finishes and to include a sloped roof.
 - e) Modify the location of the transformer along Wilmoth to meet Electric Department access requirements and zoning standards for location and screening.
 - f) Allow for the shrub plantings between the mixed use building and Lincoln Way to be substituted with decorative grasses or flowering annuals in recognition of the ground floor as commercial space rather than apartments.
 - g) The commercial storefront glazing shall not be covered by tenants as uncovered storage areas or with internal demising walls. Tenants may use window coverings to treat window areas for the purpose of providing for privacy and screening of internal operations.
 - h) Approval of signage program as a separate Major Site Development Plan application prior to the installation of signs.
 - i) Finalize planting and lighting plans along the northwest corner of the site to meet CPTED principles with staff.
 - j) Allow for minor adjustments to the building facades to ensure conformity to the URA clay brick percentage requirements, subject to staff approval of changes.
 - k) Determination of adequate sanitary sewer capacity by the Public Works Department prior to the issuance of a building permit.

2. The City Council can approve the Major Site Development Plan for 205 S. Wilmoth Avenue, with modified conditions.

3. The City Council can deny the Major Site Development Plan for 205 S. Wilmoth Avenue, if the Council finds that the City's regulations and policies are not met.
4. The City Council can defer action on this request and refer it back to City staff and/or the applicant for additional information.

CITY MANAGER'S RECOMMENDED ACTION:

The applicant completed a traffic study to the specifications of the City's traffic engineer and the conclusions were that the study intersections will operate satisfactorily with completion of the development. The noted turn lane improvements along Lincoln Way are needed to ensure there is safe and convenient access for people turning into the commercial driveway of the site. As the need for this improvement is a result of the project, the developer is required to pay the expense. The City will be implementing a Franklin Avenue intersection improvement in 2017 and will complete the work concurrently for the developer at their cost. The improvements are planned to be completed prior to the opening of the proposed project.

Overall staff finds the project to have a satisfactory design. The layout has placed commercial development in the logical location with the constraints that are present. The apartment buildings are situated in a manner that has them located as far from most other properties as feasible. The closest neighboring structure to the west is approximately 140 feet from an apartment unit. The distance to the south is even greater.

The developer appears to have included features required as part of the URA Plan to be eligible for property tax abatement. A final determination of conformance would occur upon completion of the project. There is a separate agenda item to deal with pre-approval of certain details that are included with the Major Site Development Plan application

The issues of greatest debate remaining are the use of the decorative security fence, details on configurations of landscape plantings, potential for a direct walkway from the apartments to Lincoln Way, configuration of storefront access to Lincoln Way, appearance of closed off windows along Lincoln Way. Although some of the issues have proposed conditions to address them, the issues of commercial orientation and security fencing do not have conditions as there are differing opinions or lack of clarity on if there are better options. The developer believes their plans are appropriate and meet the needs of their future residents and customers within the requirements of the City.

The City does not have specific requirements for carports and the applicant has indicated an interest in potentially adding carports. Due to their minor nature, staff believes their final design can be accomplished from a staff review as would be done with a minor site development plan.

It should be noted that this project exists in a portion of the west Ames Sanitary Sewer service area described the Sanitary Sewer System Capacity Update (Agenda Item #37) that will require a capital improvement project to correct a capacity issue in the sanitary sewer system. Subject to the City Council deciding to initiate a capital

improvement project for the 2016 construction season to deal with the capacity deficiency, the proposed Major Site Development Plan can be approved.

Dealing with this sanitary sewer capacity issue is a critical to the developers as they have the intent of proceeding with construction within the next month and the inability to get building permits would take the project off schedule for completion in August 2017.

If the Council is confident that the sewer project will be completed prior August 2017, then a condition to withhold building permits is not necessary. However, if the Council is not confident that the sanitary sewer project will be completed by August 2017, a condition to withhold building permits is advisable.

Therefore, it is the City Manager's recommendation that the City Council adopt Alternative #1, which is to recommend that the City Council approve the Major Site Development Plan for 205 S. Wilmoth Avenue with conditions including withholding the building permits until timing for the needed capital improvement is verified. However, if Council commits on April 26th to a sewer improvement project for the 2016 construction season, the condition to withhold building permits can be deleted.

ADDENDUM

PROJECT DESCRIPTION:

Infrastructure. Existing easements along the south and west property lines are shown on the Site Plan and any additional easements needed to accommodate the proposed development of the future building(s) and utilities will be recorded with the property prior to final occupancy of the buildings. The plans show the addition of a shared use path easement along Lincoln Way to accommodate the widening of Lincoln Way and relocation of the existing path. The project also identifies granting of an easement along the south façade for a bicycle facility to conform to the off-street bicycle facilities needs identified in the Ames Long Range Transportation Plan. A traffic study (see separate attachment) was completed to assess impacts on nearby intersections. The study found that the adjacent intersections would perform adequately upon build out of the project.

Public Works has received general information from the developer regarding sewer loading information for the development. The assessment of capacity in west Ames found there are projected deficiencies in the main trunk line along Lincoln Way when accounting for planned and proposed development. Public works has also identified an improvement project that can increase capacity within this main line. **A full update of the findings of the sanitary sewer modeling is part of a separate agenda item under Administration. Presuming City Council commitment to have the project completed by August 1, 2017, the Major Site Development Plan can be approved. Staff has included a condition that building permits not be issued for the site without verification of the timing of the improvements.**

All other utilities for water, electric, and storm water are adequate.

Access. Vehicular access is provided to the site from both Lincoln Way for the mixed use building and from Wilmoth Avenue for the clubhouse and apartment buildings. Parking is provided for each unit within surface parking lots. The traffic study determined that due to traffic volumes on Lincoln Way and the need for left turn access to the site that a turn lane was appropriate. No signalization of the driveway is required. The developer will bear the costs associated with the widening of Lincoln Way and the extension of the turn lane. The widening will occur along the south edge of the right-of-way. The project will be incorporated into the City's planned Franklin intersections improvements.

The Wilmoth access points allow for visitors to reach the clubhouse/leasing office without passing through the security gate system. The second driveway to the south will be resident only access as is the case for the north gate through the commercial area to Lincoln Way. Most of the parking is situated within the gated area, with approximately 71 residential parking spaces located outside of the gated areas. The south driveway on Wilmoth is located across from Lettie, but does not directly lineup with the centerline of Lettie Street. Staff has reviewed the alignment and finds that there is no appreciable change in the expected operational level of the intersection of safety of the intersection by the 10-foot offset. Realignment of the driveway to the centerline of Lettie was difficult to accommodate with the pattern of apartment development and parking lot layout without substantially altering the approach to the layout of the site and location of the apartments.

Closing the driveway at Lettie and moving it south was also undesirable to the applicant and to staff.

Walkway access exists to the site from both Lincoln Way and Wilmoth. The commercial building includes a walkway extending to Lincoln Way and includes a walkway along the store fronts. The walkway then circulates along the south façade of the building and connects to a gated entrance to the apartments. This connection meets the basic requirements of the Zoning Code, despite the indirect connection for many of the apartment residents. A second walkway exists internally to allow for individual parking in the front residential lot to walk through security gate to conveniently access the apartment buildings. Along Wilmoth the walkway choices are to circulate northeast through the clubhouse approach or to take the walkway along the south side of the apartment directly out to Wilmoth. Building B includes a direct entrance onto Wilmoth as well.

Buildings. The proposed apartment buildings are approximately 42 feet to the top of the roof and a height of 37 feet to the midpoint of the slope of the roof. The mixed-use building is slightly higher at a top of roof height of approximately 44 feet. The commercial building is taller due to the requirement in the URA for a commercial floor to ceiling height of 12 feet. The roof design is essentially a hipped roof with mechanical wells located internally in the roof. This provides for screening of HVAC equipment and frees up ground level areas for other uses, while maintaining a residential appearance. Staff believes this a good approach to addressing all the considerations of space and design for the project. The commercial building includes breaks in the roof line and recessed façade and windows elements to address its building scale. The apartment buildings also include recessed windows and changes in the façade plan, but have less dramatic changes to the roof lines.

The exterior materials facing the street are expected to be 80% clay brick to meet the URA Plan criteria with the remaining sides a minimum of 50% brick. From staff's most recent calculations it appears that the facades need some adjustments in materials to meet the URA expectations. The developers have proposed cementitious board lap siding and trim as the primary finish in addition to brick. The façade design also includes elements of cast stone. The roofs would be asphalt shingle.

The two major concerns for the project are the elevations of the commercial building facing Lincoln Way and apartment Building B along Wilmoth. The commercial façade is a challenge in how it functions as a transparent commercial space in relation to Lincoln Way. The developer believes most commercial tenants will choose to have the doors situated along the south facade by the parking than to the north out to Lincoln Way. The design does allow the storefront glazing to be switched to an entry at the desire of future tenant. Staff supports the substantial use of windows and metal awnings for the commercial space, but has some reservations about its appearance if future tenants relegate the area to storage and choose to wall off the areas rather than maintain them as windows. We have added a condition to ensure that only window coverings are used to block the windows and not more permit interior walls in an effort to promote maintaining window transparency along Lincoln Way.

Overall the apartment building appearance meets the general interest of proportionate use of materials to accent architectural features and use of recessed windows and façade to provide visual relief and interest. Additionally the U-shaped design creates a significant

variation in the building appearance; however, this is principally only an internal design feature of the buildings as it is not visible from most vantage points from the street. The primary apartment elevation concern is the front façade of Building B towards Wilmoth.

Setbacks. The mixed use building has a side yard setback of 20 feet and a front setback varying between 31 and 25 feet along Lincoln Way. However, due to the relocation of the shared use path into the 8-foot easement, the final built condition will have the appearance of a 23 to 17-foot wide setback, where a 25-foot front setback is required. Staff finds this acceptable as commercial setbacks would be 20 feet in this area for HOC and that due to the size and nature of Lincoln Way as an arterial street, placement of building nearer to the street will be compatible. Staff would even support the location of plaza space within this setback area to support pedestrian orientation and interest along the corridor.

The apartment buildings are situated approximately 77 feet from the west property line. Staff estimates the closest house is approximately 155 feet away from the apartments to the west. The apartments are approximately 200 feet from the south property line. The apartments are located along the front setback of 25 feet along Wilmoth. The apartments are approximately 170 feet away from the house located along Lincoln Way. The parking areas are separated from the adjacent properties by a minimum a 10 foot buffer strip. Three trash enclosures are each situated approximately 10 feet from the west and north property lines. The clubhouse building meets the 25-foot setback requirements for both Lincoln Way and Wilmoth.

Parking. The developer proposes 492 parking spaces where the minimum expected is 489 when applying the URA Criteria. The project has 67 spaces accounted for as commercial use and 425 for residential uses. The project layout includes 72 spaces adjacent to the commercial area, with 26.3% (19 spaces) as small car spaces. The 63 residential spaces along Lincoln Way include 11 small car spaces for 18% of the spaces. The applicant has proposed only these 30 small car spaces resulting in a percentage of 6% of the overall spaces, well below the 20% allowance of the Zoning Ordinance. The accessible parking spaces are distributed within the commercial parking area and the secured residential parking areas nearest to the entrances to the apartment buildings.

The developer has noted an interest in potentially adding a carport in the central area south of the apartments. This area covers approximately 92 parking spaces. The developer does not have a specific design at this time. The City has no specifications for the carport other than all parking spaces must meet dimensional requirements regardless of whether they are covered or uncovered. Staff has included in the recommend conditions an allowed that if the developer seeks to add a carport that staff could approve the design administratively rather than trigger a Major Site Development Plan amendment and public hearing process. Staff believes the carports can be acceptable with the use of sloped roof and materials and coloring the compatible with the apartment buildings. The URA criteria also require that accessory structures include a gabled or hipped roof.

Fencing. The applicant has proposed a 6-foot wood privacy fence proposed along the west and south property lines. This is a criteria of the URA plan. The applicant also proposed to include a black 6-foot tall metal fence around the apartment portion of the site. The fence is an issue of discussion for the project as the developer strongly desires to include the feature and believes it is an attractive element to customers. The City does not have extensive

experience with fences at apartment locations and to put such a barrier up along the front property lines is uncommon. The developer has included provisions for Knox boxes and key fobs at gates and doors to ensure appropriate emergency access is available.

Landscaping. The developer has included required landscaping for street trees, buffer landscaping, and front yard landscaping with a wide variety of deciduous trees, flowering trees, and shrub varieties. The majority of ground cover is proposed as turf. Additionally, parking lots include landscape island requirements to allow for planting of trees to provide shading in parking areas.

The applicant addressed concerns about screening along the west property line by including small evergreen screening trees that grow to between 10-15 feet. These trees will fit below the existing overhead powerline and still provide enhanced screening beyond the 6-foot wood fence that will be on the property line. Staff had noted that the Lincoln Way parking areas and yard landscaping could include minor alternations to ensure visibility to the commercial spaces. Staff suggests use of decorative grasses or flowers to add interest to the front yard landscaping between the building the street. Staff also suggested that the developer should have the option of changing the landscaped area at the interior corner of the commercial to hardscape if it is beneficial to create an outdoor seating area as this area is not a required landscape area.

Notably the developer has requested a deviation from the parking lot median requirement for the southeast corner of the site. A 15-foot landscaped median is required when there are three rows of double loaded parking. This occurs for a 63 linear foot distance in the southeast corner of the site. Adding the median would result in the loss of approximately 7 parking spaces within the 63-foot long area. As part of the major site plan review process, the City Council can approve an alternative landscape design when the purposes of the ordinance as described in 29.403 (4)a are met. The developer believes the overall design is attractive and harmonious with the surroundings, the parking area is adequately screened and includes a variety of plant types, and that stormwater and drainage impacts of the parking lot have been addressed within the stormwater management plan.

The stormwater management plan relies principally on the detention basin at the south end of the project and also includes a below ground system in the north residential parking area. These facilities will control the release of the water from the site as well as provide for water quality treatment.

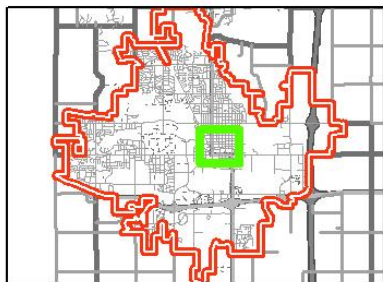
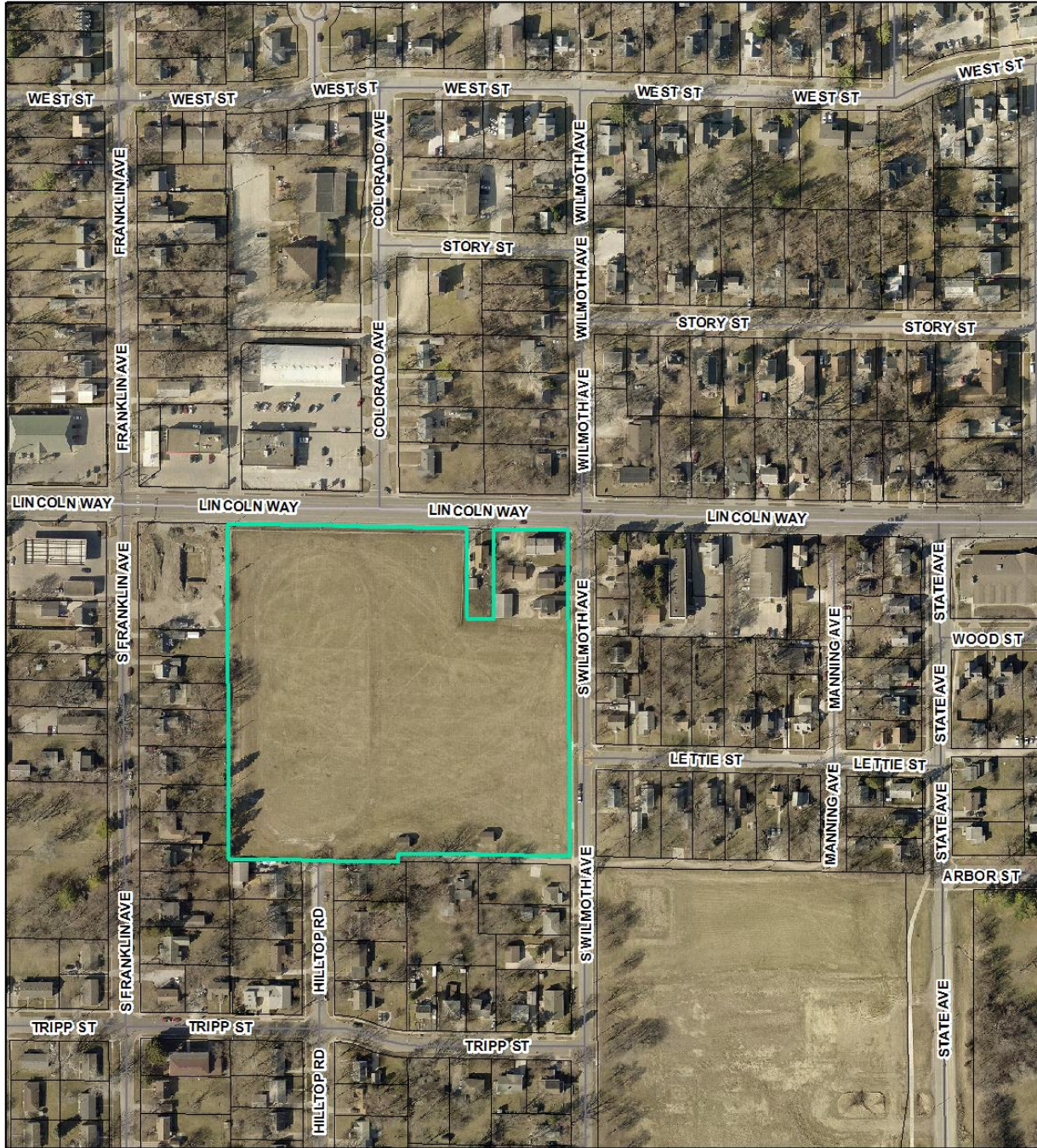
Lighting. The parking lot lighting plan is a combination of pole lights and wall packs. The main parking lot pole light will be 25 feet in height with the poles reduced to 20 feet in height along the west property line. Wall packs are placed on the façade of the building to light the walkways and parking areas. The Zoning Ordinance has an outdoor lighting code designed to contain uplighting and glare. The applicant proposed full cut off light fixtures and has complied with the standards of the lighting code. The developer has included a lighting plan demonstrating the projected amount of illumination at ground level in foot candles. Staff focused on having adequate lighting for safety and security around the buildings and for minimizing light trespass at the perimeter. The proposed design accomplishes a 0.5 foot candle or less level of lighting along the perimeter of the site. Staff believes this minimal level illumination is acceptable as not being an issue of light trespass when factoring in the buffer yard fencing and vegetation.

Grading. The overall site is relatively flat with the site currently situated higher than the surrounding rights-of-way. The grading plan will create finished floor elevations for the apartments between 986 and 987 compared to elevations within Lincoln Way of 982 to 983 and from 982 to 987 along S. Wilmoth. Due to relationship of the site to the rights-of-way, the buildings abutting the right-of-way will appear 3 to 4 feet taller in height than the calculated building heights. The grading design has the site crest at the middle of the site at the location of the apartments. Approximately half of the site would drain to the south and half would drain to the north. The detention pond at the sound end of the site would be excavated down approximately 8 to 9 feet.

Major Site Development Plan Criteria. Additional criteria and standards, beyond those of the RH Zone, apply to the review of all Major Site Development Plans. The standards are found in Ames *Municipal Code* Section 29.1502(4)(d) and include the following requirements. *When acting upon an application for a Major Site Development Plan approval, the Planning and Zoning Commission and the City Council shall rely upon generally accepted site planning criteria and design standards. These criteria and standards are necessary to fulfill the intent of the Zoning Ordinance, the Land Use Policy Plan, and are the minimum necessary to safeguard the public health, safety, aesthetics, and general welfare.* See Attachment D for a full review of the individual Development criteria for the Major Site Development Plan.

Public Notice. Notice was mailed to property owners within 200 feet of the subject site and a sign was posted on the subject property. Staff also met with neighborhood representatives in February and has sent copies of plans in March. As of this writing, no comments have been received.

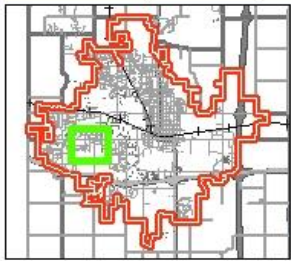
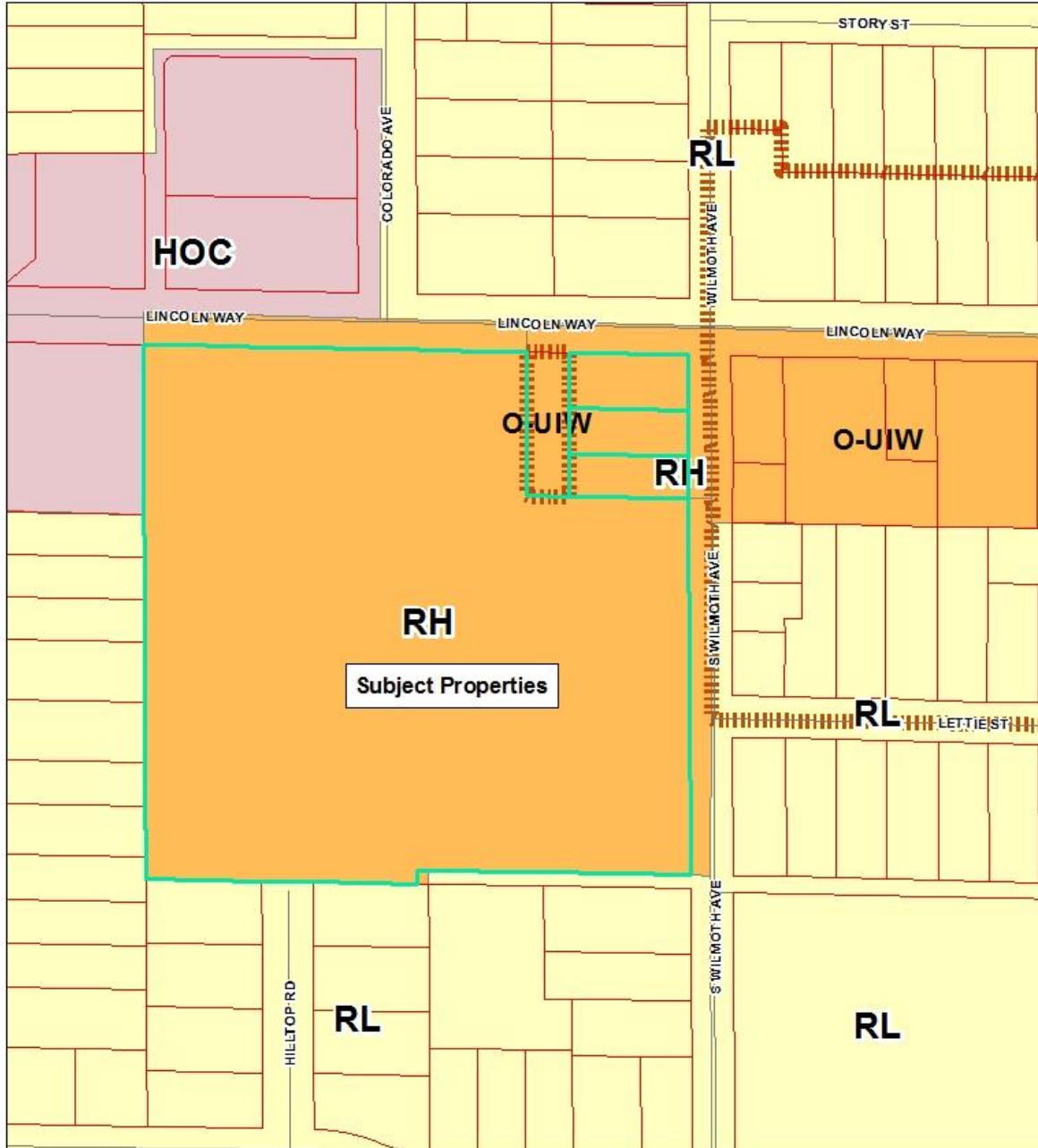
Attachment A Location Map



Location Map 205 Wilmoth

Attachment B

Existing Zoning Map



Proposed Zoning Map

205 S. Wilmoth Avenue

Attachment C
Major Site Development Plan

*Excerpt of site plan, landscape plan, and
architectural renderings included as separate PDF*

Attachment D
Major Site Development Plan Criteria.

29.1502 (4)d. When acting upon an application for a Major Site Development Plan approval, the Planning and Zoning Commission and the City Council shall rely upon generally accepted site planning criteria and design standards. These criteria and standards are necessary to fulfill the intent of the Zoning Ordinance, the Land Use Policy Plan, and are the minimum necessary to safeguard the public health, safety, aesthetics, and general welfare. These criteria and standards include:

1. The design of the proposed development shall make adequate provisions for surface and subsurface drainage to limit the rate of increased runoff of surface water to adjacent and downstream property.

The Public Works Department has reviewed the storm water management plan and finds that the proposed development can meet the required storm water quantity and quality measures by use of proposed on-site detention options.

2. The design of the proposed development shall make adequate provision for connection to water, sanitary sewer, electrical, and other utility lines within the capacity limits of those utility lines.

The City is in the process of finalizing its assessment of the sanitary sewer capacity and project improvements for the west Ames area and its flow through the main in Lincoln Way. The City must make a determination of project conformance to the infrastructure capacity prior to approval of the site development plan and issuance of a building permit. Presuming City Council's commitment to improve the sanitary sewer facilities, this project can be found to conform to the City's standards. All other utilities are available to serve the site and their planned locations are shown on the civil plans.

3. The design of the proposed development shall make adequate provision for fire protection through building placement, acceptable location of flammable materials, and other measures to ensure fire safety.

The fire inspector has reviewed access and fire truck circulation and found that the needs of the fire department are met. The main access points into the site from both Lincoln Way and Wilmoth are indicated as gated accessed. The Fire Department has noted their acceptance of the gates as long as security access device is provided to allow fire department access. The parking lot design provided on the site allows the turnaround space needed for fire access.

4. The design of the proposed development shall not increase the danger of erosion, flooding, landslide, or other endangerment to adjoining and surrounding property.

The proposed development is not located in a floodplain nor on or near steep slopes. It is not anticipated that this proposed development will be a danger due to its location on the site and conditions of the site.

5. Natural topographic and landscape features of the site shall be incorporated into the development design.

Currently the vacant property is fairly flat with no natural topographic or landscape features that could be incorporated into the development. A grading plan has been submitted which identifies the changes being made to the site to accommodate the proposed development.

6. The design of the interior vehicle and pedestrian circulation shall provide for convenient flow of vehicles and movement of pedestrians and shall prevent hazards to adjacent streets or property.

Access is provided from Lincoln Way to the north into the development and from Wilmoth Avenue to the east. The on-site sidewalks will connect with the existing sidewalk along Lincoln Way as well as to the sidewalks along Wilmoth Avenue. The gated entrances to the residential parking are not anticipated to cause access issues for waiting vehicles due to automatic electronic opening devices used by residents.

7. The design of outdoor parking areas, storage yards, trash and dumpster areas, and other exterior features shall be adequately landscaped or screened to minimize potential nuisance and impairment to the use of adjoining property.

The design exceeds the minimum buffer requirements of an L3 with a combination of trees and shrubs and a 6-foot fence with a 10 foot area along the west property lines and north property lines. The facilities are located in excess of 30 feet from the south property line and 25 feet from the east property line. The dumpster locations are as close as ten feet from the property lines. The developer believes they facilities are sized to allow for once or twice a week pick up which minimizes potential for impairment of use of adjoining property.

8. The proposed development shall limit entrances and exits upon adjacent streets in order to prevent congestion on adjacent and surrounding streets and in order to provide for safe and orderly vehicle movement.

The north driveway is required to have the developer complete a turn lane extension for safe access to the site. The improvement will be coordinated with a City intersection project at Franklin. The improvements will be completed in the summer of 2017.

9. Exterior lighting shall relate to the scale and location of the development in order to maintain adequate security, while preventing a nuisance or hardship to adjacent property or streets.

With the pole heights of 25 and 20 feet and use of wall packs for sidewalk lighting the plans meets the interest of appropriate scale and location of lighting. The lighting plan demonstrates minimal light trespass with lighting levels projected at 0.5 foot candles or less along the property lines.

10. The proposed development shall ensure that dust and other forms of air pollution, noise disturbances, odor, glare, and other nuisances will be limited to acceptable levels as prescribed in other applicable State and City regulations.

The proposed residential use is not expected to generate nuisances as it meets city design requirements and will operate in a manner consistent with other similar uses throughout the city.

11. Site coverage, building scale, setbacks, and open spaces shall be in proportion with the development property and with existing and planned development and structures, in adjacent and surrounding property.

A major consideration in the layout of the site was to have commercial along Lincoln Way and to have as much separation of the apartment buildings from adjacent properties. The development has satisfied these interests with the mixed use building location and the centralized location of the apartments, the closet abutting home to apartment building is estimated at 140 feet. The open spaces in the plan are designed to allow for separation of uses from the adjacent properties and for screening. The areas are large enough to ensure the landscaping will be able to mature and achieve the goal of softening the appearance of the site and to provide screening. Common open space for residents is proposed within internal courtyards that are not likely to have an adverse effect on the surroundings. Additionally, the limit of 3 stories for the buildings makes them compatible with their surroundings which are a mix of one and two-story structures in the immediate vicinity and larger structures to the west and east along Lincoln Way.

Staff has proposed conditions to address the building scale and appearance of the Wilmoth Building B in attempt to provide more interest to its front façade due to its length and prominent location at the front yard setback. Additional conditions are recommended to address minor details in the landscape plan, fence requirements, and uses of the commercial building with the intent of maintaining window transparency along Lincoln Way. Overall the proposed plan meets this criterion through the location of buildings and the use of architectural treatments with high quality building materials to create visual interest that supports the building scale and relationship to its surroundings.

Attachment E
Urban Revitalization Plan Criteria

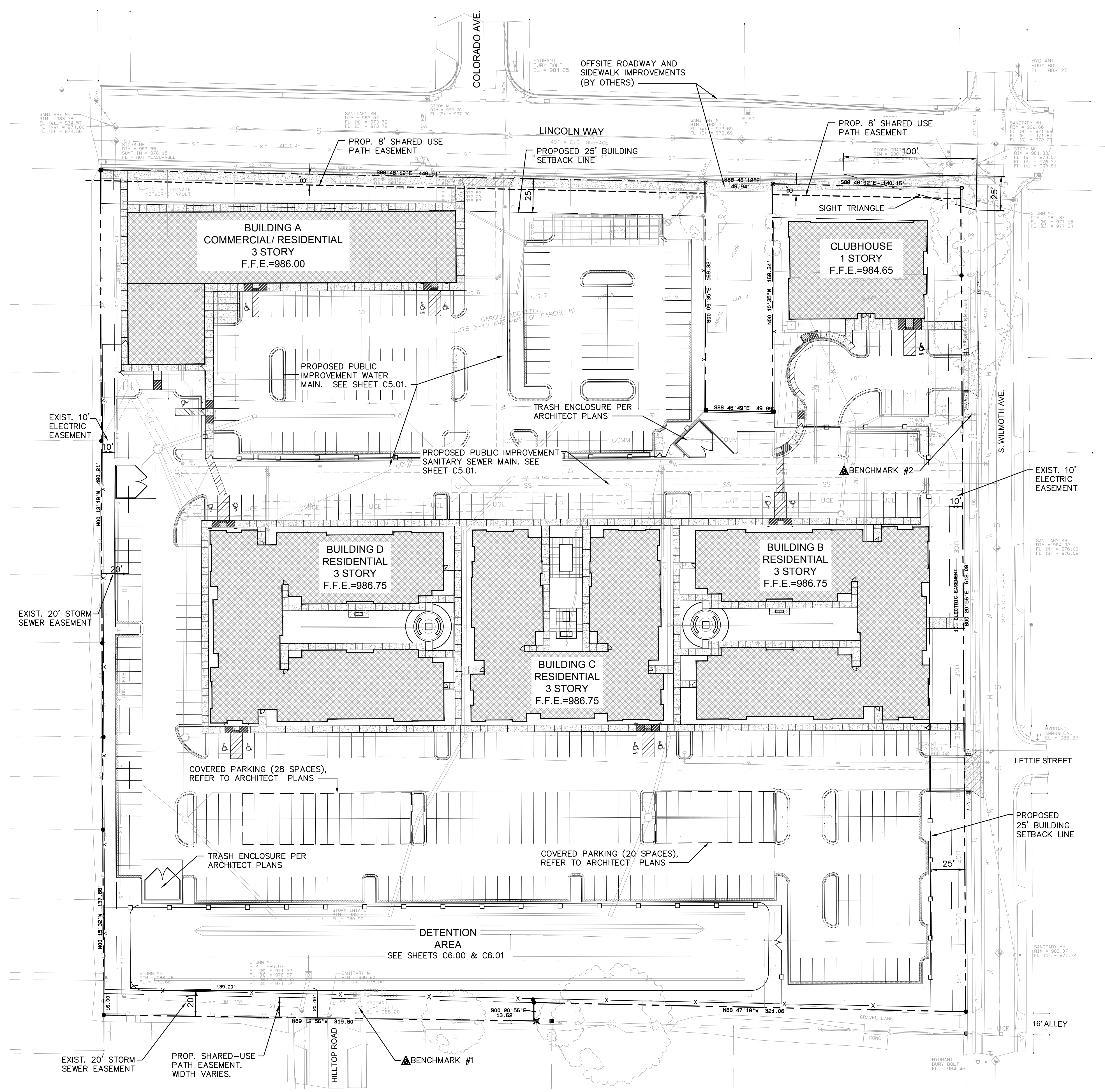
1. All buildings shall use clay brick as the principal building material for 80 percent of the street facing facades, excluding openings. The remaining facades shall incorporate clay brick or cut stone into 50 percent of the façade materials. In the event that a building is behind another building and is set back at least 200 feet from Wilmoth Avenue or Lincoln Way, such building requires 80 percent brick on only one façade and 50 percent on all other facades.
2. Buildings used solely for residential and accessory uses shall utilize hipped or gabled roofs. Mixed-use buildings are exempt from this standard.
3. The project shall provide additional commercial parking in excess of the retail/office parking rate of 3.3 spaces per 1,000 square feet of gross commercial floor area. A minimum of 20 percent of the commercial floor area shall provide parking at a rate of 9 spaces per 1,000 square feet of gross commercial floor area for the first 30,000 square feet of gross floor area.
4. A clubhouse, as defined in the Zoning Ordinance, shall not be permitted on the ground floor of a commercial mixed use building.
5. Ground floor commercial uses of mixed use buildings must be a permitted use of the HOC base zone for Office Uses; Retail Sales and Services Uses; Entertainment, Restaurant, and Recreation; and miscellaneous use of childcare.
6. Typical commercial tenant footprint shall have a minimum depth of 40 feet.
7. Commercial areas shall have a floor to ceiling height of a minimum of 12 feet.
8. Primary entrances to residential buildings shall include covered entries with architectural enhancements increasing the buildings visual interest and identifying the entrance.
9. The residential project shall receive and maintain certification for the Iowa Crime Free Multi-Housing Program administered by the Ames Police Department.
10. The project shall utilize a Sign Program for commercial tenants that provide a cohesive design and lighting style to the site. Sign Program will allow for wall signage per the Sign Code. If a commercial ground sign is constructed, it is restricted to a single monument sign along Lincoln Way and shall include a decorative base compatible with the commercial buildings finishes and have an opaque sign face background. The Sign Program must be approved by the Planning Director.
11. The project shall provide landscape buffering with the L3 and F2 standards in a minimum of a 10-foot-wide planter along the perimeter property lines of the site.
12. The project shall provide street trees, per City specifications, along Wilmoth Avenue.
13. There shall be no balconies facing the south, west or east on the perimeter of the project or adjacent to Lincoln Way.











SURVEYOR'S DESCRIPTION

SURVEY DESCRIPTION—PARCEL 'P':
PARCEL M IN LOTS 5-13, BLOCK 1 IN GARDEN SUBDIVISION AND PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER, AS SHOWN ON THE PLAT OF SURVEY FILED ON MAY 22, 2014 IN SLIDE 483, PAGE 4, AND LOTS 1-3, BLOCK 1 IN SAID GARDEN SUBDIVISION, ALL IN SECTION 8, TOWNSHIP 83 NORTH, RANGE 24 WEST OF THE 5th P.M., CITY OF AMES, STORY COUNTY, IOWA, AND ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 1; THENCE S00°20'56"E, 612.09 FEET ALONG THE WEST LINE OF S. WILMOTH AVENUE TO A POINT ON THE NORTH LINE OF THE SOUTH 16.00 FEET OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER; THENCE N88°47'18"W, 321.06 FEET ALONG SAID LINE; THENCE S00°20'56"E, 13.62 FEET TO THE NORTH LINE OF FRIEDRICH'S 15th ADDITION TO AMES, IOWA; THENCE N89°12'56"W, 319.80 FEET ALONG SAID LINE TO THE SOUTHWEST CORNER OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER; THENCE N00°15'32"W, 137.68 FEET ALONG THE WEST LINE THEREOF TO THE NORTHEAST CORNER OF LOT 1 IN C. G. LEE'S SUBDIVISION; THENCE N00°13'19"W, 490.21 FEET TO THE NORTHWEST CORNER OF SAID LOT 13; THENCE S88°48'12"E, 449.51 FEET ALONG THE NORTH LINE OF SAID LOTS 5-13 TO THE NORTHEAST CORNER OF SAID LOT 5; THENCE S00°09'35"E, 169.32 FEET TO THE SOUTHWEST CORNER OF SAID LOT 5; THENCE S88°46'49"E, 49.99 FEET TO THE SOUTHWEST CORNER OF SAID LOT 3; THENCE N00°10'35"W, 169.34 FEET TO THE NORTHWEST CORNER OF SAID LOT 1; THENCE S88°48'12"E, 140.15 FEET TO THE POINT OF BEGINNING, CONTAINING 8.91 ACRES.

NOTE:

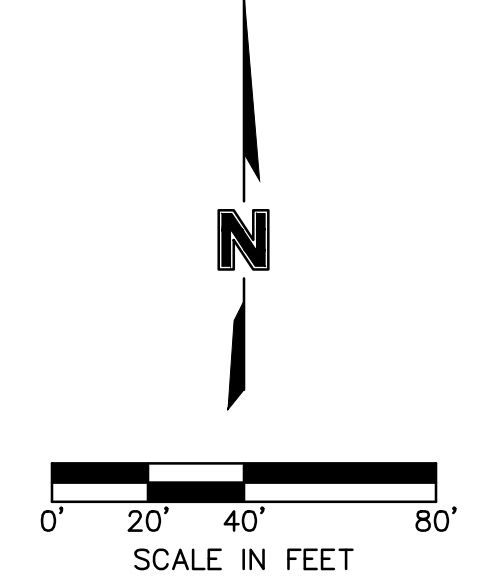
ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS, OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC RIGHT-OF-WAY.

SURVEY LEGEND

- WATER LINE
- ELECTRIC LINE
- SANITARY SEWER
- GAS LINE
- TELEPHONE LINE
- TV CABLE
- STORM SEWER
- EXIST. 'X' IN CONCRETE
- EXIST. FIRE HYDRANT
- EXIST. POWER POLE
- EXIST. LIGHT POLE
- EXIST. GUY ANCHOR
- EXIST. SPOT ELEVATION
- EXIST. GAS METER
- EXIST. WATER VALVE OR CURB BOX
- EXIST. BEEHIVE INTAKE
- EXIST. ELECTRIC BOX
- EXIST. UTILITY POLE
- EXIST. TELEPHONE PEDESTAL
- EXIST. 24" STORM INTAKE
- EXIST. IRRIGATION CONTROL
- EXIST. SIGN POST
- EXIST. GROUND LIGHTING
- EXIST. PK OR MAG NAIL FOUND OR SET AS NOTED
- EXIST. 24" STORM INTAKE
- EXIST. ELECTRIC METER
- EXIST. BOLLARD
- PROPERTY BOUNDARY
- SECTION LINE
- STREET CENTERLINE
- RIGHT OF WAY LINE
- EASEMENT LINE
- BUILDING SETBACK LINE
- SECTION CORNER FOUND OR SET AS NOTED
- FOUND IRON PIN OR PIPE AS NOTED
- SET 1/2" REBAR W/ YELLOW CAP #17161

LEGEND

- PROPERTY LINE
- EX. UTILITY EASEMENT
- PROP. SETBACK LINE
- PROP. WATER LINE
- PROP. SANITARY SEWER LINE
- PROP. 6' HIGH IRON FENCE
- PROP. 6' HIGH BOARD FENCE
- SIDEWALK RAMP - SLOPES @ 8.33% MAX.
- INSTALL MODERATE DUTY ASPHALT PAVEMENT
ALT. #1 INSTALL MODERATE DUTY CONCRETE PAVEMENT
(SEE DETAIL SHEET C8.00)
- INSTALL LIGHT DUTY ASPHALT PAVEMENT
ALT. #1 INSTALL LIGHT DUTY CONCRETE PAVEMENT
(SEE DETAIL SHEET C8.00)
- INSTALL CONCRETE PAVEMENT
(SEE DETAIL SHEET C8.00)
- CONSTRUCT CONCRETE SIDEWALK FLUSH WITH PAVEMENT (SEE DETAIL SHEET C8.00)
- CONSTRUCT CONCRETE SIDEWALK (SEE DETAIL SHEET C8.00)
- SUDAS TYPE A CONCRETE DRIVEWAY



- ▲ BENCHMARKS:**
- #1. EXIST. FIRE HYDRANT BURY BOLT LOCATED AT THE NORTH END OF HILLTOP ROAD. ELEV. = 988.20
 - #2. EXIST. FIRE HYDRANT BURY BOLT LOCATED APPROX. 200' SOUTH OF LINCOLN WAY AND ON WEST SIDE OF WILMOTH AVE. ELEV. = 985.27

OWNER/DEVELOPER:
BRECKENRIDGE GROUP AMES IOWA, LLC
ATTN: T.C. SELMAN
1301 S. CAPITAL TEXAS HWY
AUSTIN, TX 78746

ENGINEER:
OLSSON ASSOCIATES
CONTACT: JEREMY SHEPHERD
7157 VISTA DRIVE
DES MOINES, IA 50266
TELEPHONE: (515) 331-6517

UTILITY PROVIDERS

GAS: ALLIANT ENERGY (319-286-1315)
ELECTRIC: CITY OF AMES ELECTRIC SERVICES (515-239-5189)
SEWER/WATER: CITY OF AMES (515-239-5162)
TRAFFIC: CITY OF AMES (515-239-5535)
PHONE/COMMS: CENTURYLINK (303-664-8090)
WINDSTREAM/MCLEOD (800-289-1901)
MEDIA: IOWA STATE UNIVERSITY (515-294-2716)
MEDIACOM (515-233-2318)
UNITE PRIVATE NETWORKS (515-321-3336)

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ASPEN HEIGHTS AMES
 AMES, IOWA

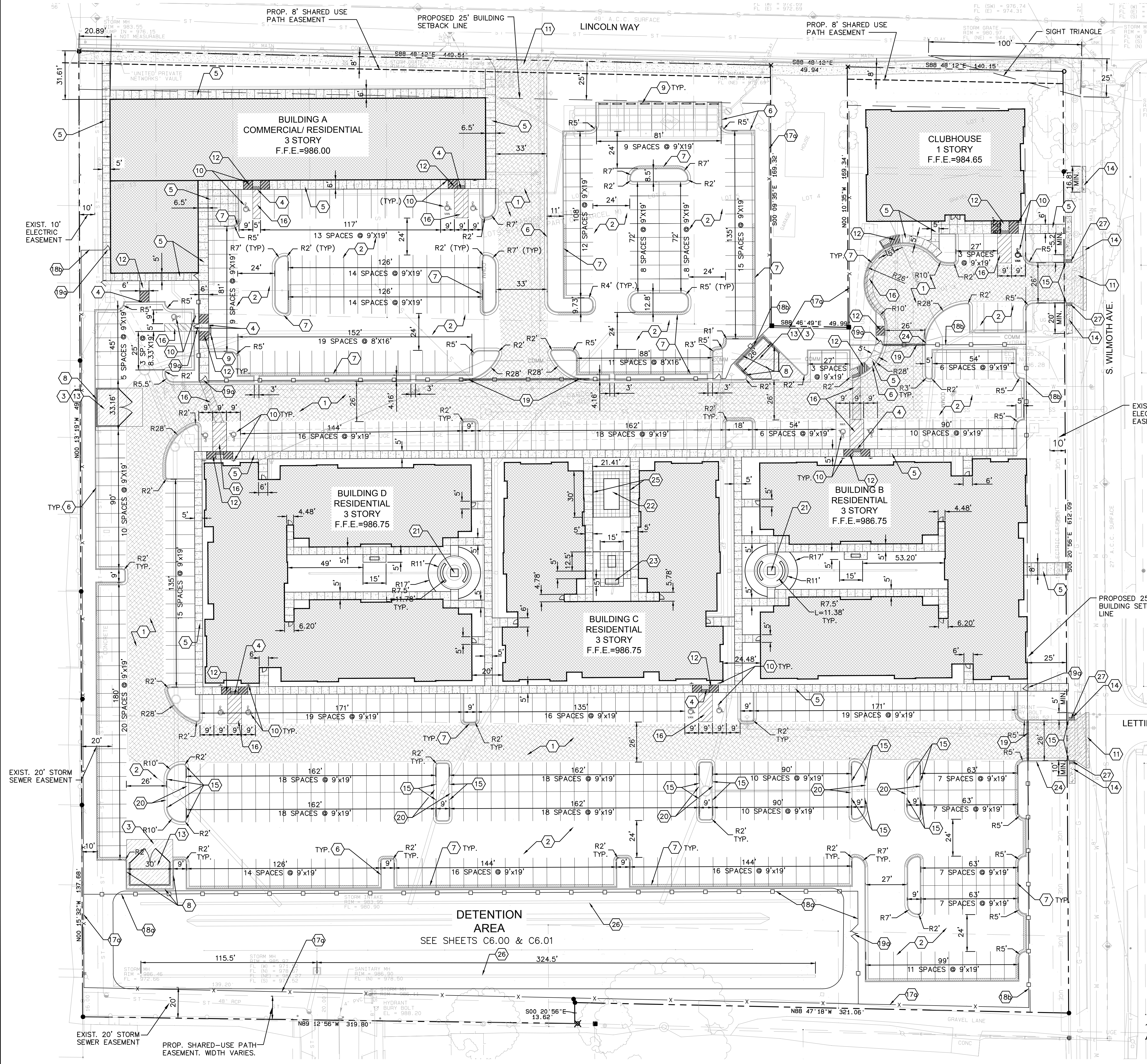
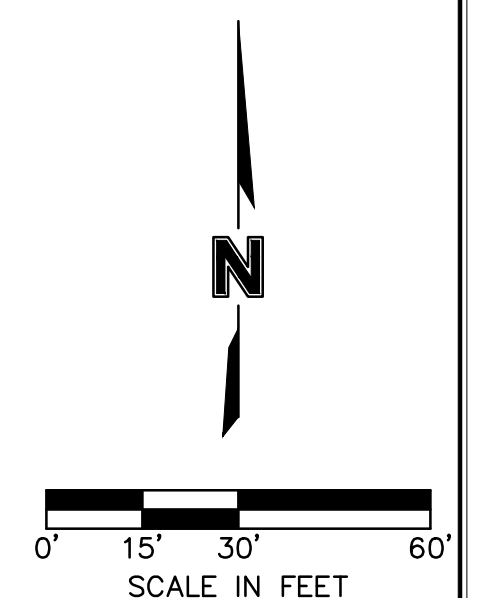
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REVISIONS
03.18.16 - REV'D PER CITY CMNTS.
04.28.16 - REV'D PER CITY CMNTS.
PROJECT NUMBER:
2015147
ISSUE:
1/05/2016
SHEET NAME:
SITE PLAN
SHEET:
C1.01

PAVING NOTES:

1. ALL PAVING WORK AND SUBGRADE PREPARATION/STABILIZATION SHALL CONFORM TO THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEERING REPORT, PREPARED BY TERRACON, DECEMBER 23, 2015. PROJ. NO. AB155677-01. IN CASE OF ANY CONFLICT WITH THESE PLANS, NOTIFY ENGINEER IMMEDIATELY.
2. UNLESS PROVIDED FOR IN THE PLANS, CONTRACTOR SHALL DEVELOP A CONCRETE PAVEMENT JOINTING PLAN USING THE PROPOSED SITE PLAN AND SITE CONDITIONS. JOINT LAYOUT SHALL BE IN ACCORDANCE WITH ACI 330R "GUIDE FOR THE DESIGN AND CONSTRUCTION OF CONCRETE PARKING LOTS," AND STANDARD CONSTRUCTION PRACTICES. JOINT DETAILS SHALL BE IN ACCORDANCE WITH SUDAS SPECIFICATIONS. CONTRACTOR SHALL PROVIDE A PAVEMENT JOINTING PLAN FOR OWNER APPROVAL.
3. SEE PAVING DETAILS ON DETAIL SHEET C8.00 AND SHALL MEET DIVISION 7 OF THE 2016 SUDAS SPECIFICATIONS. CONCRETE PAVING SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI.
4. ALL RADIUS DIMENSIONS SHOWN ARE 5' TO BACK OF CURB UNLESS OTHERWISE NOTED.
5. ALL PAVEMENT MARKINGS FOR PARKING STALLS TO BE 4" WIDE WHITE MARKING AND CONFORM TO THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS (MUTCD, FEDERAL HIGHWAY ADMINISTRATION) AND ALL REVISIONS THERETO INCLUDING LOCAL AND STATE SUPPLEMENTS.
6. ALL SIGNING, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES ON PROJECT TO BE IN CONFORMANCE WITH THE LATEST EDITION OF MUTCD AND ALL REVISIONS THERETO INCLUDING LOCAL AND STATE SUPPLEMENTS.
7. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL ACCESSIBLE AREAS AND ROUTES ARE BUILT IN ACCORDANCE WITH THE PLANS AND THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN. THE SITE MAY BE INSPECTED BY CITY PERSONNEL FOR COMPLIANCE WITH THE STANDARDS.
8. ADA ACCESSIBLE PARKING STALLS AND AISLES SHALL BE CONSTRUCTED WITH A MAXIMUM SLOPE OF 2.00% IN ANY DIRECTION. ADA ACCESSIBLE ROUTES SHALL BE CONSTRUCTED WITH A MAXIMUM CROSS SLOPE OF 2.00% AND A MAXIMUM LONGITUDINAL SLOPE OF 5.00% (UNLESS RAMPS AND LANDINGS ARE PROVIDED PER ADA STANDARDS). CURB RAMPS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 8.33% (12:1). ACCESSIBLE MANEUVERING AREAS AT DOORS SHALL BE CONSTRUCTED WITH A MAXIMUM 2.00% IN ANY DIRECTION. CONTRACTOR SHALL FIELD VERIFY ADA GRADES AND FORM WORK PRIOR TO PLACING ANY CONCRETE. ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY SHOWN ON THE PLANS.
9. CONTRACTOR TO COORDINATE ALL PAVEMENT TESTING.
10. PAVING CONTRACTOR TO PLACE TRAFFIC RATED TAPS ON ALL CLEAN-OUTS WITHIN PAVED AREAS.
11. ALL ACCESSIBLE STALLS TO BE PAINTED AND SIGNS INSTALLED.
12. MAINTAIN 2% MAXIMUM CROSS SLOPE ON SIDEWALKS UNLESS OTHERWISE NOTED. ALL SIDEWALKS TO BE 4" P.C.C. PAVEMENT UNLESS OTHERWISE NOTED.
13. ALL COMPACTION UNDERNEATH PAVEMENT IN RIGHT-OF-WAY SHALL CONFORM TO SUDAS. CONTRACTOR SHALL BOX OUT AND ADJUST UTILITY RIMS TO GRADE PER SUDAS.

LEGEND

- PROPERTY LINE
- 1 SIDWALK RAMP - SLOPES @ 8.33% MAX.
- KEYNOTES:**
- 1 INSTALL MODERATE DUTY ASPHALT PAVEMENT
 - 2 ALT. #1 INSTALL MODERATE DUTY CONCRETE PAVEMENT (SEE DETAIL SHEET C8.00)
 - 3 INSTALL LIGHT DUTY ASPHALT PAVEMENT ALT. #1
 - 4 INSTALL LIGHT DUTY CONCRETE PAVEMENT (SEE DETAIL SHEET C8.00)
 - 5 INSTALL CONCRETE PAVEMENT (SEE DETAIL SHEET C8.00)
 - 6 CONSTRUCT CONCRETE SIDEWALK FLUSH WITH PAVEMENT (SEE DETAIL SHEET C8.00)
 - 7 CONSTRUCT CONCRETE SIDEWALK (SEE DETAIL SHEET C8.00)
 - 8 CONSTRUCT STANDARD CURB & GUTTER (SEE DETAIL SHEET C8.00)
 - 9 CONSTRUCT "DRY" CURB & GUTTER (SEE DETAIL SHEET C8.00)
 - 10 CONSTRUCT INTEGRAL CONCRETE CURB (SEE DETAIL SHEET C8.00)
 - 11 INSTALL PRE-CAST CONC. WHEEL STOP (SEE DETAIL SHEET C8.00)
 - 12 ACCESSIBLE STALLS & SIGNAGE (SEE DETAIL SHEET C8.00)
 - 13 CONSTRUCT SUDAS TYPE A CONCRETE DRIVEWAY
 - 14 PROVIDE CURB RAMPS (SEE DETAIL SHEET C8.01)
 - 15 TRASH ENCLOSURE PER ARCH. PLANS
 - 16 CONSTRUCT CURB & GUTTER &/OR SIDEWALK ON EXISTING ASPHALT STREET. REMOVE TO NEAREST JOINT PAST DIMENSION SHOWN. (SEE DETAIL SHEET C8.00)
 - 17 PROVIDE 2' CURB TRANSITION TO GUTTER (SEE DETAIL SHEET C8.00)
 - 18 STRIPED AREA OR CROSSWALK WITH 4" DIAGONAL LINES SPACED @ 24"
 - 19 6" HIGH WOOD PRIVACY FENCE (SEE LANDSCAPE PLANS FOR DETAILS)
 - 20 5" HIGH METAL FENCE (SEE LANDSCAPE PLANS FOR DETAILS)
 - 21 6" HIGH METAL FENCE (SEE LANDSCAPE PLANS FOR DETAILS)
 - 22 6' HIGH VEHICULAR SLIDING GATE PANEL (SEE LANDSCAPE PLANS FOR DETAILS)
 - 23 PEDESTRIAN GATE (SEE LANDSCAPE PLANS FOR DETAILS)
 - 24 CONSTRUCT 2' WIDE CONCRETE GUTTER w/NO CURB
 - 25 CONSTRUCT FIRE PIT AREA & SEATWALLS (SEE LANDSCAPE PLANS FOR DETAILS)
 - 26 CONSTRUCT SPA (SEE LANDSCAPE PLANS FOR DETAILS)
 - 27 CONSTRUCT GAS GRILL ENCLOSURE (SEE LANDSCAPE PLANS FOR DETAILS)
 - 28 INSTALL KNOX BOX (CONTRACTOR TO COORD. WITH LOCAL FIRE DEPT. FOR LOCATION)
 - 29 INSTALL NDS MINI CHANNEL DRAIN SYSTEM w/ PEDESTRIAN RATED GRATE OR APPROVED EQUAL. SEE SHEET C6.00.
 - 30 CONSTRUCT RETAINING WALL. SEE SHEET C6.01 FOR DETAILS AND GRADING.
 - 31 INSTALL ADA COMPLIANT DETECTABLE WARNING, ARMOR TILE (BRICK RED) OR APPROVED EQUAL



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 OA #015.2763
 www.molssonassociates.com

PROJECT NUMBER: 2015147

ISSUE: 1/05/2016

SHEET NAME: DIMENSION PLAN

SHEET: C3.00

ASPEN HEIGHTS AMES
 AMES, IOWA

FLAG NOTES:

- 1) PROPOSED TELEPHONE & CABLE SERVICE. COORD. WITH MEP & UTILITY PROVIDER FOR ROUTING AND INSTALL 3-4" CONDUITS.
- 2) PROPOSED SECONDARY UNDERGROUND ELECTRIC SERVICE FROM TRANSFORMER TO BUILDING. COORD. WITH MEP FOR CONDUIT SIZE, QUANTITY AND ROUTING.
- 3) PROPOSED PRIMARY UNDERGROUND ELECTRIC SERVICE. COORD. WITH MEP & UTILITY PROVIDER INSTALLATION OF 1-4" SCH. 40 PVC CONDUIT. 1-2" CONDUIT SHALL BE INSTALLED FROM JUNCTION BOX TO CLUBHOUSE TRANSFORMER. CONDUITS SHALL BE INSTALLED UNDER THIS CONTRACT.
- 4) PROPOSED 6'x6' CONCRETE PAD AND TRANSFORMER. COORD. WITH CITY OF AMES ELECTRIC SERVICES FOR PAD MOUNT TRANSFORMER FOUNDATION DETAILS (STD DWG. UDTF411). PAD SHALL BE INSTALLED UNDER THIS CONTRACT.
- 5) FIBERGLASS TRANSFORMER PAD TO BE PROVIDED BY CITY OF AMES. CONTRACTOR SHALL BE RESPONSIBLE FOR COST OF PAD.
- 6) PROPOSED 6" AWWA C900 PIPE W/60" MIN. COVER.
- 6A) PROPOSED 3" SCH. 80 PVC PIPE W/60" MIN. COVER.
- 6B) PROPOSED 2" SCH. 80 PVC PIPE W/60" MIN. COVER.
- 6C) PROPOSED 4" AWWA C900 PIPE W/60" MIN. COVER.
- 7) PROPOSED POST INDICATOR VALVE (APPROXIMATE LOCATION) TO BE INSTALLED PER CITY OF AMES REQUIREMENTS. FINAL LOCATION OF POST INDICATOR VALVE SHALL BE AT THE DISCRETION OF THE FIRE INSPECTOR.
- 8) NOT USED
- 9) PROPOSED 4" SCH. 40 SANITARY SEWER SERVICE @ MIN. 2.08%
- 10) PROPOSED 6" SCH. 40 SANITARY SEWER SERVICE @ MIN. 1.04%
- 11) PROPOSED SANITARY SEWER CLEAN OUT. SEE DETAIL SHEET C8.01.
- 12) SERVICE CONNECTION TO PUBLIC MAIN. SEE SHEET C5.03 FOR WATER AND SHEET C5.01 FOR SEWER.
- 13) PROPOSED PUBLIC IMPROVEMENT WATER MAIN. SEE SHEET C5.03 TO C5.06. PROPOSED PUBLIC IMPROVEMENT SEWER MAIN. SEE SHEET C5.02.
- 14) PROPOSED PUBLIC IMPROVEMENT FIRE HYDRANT ASSEMBLY. SEE SHEET C5.03 TO C5.05.
- 15) PROPOSED KNOX BOX. (CONTRACTOR TO COORD. WITH LOCAL FIRE DEPT. FOR LOCATION)
- 16) PROPOSED ELECTRIC JUNCTION BOX. COORD. WITH UTILITY PROVIDER FOR INSTALLATION.

GENERAL NOTES:

1. SANITARY SEWER LATERALS SHALL BE 4", 6" OR 8" SDR-35 PVC PIPE. MINIMUM SLOPE FOR SANITARY SEWER LATERALS:
4" SEWER LATERALS = 2.08% MIN.
6" SEWER LATERALS = 1.04% MIN.
2. ALL UTILITY CROSSINGS SHALL HAVE A MINIMUM OF 18" CLEARANCE UNLESS OTHERWISE SHOWN.
3. ALL UTILITY TRENCHES SHALL HAVE AN IMPERVIOUS TRENCH CHECK OUTSIDE OF THE BUILDING WALL. SEE DETAIL ON SHEET C8.01.

LEGEND

— W —	PROPOSED DOMESTIC WATER SERVICE LINE
— FP —	PROPOSED FIRE PROTECTION SERVICE LINE
— S —	PROPOSED SANITARY SEWER SERVICE
— UGE —	PROPOSED UNDERGROUND ELECTRIC SERVICE
— G —	PROPOSED GAS SERVICE
— COMM —	PROPOSED COMMUNICATION SERVICE
○	PROPOSED PARKING LOT LIGHT POLE

SURVEY LEGEND

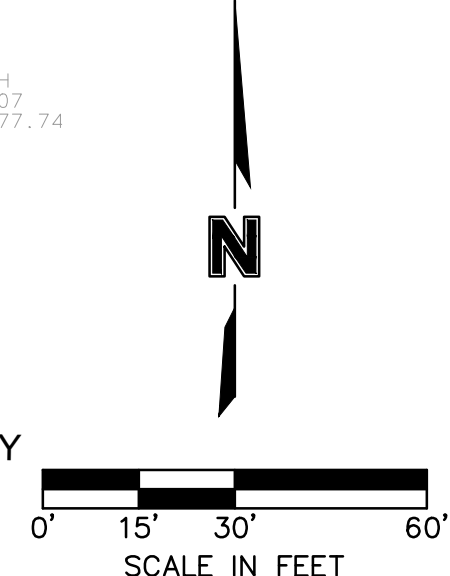
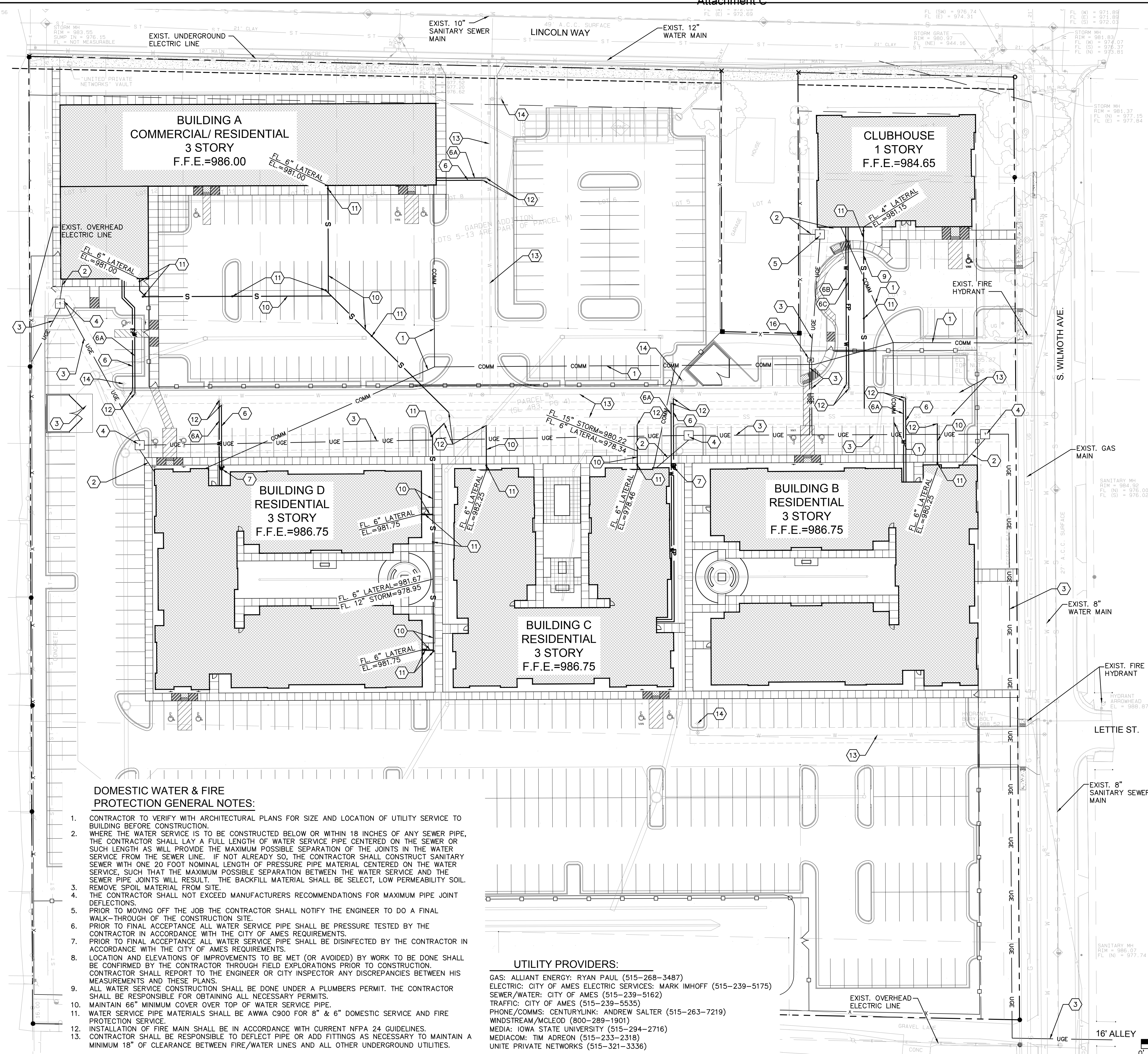
—	WATER LINE
—	ELECTRIC LINE
—	SANITARY SEWER
—	GAS LINE
—	TELEPHONE LINE
—	TV CABLE
—	STORM SEWER
○	EXIST. FIRE HYDRANT
○	EXIST. POWER POLE
○	EXIST. LIGHT POLE
○	EXIST. GUY ANCHOR
○	EXIST. SPOT ELEVATION
○	EXIST. GAS METER
○	EXIST. WATER VALVE OR CURB BOX
○	EXIST. BEEHIVE INTAKE
○	EXIST. ELECTRIC BOX
○	EXIST. UTILITY POLE
○	EXIST. TELEPHONE PEDESTAL
○	EXIST. SANITARY CLEAN-OUT
○	EXIST. IRRIGATION CONTROL
○	EXIST. SIGN POST
○	EXIST. GROUND LIGHTING
○	EXIST. PK OR MAG NAIL FOUND OR SET AS NOTED
○	EXIST. 24" STORM INTAKE
○	EXIST. ELECTRIC METER
○	EXIST. BOLLARD
—	PROPERTY BOUNDARY
—	SECTION LINE
—	STREET CENTERLINE
—	RIGHT OF WAY LINE
—	EASEMENT LINE
—	BUILDING SETBACK LINE
○	SECTION CORNER FOUND OR SET AS NOTED
○	FOUND IRON PIN OR PIPE AS NOTED
○	SET 1/2" REBAR W/ YELLOW CAP #17161

DOMESTIC WATER & FIRE PROTECTION GENERAL NOTES:

1. CONTRACTOR TO VERIFY WITH ARCHITECTURAL PLANS FOR SIZE AND LOCATION OF UTILITY SERVICE TO BUILDING BEFORE CONSTRUCTION.
2. WHERE THE WATER SERVICE IS TO BE CONSTRUCTED BELOW OR WITHIN 18 INCHES OF ANY SEWER PIPE, THE CONTRACTOR SHALL LAY A FULL LENGTH OF WATER SERVICE PIPE CENTERED ON THE SEWER OR SUCH LENGTH AS WILL PROVIDE THE MAXIMUM POSSIBLE SEPARATION OF THE JOINTS IN THE WATER SERVICE FROM THE SEWER LINE. IF NOT ALREADY SO, THE CONTRACTOR SHALL CONSTRUCT SANITARY SEWER WITH ONE 20 FOOT NOMINAL LENGTH OF PRESSURE PIPE MATERIAL CENTERED ON THE WATER SERVICE, SUCH THAT THE MAXIMUM POSSIBLE SEPARATION BETWEEN THE WATER SERVICE AND THE SEWER PIPE JOINTS WILL RESULT. THE BACKFILL MATERIAL SHALL BE SELECT, LOW PERMEABILITY SOIL.
3. REMOVE SPOIL MATERIAL FROM SITE.
4. THE CONTRACTOR SHALL NOT EXCEED MANUFACTURERS RECOMMENDATIONS FOR MAXIMUM PIPE JOINT DEFLECTIONS.
5. PRIOR TO MOVING OFF THE JOB THE CONTRACTOR SHALL NOTIFY THE ENGINEER TO DO A FINAL WALK-THROUGH OF THE CONSTRUCTION SITE.
6. PRIOR TO FINAL ACCEPTANCE ALL WATER SERVICE PIPE SHALL BE PRESSURE TESTED BY THE CONTRACTOR IN ACCORDANCE WITH THE CITY OF AMES REQUIREMENTS.
7. PRIOR TO FINAL ACCEPTANCE ALL WATER SERVICE PIPE SHALL BE DISINFECTED BY THE CONTRACTOR IN ACCORDANCE WITH THE CITY OF AMES REQUIREMENTS.
8. LOCATION AND ELEVATIONS OF IMPROVEMENTS TO BE MET (OR AVOIDED) BY WORK TO BE DONE SHALL BE CONFIRMED BY THE CONTRACTOR THROUGH FIELD EXPLORATIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL REPORT TO THE ENGINEER OR CITY INSPECTOR ANY DISCREPANCIES BETWEEN HIS MEASUREMENTS AND THESE PLANS.
9. ALL WATER SERVICE CONSTRUCTION SHALL BE DONE UNDER A PLUMBERS PERMIT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
10. MAINTAIN 6" MINIMUM COVER OVER TOP OF WATER SERVICE PIPE.
11. WATER SERVICE PIPE MATERIALS SHALL BE AWWA C900 FOR 8" & 6" DOMESTIC SERVICE AND FIRE PROTECTION SERVICE.
12. INSTALLATION OF FIRE MAIN SHALL BE IN ACCORDANCE WITH CURRENT NFPA 24 GUIDELINES.
13. CONTRACTOR SHALL BE RESPONSIBLE TO DEFLECT PIPE OR ADD FITTINGS AS NECESSARY TO MAINTAIN A MINIMUM 18" OF CLEARANCE BETWEEN FIRE/WATER LINES AND ALL OTHER UNDERGROUND UTILITIES.

UTILITY PROVIDERS:

GAS: ALLIANT ENERGY; RYAN PAUL (515-268-3487)
 ELECTRIC: CITY OF AMES ELECTRIC SERVICES; MARK IMHOFF (515-239-5175)
 SEWER/WATER: CITY OF AMES (515-239-5162)
 TRAFFIC: CITY OF AMES (515-239-5535)
 PHONE/COMMS: CENTURYLINK; ANDREW SALTER (515-263-7219)
 WINDSTREAM/MCLEOD (800-289-1901)
 MEDIA: IOWA STATE UNIVERSITY (515-294-2716)
 MEDIACOM: TIM ADREON (515-233-2318)
 UNITE PRIVATE NETWORKS (515-321-3336)



811 Know what's below. Call before you dig.
 CALL 811 SEVENTY-TWO HOURS PRIOR TO DIGGING, GRADING OR EXCAVATING FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

OLSSON ASSOCIATES
 7157 Vista Drive West Des Moines, IA 50266 TEL 515.331.6517 FAX 515.331.6518 OA #015-2763 www.olssonassociates.com

ASPEN HEIGHTS AMES
AMES, IOWA

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 REVISIONS:
 03.16.16 - REV'D PER CITY CMNTS.
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 PROJECT NUMBER: 2015147
 ISSUE: 1/05/2016
 SHEET NAME: UTILITY PLAN
 SHEET: C5.00

LANDSCAPE AND SCREENING CALCULATIONS

APARTMENT DWELLING SITE
EAST PROPERTY LINE: L2 - LOW SCREEN. 6' HT. WOOD FENCE AND LOW SHRUBS @ 4' O.C., AND ONE LANDSCAPE TREE PER 50 LF.
 440 LF / 4 = 110 SHRUBS
 440 LF / 50 = 9 LANDSCAPE TREES

SOUTH PROPERTY LINE: L3 - HIGH SCREEN. 6' HT. WOOD FENCE WITH ONE SHRUB PER 10 LF, AND ONE TREE PER 50 LF.
 640 LF / 10 = 64 SHRUBS
 640 LF / 50 = 13 LANDSCAPE TREES

WEST PROPERTY LINE: L3 - HIGH SCREEN. 6' HT. WOOD FENCE AND ONE SHRUB PER 10 LF, AND ONE LANDSCAPE TREE PER 50 LF.
 480 LF / 10 = 48 SHRUBS
 480 LF / 50 = 10 LANDSCAPE TREES

NORTH PROPERTY LINE: L2 - HIGH SCREEN. 6' HT. WOOD FENCE AND ONE SHRUB PER 10 LF, AND ONE LANDSCAPE TREE PER 50 LF. (ADJACENT TO RESIDENTIAL LOT)
 50 LF / 10 = 5 SHRUBS
 50 LF / 1 = 1 LANDSCAPE TREE

APARTMENT DWELLINGS ADJACENT TO PUBLIC STREETS (S. WILMOUTH AVE)
EAST PROPERTY LINE: ONE DECIDUOUS TREE, OR TWO ORNAMENTAL TREES, OR TWO EVERGREEN TREES, OR ONE ORNAMENTAL TREE OR ONE EVERGREEN TREE, AND SIX DECIDUOUS AND EVERGREEN SHRUBS FOR EVERY 60 LF OF STREET FRONTAGE.
 440 LF / 60 = 8 PLANT UNITS
 1 TREE (X) 8 PLANT UNITS = 8 TREES REQUIRED
 6 SHRUBS (X) 8 PLANT UNITS = 48 SHRUBS REQUIRED
 NO MORE THAN 2/3 SHRUBS TO BE OF ONE TYPE

PARKING LOT LANDSCAPE REQUIREMENT: INTERIOR LANDSCAPING TO INCLUDE A 9.0' WIDE AND 16' LONG LANDSCAPED ISLAND FOR EVERY 20 INTERIOR PARKING SPACES. ONE LANDSCAPE TREE REQUIRED FOR EACH LANDSCAPED ISLAND. SHRUBS OR GROUNDCOVER PLANTS MUST COVER THE REMAINDER OF EACH LANDSCAPED ISLAND.

CLUB HOUSE SITE
EAST PROPERTY LINE: L2 - LOW SCREEN. LOW SHRUBS @ 4' O.C., AND ONE LANDSCAPE TREE PER 50 LF.
 124 LF / 4 = 31 SHRUBS
 124 LF / 50 = 3 LANDSCAPE TREES

WEST PROPERTY LINE: L3 - HIGH SCREEN. 6' HT. WOOD FENCE AND ONE SHRUB PER 10 LF, AND ONE LANDSCAPE TREE PER 50 LF.
 170 LF / 10 = 17 SHRUBS
 170 LF / 50 = 4 LANDSCAPE TREES

NORTH PROPERTY LINE: L2 - LOW SCREEN. LOW SHRUBS @ 4' O.C., AND ONE LANDSCAPE TREE PER 50 LF.
 140 LF / 4 = 35 SHRUBS
 140 LF / 50 = 3 LANDSCAPE TREES

APARTMENT DWELLINGS ADJACENT TO PUBLIC STREETS (LINCOLN WAY & S. WILMOUTH AVE)
 ONE DECIDUOUS TREE, OR TWO ORNAMENTAL TREES, OR TWO EVERGREEN TREES, OR ONE ORNAMENTAL TREE OR ONE EVERGREEN TREE, AND SIX DECIDUOUS AND EVERGREEN SHRUBS FOR EVERY 60 LF OF STREET FRONTAGE.
EAST PROPERTY LINE:
 124 LF / 60 = 2 PLANT UNITS
 1 TREE (X) 2 PLANT UNITS = 2 TREES REQUIRED
 6 SHRUBS (X) 2 PLANT UNITS = 12 SHRUBS REQUIRED

NORTH PROPERTY LINE:
 140 LF / 60 = 3 PLANT UNITS
 1 TREE (X) 3 PLANT UNITS = 3 TREES REQUIRED
 6 SHRUBS (X) 3 PLANT UNITS = 18 SHRUBS REQUIRED
 NO MORE THAN 2/3 SHRUBS TO BE OF ONE TYPE

PARKING LOT LANDSCAPE REQUIREMENT: INTERIOR LANDSCAPING TO INCLUDE A 9.0' WIDE AND 16' LONG LANDSCAPED ISLAND FOR EVERY 20 INTERIOR PARKING SPACES. ONE LANDSCAPE TREE REQUIRED FOR EACH LANDSCAPED ISLAND. SHRUBS OR GROUNDCOVER PLANTS MUST COVER THE REMAINDER OF EACH LANDSCAPED ISLAND.

RETAIL SITE
EAST PROPERTY LINE: L3 - HIGH SCREEN. 6' HT. WOOD FENCE AND ONE SHRUB PER 10 LF, AND ONE LANDSCAPE TREE PER 50 LF.
 170 LF / 10 = 17 SHRUBS
 170 LF / 50 = 4 LANDSCAPE TREES

WEST PROPERTY LINE: L3 - HIGH SCREEN. 6' HT. WOOD FENCE AND ONE SHRUB PER 10 LF, AND ONE LANDSCAPE TREE PER 50 LF.
 150 LF / 10 = 15 SHRUBS
 150 LF / 50 = 3 LANDSCAPE TREES

NORTH PROPERTY LINE: L2 - LOW SCREEN. LOW SHRUBS @ 4' O.C., AND ONE LANDSCAPE TREE PER 50 LF.
 450 LF / 10 = 112 SHRUBS
 450 LF / 50 = 9 LANDSCAPE TREES

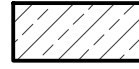

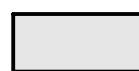
PARKING LOT LANDSCAPE REQUIREMENT: INTERIOR LANDSCAPING TO INCLUDE A 9.0' WIDE AND 16' LONG LANDSCAPED ISLAND FOR EVERY 20 INTERIOR PARKING SPACES. ONE LANDSCAPE TREE REQUIRED FOR EACH LANDSCAPED ISLAND. SHRUBS OR GROUNDCOVER PLANTS MUST COVER THE REMAINDER OF EACH LANDSCAPED ISLAND.

ADDITIONAL RETAIL REQUIREMENT: FOR EVERY 1 SQUARE FOOT OF GROCERY STORE OR SHOPPING CENTER GROSS FLOOR AREA, 0.28 SQUARE FEET OF LANDSCAPING SHALL BE PROVIDED.
 TOTAL RETAIL A = 16,000 SF AREA
 16,000 (X) .28 SF = 4,480 SF ADDITIONAL LANDSCAPE

STREET TREES
LINCOLN WAY: PROVIDE ONE (1) OVERSTORY DECIDUOUS SHADE TREE FOR EVERY 50' OF PROPERTY LINE - EXCLUDING ACCESS DRIVES.
 605 LF / 50 = 12 TREES REQUIRED

SOUTH WILMOUTH AVE: PROVIDE ONE (1) OVERSTORY DECIDUOUS SHADE TREE FOR EVERY 50' OF PROPERTY LINE - EXCLUDING ACCESS DRIVES.
 425 LF / 50 = 9 TREES REQUIRED

GROUNDCOVER LEGEND

-  BLUEGRASS SOD
-  INFILTRATION BASIN SEED MIX
-  SHREDDED HARDWOOD MULCH

